AGENDA
HISTORIC PRESERVATION BOARD
City Commission Chambers
April 27, 2023 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Jenny Sykes, no later than 48 hours prior to the proceeding, at **(863) 834-8444**, Email: **Jennifer.Sykes@lakelandgov.net**. If hearing impaired, please contact the TDD numbers: Local - **(863) 834-8333** or **1-800-955-8771** (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number **1-800-955-8770 (VOICE)**, for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

I. Call to order, determination of a quorum, and roll call.

II. Review and approval of the March 23, 2023 Historic Preservation Board meeting minutes.

III. Old Business:

A. Lakeland Historic Districts Resurvey Phase 1: Final Report and Recommendations for East and South Lake Morton Historic Districts Resurvey. Staff proposes a separate workshop in June for HPB members to discuss report recommendations in depth, following public outreach to the Lake Morton Neighborhood Association and Historic Lakeland, Inc.

IV. New Business:

A. Welcome new Board Member Britney Wilson.

B. Slate of preliminary Nominees for 2023 Historic Preservation Awards. Awards presentation will be May 22, 2023 at the historic Polk Theatre. Final slate of Nominees to be emailed to HPB after the April 30, 2023 nomination deadline.

C. REMINDER: May 25, 2023 HPB/DRC Meetings will take place in the Lakeland Electric Building, Conference Rooms 1A & 1B on the first floor.

D. Request from Historic Lakeland, Inc. Board of Directors seeking feedback from HPB on procedures for communicating 'Watch List' properties in order to better protect historic structures.

V. Adjourn for Design Review Committee.

MINUTES

HISTORIC PRESERVATION BOARD
City Commission Chambers
Thursday, March 23, 2023
8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Lynn Dennis, Landis Fleming, Michael Porter, Natalie Oldenkamp, Chris Olson and MeLynda Rinker were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Ramona Sirianni, Deputy City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Chair Chris Olson called the March 23, 2023 meeting of the Historic Preservation Board ("Board") to order at 8:31 a.m. A quorum was reached, as six Board members were present.

II. Review and Approval of Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the February 23, 2023 meeting minutes as presented. Mr. Landis Fleming seconded the motion. The motion passed 6—0.

III. Old Business: NONE

IV. New Business:

A. Announcement: Ms. Foster stated nominations are being sought for the 2023 Historic Preservation Awards. Nominated projects must involve historic buildings within the City of Lakeland that have undergone preservation, rehabilitation, or restoration within the last three years, as well as new construction projects within the City's historic districts that have been designed to fit compatibly into the historic character of the districts. Please submit all nominations via email to Emily Foster, emily.foster@lakelandgov.net. The Awards presentation will take place on Monday, May 22nd at the historic Polk Theatre.

V. Adjourn for Design Review Committee.

The meeting adjourned at 8:34 a.m.

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Chair, Historic Preservation Board Senior Planner, Historic Preservation

Lakeland Historic Districts Resurvey Project, Phase 1
East and South Lake Morton Historic Districts
Summary and Recommendations

On behalf of the City of Lakeland, PaleoWest, LLC conducted an architectural survey of historical resources in the designated East and South Lake Morton locally designated Historic Districts. The Project was partially funded through a $50,000 small matching grant from the Division of Historical Resources, Florida Department of State. The total cost of the project was $72,807.

Project purpose:

- Identify, document, and evaluate all historic resources constructed before 1974 (50 years of age) within the East and South Lake Morton Historic Districts, including any potential historic resources immediately adjacent to the Historic Districts' boundaries.
- Create an updated inventory of historic resources in the respective districts including building addresses, architectural styles, construction dates, recommended individual NRHP eligibility, and recommended contributing or non-contributing status.
- Analyze results for recommendations of possible district boundary amendments, potential new designations, and expansion of district periods of significance.

Project results:

- Survey field work occurred October 10-14, 2022.
- **1,042 historical resources** were documented, with **341 newly recorded resources** and **701 updated (previously recorded) resources**.

District Breakdown

East Lake Morton Historic District

- 300 properties were documented; total of **292** recommended as contributing.
- 157 of 158 previously recorded resources are recommended as contributing. 913 Vistabula St. (PO03474) is now non-contributing.
- 135 of 142 newly recorded resources are recommended as contributing.
- One additional resource (PO09587 - Florida Citrus Mutual Building) was documented adjacent to the ELM boundary.
- 35 resources previously recorded have been demolished.

South Lake Morton Historic District

- 739 properties were documented; total of **697** recommended as contributing.
- 528 of 541 previously recorded resources are recommended as contributing; 13 previously recorded contributing resources have lost integrity due to alteration and are recommended as non-contributing.
- 169 of 198 newly recorded resources recommended as contributing.
- 39 resources previously recorded have been demolished.

The results of this Project serve as an archival record of the East Lake Morton and South Lake Morton Historic Districts at the time of the survey. The historical overview contained in this report provides a historical and developmental context for each historic district and presents context for resources constructed after the district's current periods of significance. This survey provides a foundation for amending the NRHP-listed East Lake Morton

and South Lake Morton Historic Districts to reflect changes in the built environment. Ultimately, this work forms the basis for future preservation efforts in the East Lake Morton and South Lake Morton Historic Districts.

Recommendations Specific to Project Results

- Pursue boundary amendments to the NRHP-listed East and South Lake Morton Historic District boundaries to match the locally listed boundaries:
    - In the East Lake Morton Historic District, adjust the northern and northwestern boundaries to include the Florida Citrus Mutual Building.
    - In the South Lake Morton Historic District, adjust northeastern, northwest, and southern district boundaries

- Expand the ELM period of significance from 1900–1940 to 1900–1973. (NRHP amendment)

- Expand the SLM period of significance from 1904–1935 to 1900–1973. (NRHP amendment)

- Amend the Criteria for which the South Lake Morton Historic District is listed in the NRHP to include Criteria A and B in addition to Criterion C. (NRHP amendment)

- Add PO09587 - Florida Citrus Mutual Building to the ELM NRHP and Local designations as a contributing resource. Also individually eligible for NRHP listing.

- Six documented resources (PO00113 – Sorosis Club, PO00129 – Deen House, PO03411 – Park Trammell Building, PO03412 – Ruthven Building, PO03414 – Women's Club of Lakeland, and PO09587 – Florida Citrus Mutual Building) are individually eligible for the NRHP and eligible as contributing resources to their respective districts. However, as these resources are either currently contributing to their respective districts or could contribute with amendments, PaleoWest does not recommend the pursuit of their individual listing. Individual listing and contributing status in an NRHP-listed historic district offer the same level of recognition for historic properties and provide access to the same opportunities, such as federal historic tax credits.

Additional General Recommendations

- City staff, elected officials, and interested residents can use the information within the project report to promote awareness of the historical fabric of the East and South Lake Morton Historic District. **Possible steps to disseminate the information within the report include making the report available online or in public spaces, such as local libraries or community centers**. The City of Lakeland could also produce a pamphlet, signs, and/or **a story map (an online and interactive educational tool)** to share the findings of this survey with the community.

- PaleoWest encourages the City of Lakeland to continue working with residents and advocacy groups to locate, identify, and assess resources for potential eligibility for listing in the NRHP, both within its existing historic districts and in previously unsurveyed areas. **PaleoWest recommends future surveys occur in the area south of the current South Lake Morton Historic District boundary**.

- PaleoWest **encourages the City to place historical markers at the location of resources recommended individually eligible in this survey report** (with the exception of the Sorosis Club and Women's Club of Lakeland, which already have historical markers installed).

- The upkeep of historical buildings can be expensive. The City of Lakeland can work with a consultant or internally to **gather information on tax incentives provided by the state and federal government that may be able to ease the financial burden associated with preservation efforts**.

- It is often the goal for preservation to go hand in hand with sustainability. Most historical buildings are designed for their environment, making them energy efficient. Rehabilitating and adaptively reusing buildings is one way to revitalize, restore, or upcycle an existing building. PaleoWest encourages the City of Lakeland to **promote the use of historic tax credits and to embrace historical buildings as the greenest development option**.

- PaleoWest recommends addressing disaster preparedness in a preservation planning capacity. Hurricanes pose a regular threat to historical resources in Florida. **It is recommended that a disaster preparedness plan be developed for the historic resources of the City of Lakeland**.

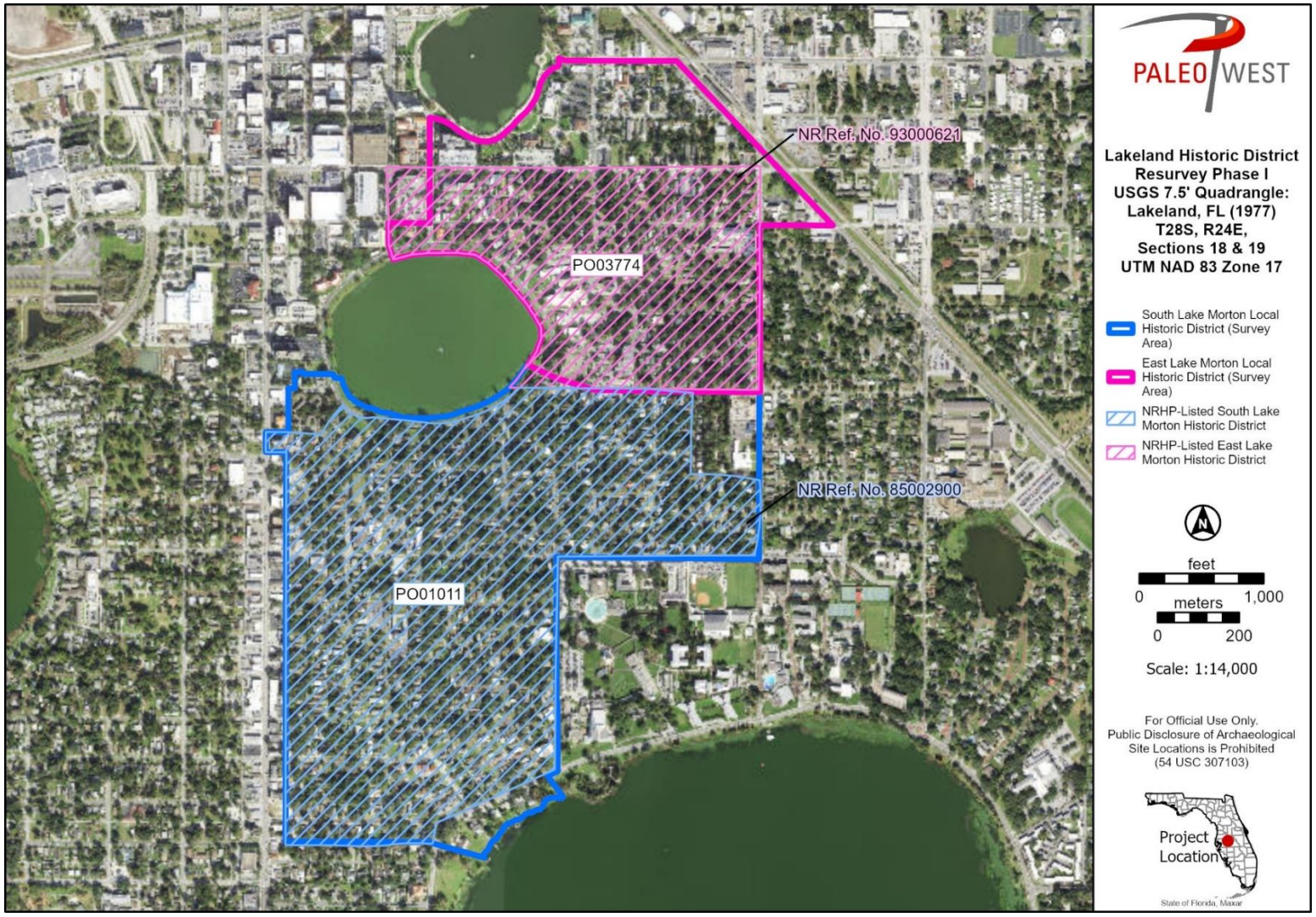

Figure 5-13. Map of Project survey areas and their respective NRHP-listed Historic District boundaries on aerial photography. PaleoWest recommends that the boundary of the NRHP-listed East Lake Morton Residential district be expanded to match that of the locally designated northern boundary. Further, PaleoWest recommends the locally designated district western boundary be expanded to match that of the NRHP-listed district.

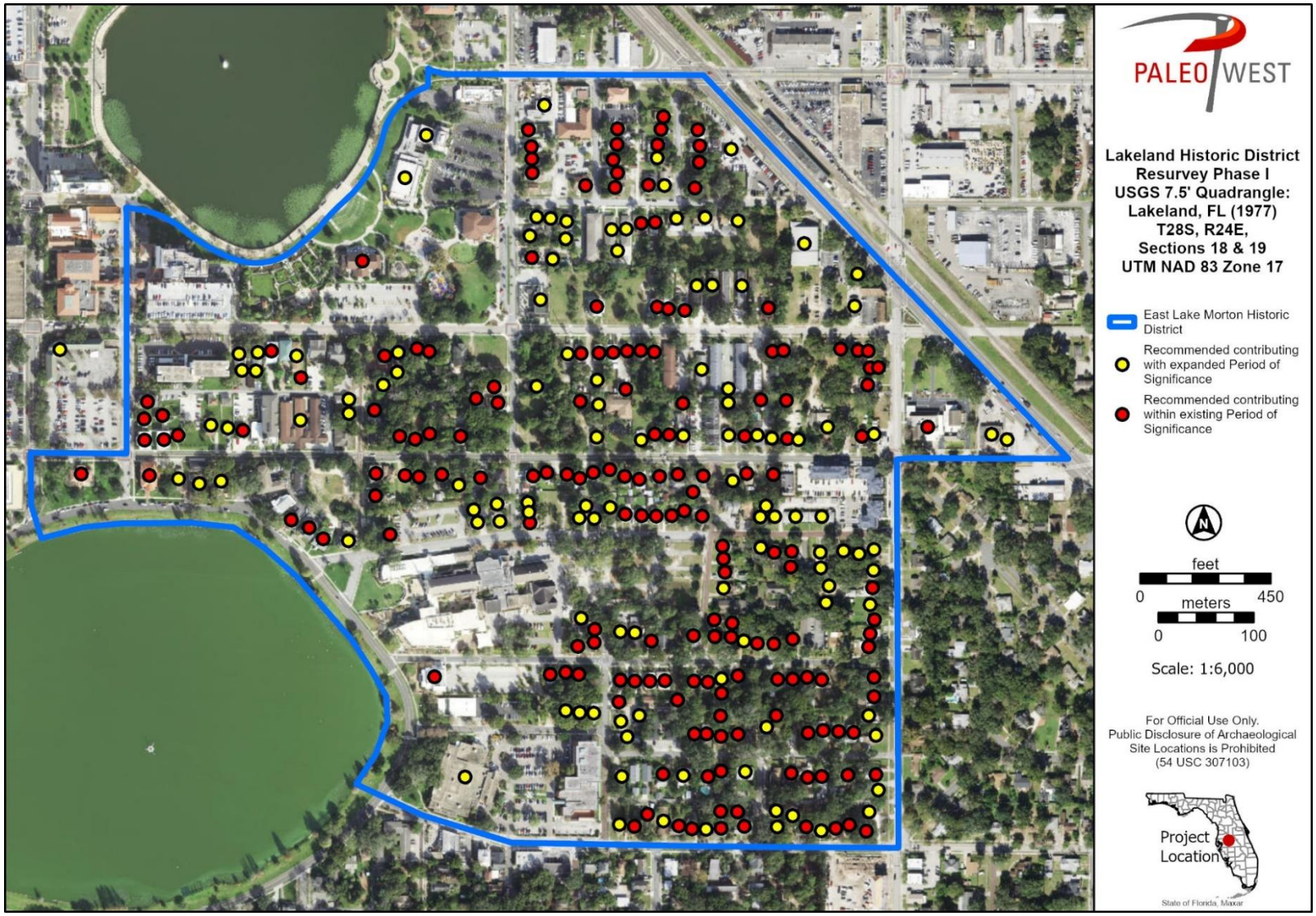

Figure 5-10. Aerial results map depicting resources contributing within the existing East Lake Morton Historic District period of significance and resources potentially contributing within an expanded period of significance ending in 1973.

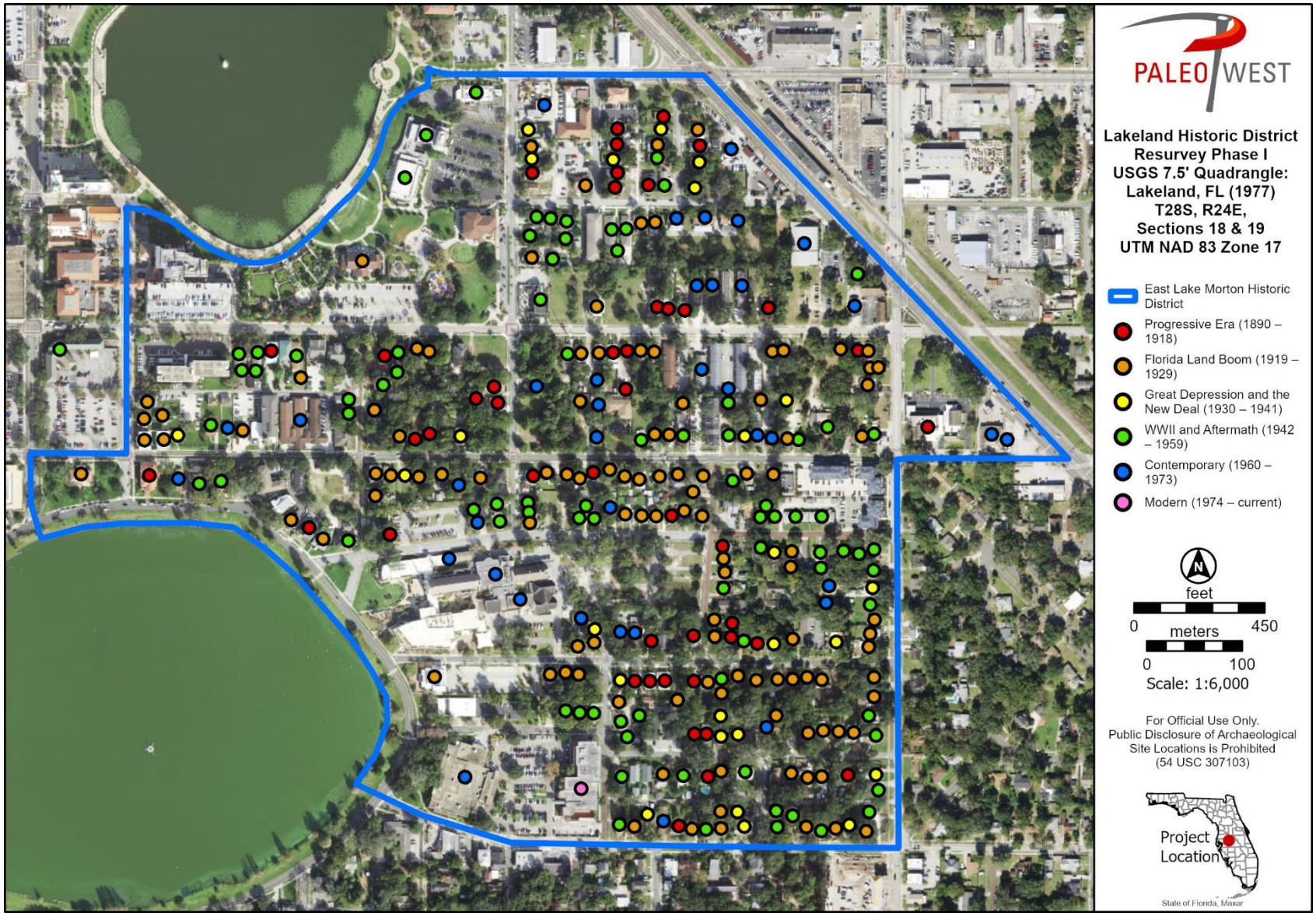

Figure 5-9. Aerial results map depicting the build date of resources surveyed in the East Lake Morton Historic District.

Figure 5-17. Aerial results map depicting resources contributing within the existing South Lake Morton Historic District period of significance and resources potentially contributing within an expanded period of significance ending in 1973.

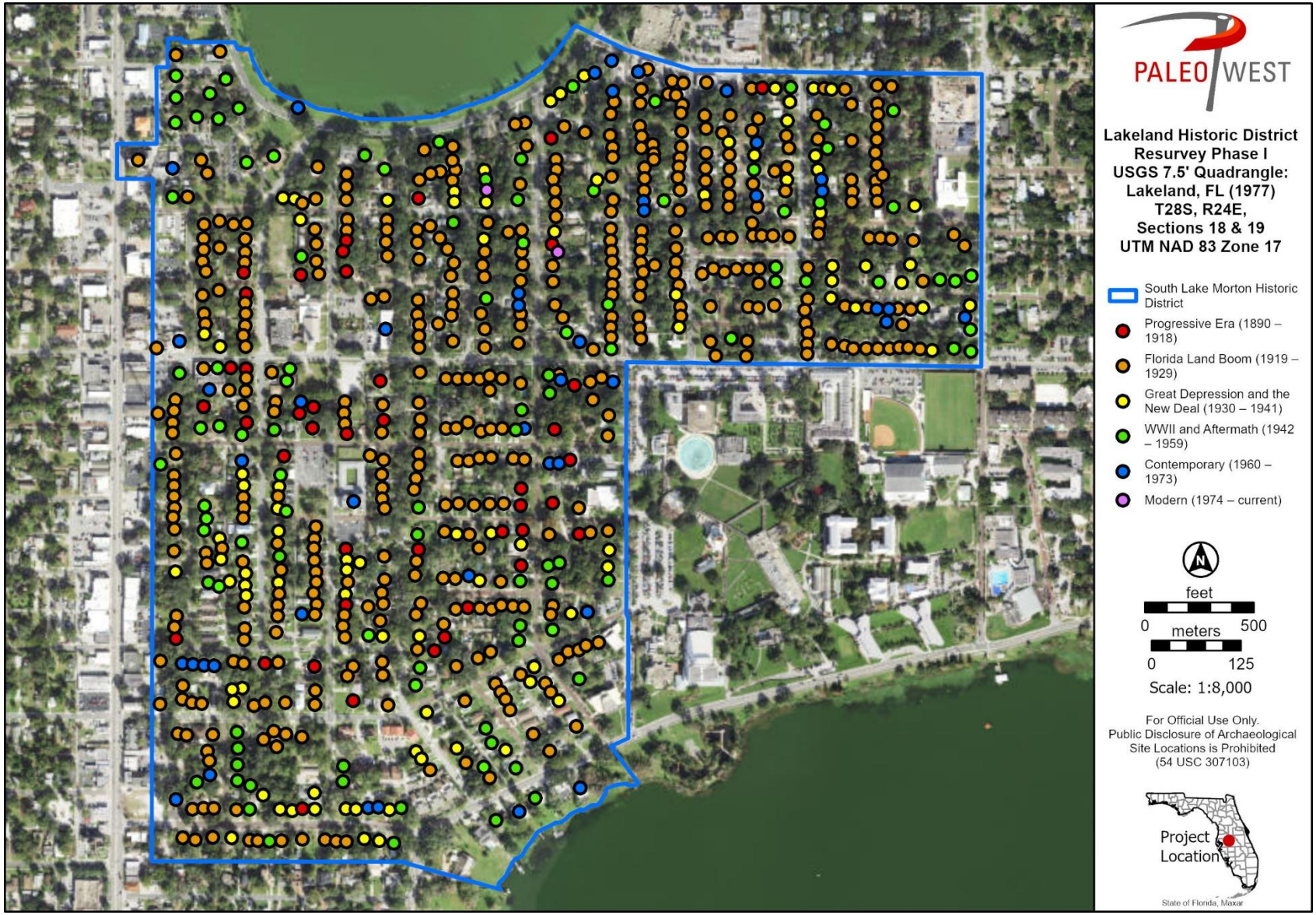

Figure 5-16. Aerial results map depicting the build date of resources surveyed in the South Lake Morton Historic District.

HISTORIC LAKELAND, INC.
P.O. BOX 3347/LAKELAND, FL 33802

April 20, 2023

City of Lakeland
Historic Preservation Board
228 S. Massachusetts Avenue
Lakeland, FL 33801

Dear Historic Preservation Board Members,

As you know, Historic Lakeland, Inc. is a volunteer board formed in 1979 whose mission is "to discover and memorialize the history and architecture of the Greater Lakeland area." It is with great sadness that we learned the City Commission, at the recommendation of the Planning and Zoning Board, had voted to approve the zoning change for the Emory Bryant house property on Lake Wire, which will allow for the redevelopment of this property, but threatens this house with demolition.

We had been made aware of this property in 2021 and had understood that a private citizen was in contact with the owner to propose more than one solution to this problem. Unfortunately, our board assumed that these negotiations were headed in a positive direction and as a result, we were not actively seeking any historic status for the house or secondary buildings on the property.

We also were unaware that the negotiations coming to a halt brought the property's status to actively being discussed by the Planning and Zoning Board for zoning change consideration. We became aware of the Planning & Zoning Board recommendations only after the City Commission Agenda Study. At that time, the property/recommendation was scheduled for a second reading and possible vote at the Commission meeting on April 17th only four days in the future.

As a board, Historic Lakeland will be discussing changes to our procedures involving properties on our "Watch List." We will be looking at this recent City Commission vote resulting in a zoning change as a valuable lesson learned. There will certainly be other similar properties that need our advocacy as Lakeland grows and interest in our historic core continues to expand.

We invite you to join us in reviewing all the tools that each of us may have to better understand this process and educating others of the benefits of maintaining our historic buildings and history. We are specifically committed to providing relevant information to elected city officials, as well as all citizens of our city. We take this role very seriously. We feel this lesson of potential loss will strengthen our resolve AND procedures so that this does not occur again without significant effort and resistance on our part.

We are deeply appreciative of the work that you do. Our history and buildings are a significant part of our city's charm. Historic Lakeland believes that these historic buildings play a major role in Lakeland's continuing development and reputation as a highly desirable place to live and work.

Thank you for your support in these endeavors.

Sincerely,
Ann Hilliard, President

AGENDA

DESIGN REVIEW COMMITTEE
April 27, 2023
immediately following the Historic Preservation Board Meeting

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I. Call to order, determination of a quorum, and roll call.

II. Review and approval of the March 23, 2023 Design Review Committee meeting minutes.

III. Review Certificates of Review administratively approved since the previous meeting.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Assistant City Attorney.

B. **HPB23-066 – 601 E. Charles Street** – Final Approval requested for the installation of a detached garage on the subject property. Owner/Applicant: Ms. Lynn McCoy.

C. **HPB23-076 – 957 Cumberland Street** – Final Approval requested for the new construction of a two-story multi-family building on the subject property. Owner: Mr. Andrew Ericson. Applicant: Mr. Everett Atwell, Manager, Tiggertink, LLC.

D. **HPB23-077 – 716 Mississippi Avenue** – Final Approval requested for the demolition of the house on the subject property and the construction of a new single-family house. Owner/Applicant: Wes and Michelle Graham.

V. Other Business: NONE

VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE
City Commission Chambers

Thursday, March 23, 2023

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee, met in Regular Session; Lynn Dennis, Landis Fleming, Natalie Oldenkamp, Chris Olson, Michael Porter and MeLynda Rinker were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Ramona Sirianni, Deputy City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair MeLynda Rinker at 8:34 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the February 23, 2023 meeting minutes. Mr. Chris Olson seconded the motion. The motion passed 6—0.

III. Review of Certificates of Review administratively approved.

A list of twenty (20) administratively approved Certificate of Review projects covering the period 2/18/23-3/15/23 was included with the agenda packet. In response to Mr. Chris Olson, Ms. Emily Foster stated she would confirm whether 735 E. Main Street was a contributing or non-contributing building, due to conflicting status in this report.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Deputy City Attorney Ramona Sirianni.

B. **HPB23-032 – 801 E. Main Street** – Final Approval requested for the installation of an illuminated wall sign on the principal building of the subject property. Owner: Ten Cap Partners LLC. Applicant: Mr. Roger Snyder and Mr. Ryan Birt, Dixie Signs Inc.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is located at the southeast corner of E. Main Street and S. Lake Avenue, and consists of a quarter-acre parcel that is located within Sub-District 6 of the Garden District SPI (Special Public Interest) zoning district, as well as the Downtown Lakeland Community Redevelopment Area. The property contains a masonry vernacular building, built in 1960, that originally functioned as a full-service gas station and repair garage. The existing building is considered noncontributing to the East Lake Morton Historic District. Undergoing renovations in 2014, this property and building has since been utilized for retail, entertainment, and eatery uses under the business name of The Poor Porker. A new business was established on the subject property in 2022 under the "Unfiltered Lakeland" name. This request proposes to install an internally lighted wall sign, 52.56 square feet (29" X 21.75') in size, on the north elevation of the building on the subject property. The sign will consist of white acrylic letter faces covered in digitally printed and laminated vinyl in a burnt orange color, along with a black trim cap, and will state the name of the business. White LEDs will illuminate the sign internally. As the Historic Preservation Board's Design Review Committee is tasked with approval of internally-lighted signs, this request was referred by staff to the Committee for review.

Ms. Foster stated that the request was evaluated using Chapter 5 of the Dixieland CRA Commercial Corridor Design Guidelines. The Design Review Committee previously approved an exposed neon sign on the west elevation wall for the Poor Porker. Staff finds that the design of the proposed sign is acceptable under the Dixieland Guidelines, and the placement and scale of the sign on the upper portion of the building's north elevation wall is appropriate. The individual letter internal lighting source for this sign is found appropriate, as this type of illuminated sign was common on many Mid-Century Modern buildings and is also found in the East Main Street District, located near the subject property east of Bartow Road (U.S. 98). However, the size of the sign is slightly too large according to the Dixieland Guidelines and must be reduced to no more than 48.66 square feet, based on the calculation provided in sub-section 2.a. Ms. Foster stated Staff recommends final approval of the request with the following condition to be reviewed and approved by staff prior to permitting: 1) Wall sign size must be reduced to a maximum of 48.66 square feet.

Chair Rinker asked if the Applicant had any additional comments or questions. Ms. Geanie Folder and Mr. Ryan Birt were present in support of the request.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff. (L. Dennis/C. Olson, 6—0)

C. **HPB23-040 – 727 Jefferson Avenue** – Final Approval requested for the new construction of a covered stoop onto the front elevation of the house on the subject property. Owner/Applicant: John and Valerie Tutton.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot consisting of 0.22 acres in the Biltmore-Cumberland Historic District. On the property is a one-story, frame vernacular house built circa 1946, which is a contributing building in the Biltmore-Cumberland Historic District. The one-story wood frame house features a side-gabled roof with a minimal front stoop, formerly covered by an awning that was destroyed by Hurricane Ian, and an attached carport. The house is clad in aluminum siding and has several replacement windows. The request proposes to remove the existing roof overhang and steps at the entrance on the home's front elevation and add a covered front stoop measuring 3'-4" deep by 10'-8" wide (35.6 SF). The new stoop will feature a gable-front appearance, with a 4/12 roof pitch, supported by tapered columns on brick plinths. The stoop will have a raised foundation covered in cementitious finish and concrete steps. The Applicant's reason for this request is threefold: to replace the damaged awning and provide additional cover; to provide for a safer landing for ingress/egress; and to resolve front door leaks in the future. Materials to be used in the porch addition are as follows:

- CMU foundation clad in cementitious finish and brick at base of columns.
- The gable end of the stoop will be covered in vinyl siding to match the house.
- Columns will consist of 4" X 4" pressure treated wood posts clad in fiberglass or PVC wrap.
- Steps will consist of formed and poured concrete.
- Fascia and soffit to be used will match that of the house.
- Roofing shingles to match house.

Ms. Foster stated the site plan submitted by the Applicant shows building setbacks for the proposed new stoop that comply with the City's Land Development Code, Urban Form Standards. The request was evaluated using Secretary's Standards for Rehabilitation #2, #9, #10 and

Chapter 4 and Chapter 6 of the Design Guidelines for Historic Properties. The Biltmore-Cumberland Historic District exhibits a variety of architectural styles, including Colonial Revival, Tudor Revival, Minimal Traditional, Craftsman Bungalow, Mediterranean Revival, and Frame and Masonry Vernacular. Entrance features for houses in this area are guided typically by the style and size of a house, and both minimal stoops and modest porches exist. While additions to the front of a contributing house are typically not recommended by the Design Guidelines, given the minimal traditional design of the subject house, the small footprint and simple design of the proposed stoop, as well as reversibility of this alteration without damaging historic building material, staff finds the proposed front stoop addition to be consistent with the Standards. The proposed stoop is compatible with the surrounding neighborhood and will not adversely affect the integrity of the Biltmore-Cumberland Historic District. For consistency with the Design Guidelines, staff recommends that fiber-cement lapped siding is used in the gable of the stoop, as vinyl and aluminum siding is prohibited. Additionally, staff recommends the use of tapered columns in the style and proportion of the columns supporting the porte cochere, in order to complement an existing architectural feature.

Ms. Foster stated Staff recommends final approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Use fiber-cement lapped siding with an exposure width similar to the lapped siding on the house in the stoop gable.
2. Use tapered columns in the style and proportion of the columns supporting the porte cochere for the stoop columns.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Leon Roubekas with Green Construction Services was present in support of the request.

Discussion ensued.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff and an additional condition requiring straight eave returns to be used on the gable of the stoop. (L. Dennis/N. Oldenkamp, 6—0)

D. <u>HPB23-049 – 506 W. Park Street</u> – Final Approval requested for the major rehabilitation of the single-family residence on the subject property. Owner: Merlin Properties of Central Florida. Applicant: Ms. Yelithza Paramo, Paramount Building.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property property is a platted lot in the Dixieland Historic District, which consists of 0.33 acres and has access to an improved alley at the rear of the lot. On the property are two buildings: a one-story single-family residence built circa 1960; and a two-story, single-family residence built circa 1925. Both houses are built in the Frame Vernacular architectural style and are non-contributing buildings in the Historic District. This request involves the two-story house, which has a side gabled roof with triangular gable vents, a two-story shed roofed porch, and wood lap siding. It is believed that the subject building was an accessory structure historically, but from a land use standpoint, this building is legally non-conforming as a single-family residence. As the structure was viewed as an accessory structure, staff was able to review and approve demolition of this building, which approval occurred in August 2020. The Applicant decided to rehabilitate the structure instead of demolishing it, and therefore, the interior of the structure has been gutted in preparation for rehabilitation work, and all windows and doors have been removed. As the subject building has not been occupied or maintained for quite some time, the Applicant requests to undertake a major rehabilitation and update all mechanical systems. Exterior work subject to design review includes the repair of the foundation

and frame structure; installation of new siding, trim, casing, and corner boards; installation of new windows and doors; installation of new porch/balcony columns; and installation of new roofing, fascia, and soffit. Materials proposed for this request include:

- Concrete footer foundation;
- Hardie board lap siding, trim, and casing;
- Vinyl single-hung sash windows;
- Wood-edge steel door with an upper lite;
- Asphalt shingle roof;
- Hardie fascia and vented soffit; and
- Porch/Balcony will have pressure-treated wood columns.

The footprint of the house will remain the same as existing, which is legally nonconforming in respect to building setbacks. A new concrete slab is proposed to be constructed along the east elevation of the house, and a 20 feet wide parking area off of the alley, with a sidewalk connecting this feature to the front elevation of the house, is also proposed.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 6 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards and Design Guidelines, the following findings have been made by staff:

1. The repair work proposed for the foundation and structure with in-kind materials is appropriate and consistent with the Standards and Design Guidelines.
2. The replacement siding, trim, casing, roofing, fascia, and soffit with Hardie materials are acceptable according to the Design Guidelines. Staff recommends that the existing triangular gable vents that have 90-degree latticework be replicated in the gables of the east and west elevations.
3. Given that all existing doors and windows have been removed, the proposed replacement windows and doors are consistent in material and type with respect to the Standards and Design Guidelines, as well as the Frame Vernacular architectural style of the subject building.
4. The design and materials of the porch and balcony are consistent with the Design Guidelines and Frame Vernacular architectural style.
5. The location of a paved, 20 feet wide parking area at the rear of the property with access from the existing alley is appropriate and consistent with the Design Guidelines.

Ms. Foster stated Final Approval of the request with the following conditions, to be reviewed and approved at staff level prior to permitting:

1. Replicate the design of the original triangular gable vents, including 90-degree latticework, in the gables of the east and west elevations.
2. Windows shall be recessed to provide a shadow line and not installed flush to the exterior wall surface; windows also must include historically appropriate trim, including header, sill, and apron.
3. Hardie lap siding shall have an exposure of 6 inches or less.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Diego Paramo with Paramount Building was present in support of the request.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff. (L. Dennis/N. Oldenkamp, 6—0)

E. <u>HPB23-050 – 914 S. Missouri Avenue</u> – Final Approval requested for the installation of a new roof system on the two-story structure on the subject property. Owner: Mr. Gary Hyde. Applicant: Mr. Jordan Napoles, Mark Brown Construction Inc.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of two interior lots and is 0.28 acres in area; an improved alley exists at the rear of this property. A two-story, multi-family building in the Tudor Revival architectural style is located on this property, which was built circa 1932 and is considered a contributing building within the Dixieland Historic District. This building consists of wood frame construction with a gable roof with gabled dormers, brick and wood shingle wall cladding, and 6-lite casement windows. The building has undergone several substantial additions and modifications since its original construction. A second two-story house is also located on the subject property and addressed as 912 S. Missouri Avenue; this building is occupied as a residence, which is known as the "cottage." From approximately the mid-1930s until 1974, the subject property served as the Child's Garden of Learning, which was a private elementary school. The cottage served as classrooms for the school, while the subject building served as the primary residence of Matthew and Genevieve Mitchell; Mrs. Mitchell was the primary teacher at the school. Mr. Mitchell was a builder and made several modifications to the subject building in the 1950s. The former owner purchased the subject property in 1989, at which time the building was converted into three apartment units. On September 3, 2021, the building experienced a substantial fire, which was caused by an electrical malfunction. Due to the extent of the fire damage and threat to public safety in keeping the building secured, the previous owner received approval from the Design Review Committee to demolish this structure, in December 2021. However, building has not been demolished, and the new owner, who purchased the property in November 2022, wishes to repair the structure. The Applicant's request involves constructing a new roof in a gabled design that will be different from the existing roof form, which exhibits several additions. The fire burned a hole through the existing roof deck and damaged the original rafters of the second story roof structure. The existing roof structure is composed of a mixture of gables with additions made over time consisting of a shed roof, low pitched roof, and mono-sloping sections. The fire was contained inside of a wall cavity and as a result, most of the floor joists, sub-floor, and exterior walls appear satisfactory in condition. The proposed project would consist of demolishing the interior of the second story, bracing exterior walls, removing the deficient roof structure, installing pre-engineered roof trusses based on the proposed new roof design, and installing a standing seam metal roof system with red-colored panels. The new roof design will reflect a streamlined gabled profile with an 8/12 pitch incorporating the additions of the existing complex roofline.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 6 of the Design Guidelines for Historic Properties. Staff finds that the changes to the roofline caused by several building additions since the 1950s have not acquired historic significance on their own, as they represent common construction methods and design. While the entire roofing system is proposed to be replaced, the new gabled profile with a steep 8/12 pitch is compatible with this building and its original cross-gabled roof structure, as well as consistent with the Standards and Design Guidelines, as the building reflects mostly Tudor Revival architectural elements. However, to be consistent with the Design Guidelines regarding replacement roofing materials, standing seam and 5V crimp metal roofing is not appropriate for the Tudor Revival style, and a shingle style roofing material should be used instead.

Ms. Foster stated Staff recommends final approval of the request as submitted, with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Use straight eaves or classic eave returns instead of the "pork chop" style eave returns shown in the architectural plans.
2. Use shingle roofing (can be metal shingles) instead of standing seam metal roofing.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Jordan Napoles with Mark Brown Construction was present in support of the request. Mr. Napoles stated

the homeowner would prefer to use a standing seam metal roof for the majority of the roof in order to maximize his investment.

Discussion ensued.

There were no public comments.

MOTION: Final approval of the request with only the first condition recommended by staff and removing condition #2. (L. Fleming/L. Dennis, 6—0)

V. Other Business: NONE

VI. Adjournment: There being no further business, the meeting was adjourned at 9:29 a.m.

Chair, Design Review Committee

Senior Planner, Historic Preservation

Certificates of Review Administratively Approved
Between 3/16/2023 and 4/13/2023

1. 425 HUNTER ST (Non-Contributing Building) - Installation of a 6 ft. tall wood privacy fence enclosing the rear yard of the subject property, replacing the previously installed 8 ft. tall wood privacy fence.
Subject to the following conditions: Fence must be setback by 3 feet from the edge of pavement of Lakeside Avenue (alley). (HPB23-051)

2. 1015 SIKES BL (Contributing Building) - Replacing two faces of an existing ground sign with two 3mm ACM face overlays matching the existing sign faces (28" tall by 52" wide).
Subject to the following conditions: (HPB23-056)

3. 720 ANGELINA LN (Non-Contributing Building) - Replacement of all existing metal windows and doors on building with Ply Gem vinyl single-hung windows (FL#14039-R7) and JELD-WEN (FL# 11136.3) Contours Steel, steel edge doors. Replacement of sections of T1-11 siding with LP Building Solutions Siding (FL#9190).
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS “SANDWICHED” BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT’S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTUER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-057)

Certificates of Review Administratively Approved
Between 3/16/2023 and 4/13/2023

4. 219 RIGGINS ST (Contributing Building) - Temporary metal accessibility ramp to be placed at front elevation/entrance of home on subject property until May 15, 2023.
Subject to the following conditions: Temporary ramp must be removed by May 15, 2023. (HPB23-058)

5. 832 MISSISSIPPI AV (Contributing Building) - Installation of a 6 ft. wood privacy fence at the rear of the subject property.
Subject to the following conditions: (HPB23-059)

6. 1023 PENNSYLVANIA AV (Contributing Building) - Demolition of a detached garage structure on the subject property.
Subject to the following conditions: (HPB23-060)

7. 315 RIGGINS ST (Contributing Building) - Installation of a 6' X 10' X 6'-11 1/8" tall gable roof shed in the rear yard of the subject property.
Subject to the following conditions: (HPB23-061)

8. 409 HUNTER ST (Contributing Building) - Replacing existing fence with 6 ft. tall wood fence, in same footprint as existing fence.
Subject to the following conditions: (HPB23-062)

9. 1704 COMANCHE TR (Non-Contributing Building) - Install 50 linear feet of 36" high ornamental aluminum fence on top of 12" brick wall, with 4 ft. tall brick columns at southwest side of subject property's yard, replacing a wood picket fence.
Subject to the following conditions: (HPB23-063)

Certificates of Review Administratively Approved
Between 3/16/2023 and 4/13/2023

10. 322 S INDIANA AV (Contributing Building) - Replacement of all windows in the house on the subject property, which are double-hung sash wood windows with a one-over-one lite configuration and aluminum awning windows, with vinyl single-hung sash windows with a one-over-one lite configuration (FL#22284). Historic windows are being replaced due to severe deterioration and rot.
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

    IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

    WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTUER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-065)

11. 514 HUNTER ST (Non-Contributing Building) - At the deck area to the right of the original front porch, remove non-historic shed roof cover, supports, and handrail. Replace existing wood steps at side of deck with a larger wood stair facing the street.
Subject to the following conditions: (HPB23-067)

12. 514 HUNTER ST (Non-Contributing Building) - Demolition of small, non-historic and unpermitted building addition at the rear of the principal house on the subject dwelling. Replace/repair siding where addition was attached to house with siding similar to the asbestos siding on the house.
Subject to the following conditions: (HPB23-069)

13. 1518 S DAKOTA AV (Contributing Building) - Installation of 187 linear feet of 6 ft. tall wood board-on-board fence with two gates in the rear yard of the subject property.
Subject to the following conditions: (HPB23-071)

Certificates of Review Administratively Approved
Between 3/16/2023 and 4/13/2023

14. 518 W PATTERSON ST (Contributing Building) - Installation of a 4 ft. tall wood stockade fence and 6 ft. tall wood stockade fence at the side elevations of the house on the subject property as well as a 6 ft. tall wood stockade fence along the rear property line, maintaining a 3 ft. setback from the alley.
Subject to the following conditions: (HPB23-072)

15. 46 LAKE MORTON DR (Contributing Building) - Installation of a 4 ft. tall black aluminum fence on top of 1 ft. tall retaining wall.
Subject to the following conditions: (HPB23-073)

16. 638 CORNELIA AV (Non-Contributing Building) - Replace 1 single unit and 1 triple unit aluminum windows, size for size, with ViWinTech Windows & Doors Single Hung Windows.
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS “SANDWICHED” BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
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Certificates of Review Administratively Approved
Between 3/16/2023 and 4/13/2023

17. 910 OAKHILL ST (Contributing Building) - Replace 4 sets of jalousie windows with Simonton vinyl single-hung sash windows (FL#5414.4), matching the existing window opening size. WINDOWS MUST NOT HAVE GRIDS.
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. WINDOWS SHALL NOT HAVE GRIDS OR MUNTINS.
4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

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18. 514 HUNTER ST (Non-Contributing Building) - Construction of a small accessory structure in the rear yard of the subject property, behind house, to enclose a water heater.
Subject to the following conditions: (HPB23-078)

19. 514 HUNTER ST (Building) - Installation of a 6 ft. wood privacy fence enclosing the rear yard of the subject property.
Subject to the following conditions: (HPB23-079)

20. 307 PUEBLO TR (Contributing Building) - Construction of a 2 ft. tall CMU masonry retaining wall in the front yard and 4 ft. tall CMU masonry retaining wall in the street side yard of the subject property.
Subject to the following conditions: (HPB23-080)

21. 301 FRANK LLOYD WRIGHT WY (Contributing Building) - Replacement of existing asphalt roof shingles with Armour Loc 26 Ga. flat panel standing seam metal roofing (FL#24397.5; 24397-R8).
Subject to the following conditions: (HPB23-081)

HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
April 27, 2023

Project #	**HPB23-066**
Owner/Applicant	**Ms. Lynn McCoy**
Address; Historic Name	**601 E. Charles Street; N/A**
Project Type	**Accessory Structure larger than 300 square feet**
Historic District; FMSF#	**South Lake Morton Historic District / N/A**
Future Land Use; Zoning; Context District; SPI	**RA-4; Residential Medium; Urban Neighborhood; South Lake Morton SPI**
Existing Use	**Residential**
Adjacent Properties	**Residential**
Previous Approvals	**Replace 1 window; reopen 1 window opening, 2/7/22 (HPB22-025)**

REQUEST

The Applicant requests Final Approval to construct a new accessory structure larger than 300 square feet on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property consists of an interior lot of record (Dixieland Subdivision, Block 9, Lot 5) with a total area of 0.17 acres, and contains a one-story Bungalow house built circa 1925, which is a non-contributing building in the South Lake Morton Historic District.

The Applicant requests to build a new accessory structure for use as a detached garage. The size of the garage is proposed to be 16 feet by 25 feet (400 square feet) with a mean height of 12.42 feet, and will be located in the rear yard, in the southwest corner of the subject property. The structure will be a pre-manufactured structure with a 2:12 pitch gable roof with dimensional shingles, as well as LP SmartSide vertical siding. The garage will also feature a vinyl window, a metal garage door, and a metal 9-lite entry door. The site plan submitted with the Application shows accessory building setback dimensions that meet the Land Development Code's Urban Form Standards.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project*:*

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:
Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.9.2: Secondary Structures

- Accessory structures that complement the architectural character of the principal house through the use of similar materials and simplified architectural elements.
- Accessory structures should be placed towards the rear of the property to minimize visibility from the street. Use of landscape screening and/or privacy fencing to reduce visibility of storage sheds and other utilitarian-designed outbuildings is recommended.
- Detached accessory structures that are excessively large and compete with the scale, massing, or height of the primary structure are not acceptable.
- Secondary structures with a gambrel or "barn style" roof form are not acceptable.

Sub-Chapter 4.10: Garages, Carports, and Porte Cocheres

- Detached garages and carports placed behind the front elevation of a principal historic structure, except for Ranch style houses, which may have an attached garage.
- Garages and carports accessed from the rear or side alley.
- Garages that are visibly subordinate to the principal historic structure in terms of their massing, form, and height.
- Garages and carports that are related to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- Garage doors in proportions and materials similar to those traditionally found in the historic districts.

ANALYSIS:

In evaluating the request with the Standards, staff finds that the proposed detached garage does not disturb the spatial relationships of the principal house, and its setting and integrity is maintained. New but similar materials will be used on the garage, which will be complementary in nature to the design of the house.

In evaluating the request with the Design Guidelines, staff finds the materials of the proposed detached garage are consistent with the Design Guidelines. Staff finds the style of the garage to be simple and compatible in design and subordinate to the subject house, as well as placed appropriately at the rear of the subject property. Finally, the setbacks of the detached garage meet the requirements of the Land Development Code for accessory structures.

STAFF RECOMMENDATION:

Final Approval of the request as submitted.

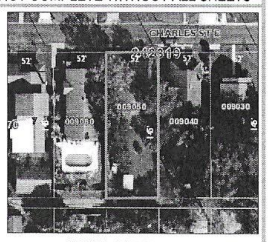
Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

Lynn McCoy 601 E. Charles St. Lakeland 33803

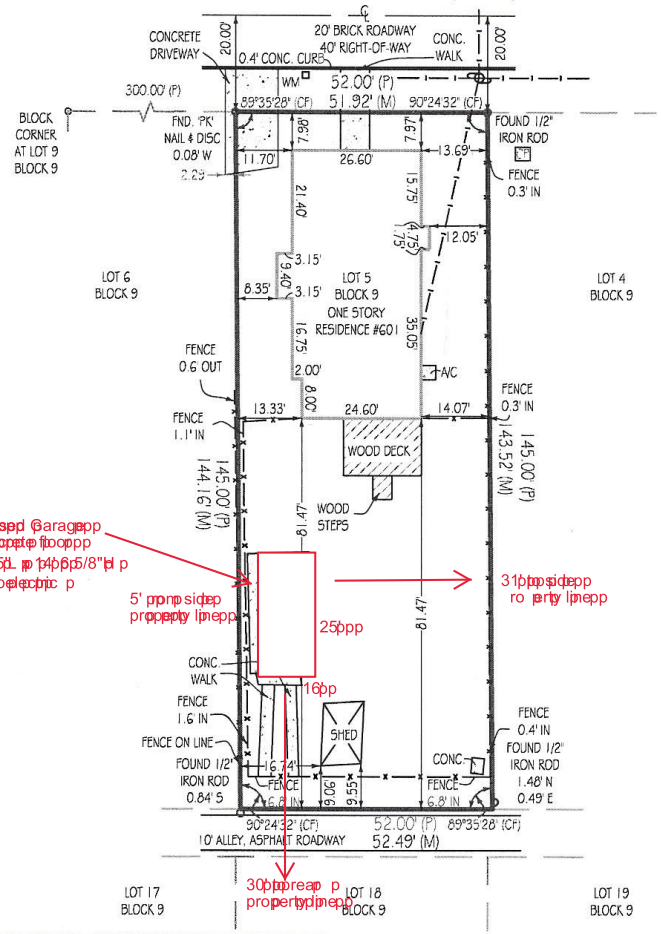
Sheet 1 of 2 (Sketch of Survey) - See Sheet 2 of 2 for Legal Description, Certifications, Property and other Survey related data. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

SCALE:1"=30'

BEARING REFERENCE:
NONE. RECORD INFORMATION LACKS ANGULAR DATA.
ALL ANGULAR DATA SHOWN BASED UPON FIELD OBSERVATION ONLY.



AERIAL PHOTOGRAPH
(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)



"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE

- DRIVEWAY CROSSES THE BOUNDARY LINE ON WESTERLY SIDE OF LOT AS SHOWN.

This survey has been issued by the following Landtec Surveying office:
481 E. Hillsboro Blvd. Ste 100-A
Deerfield Beach, FL 33441
Office: (561) 367-3587
Fax: (561) 465-3145
www.Landtecsurvey.com

Elevations, if shown:
Benchmark: _____
Benchmark Elev.: _____
Benchmark Datum: _____
Elevations on Drawing are in:
N.G.V.D.29 ☐ N.A.V.D.88 ☐

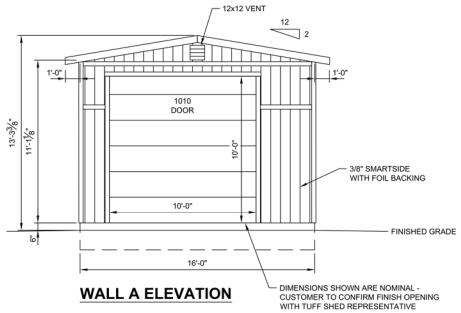
Revisions:

Job Nr: 116125-CW | Date of Field Work: 05/07/2021 | Drawn by: D.G.

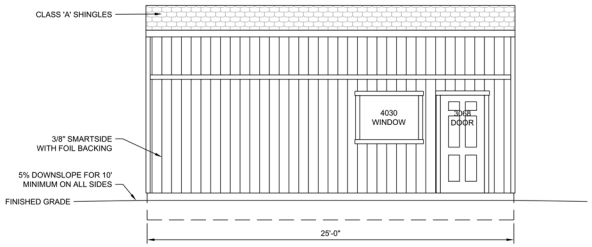
LANDTEC SURVEYING
Proudly Serving Florida's Land Title & Real Estate Industries
LICENSED BUSINESS No. 8007 ... measurably better!

ACCESSORY BUILDING
16' X 25' = 400 SQ FT

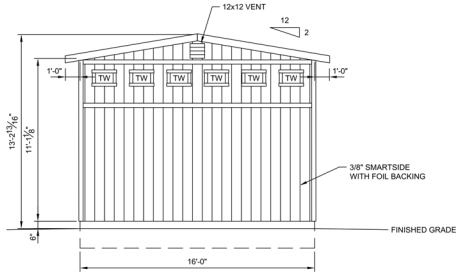
DRAWING INDEX



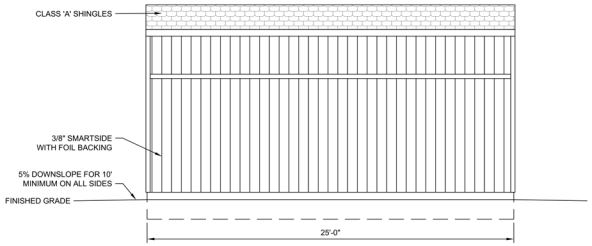
WALL A ELEVATION



WALL B ELEVATION



WALL C ELEVATION



WALL D ELEVATION

PROJECT NOTES

1. DESIGN REQUIREMENTS
   GOVERNING CODES: FLORIDA BUILDING CODE, 7TH EDITION (2020)
   OCCUPANCY GROUP: GROUP U
   CONSTRUCTION TYPE: V-B
2. DESIGN SCHEDULE
   A. BUILDING SIZE
      WIDTH: 16'-0"
      LENGTH: 25'-0"
      SIDE WALL HEIGHT: 11'-1 1/8"
      TOTAL HEIGHT: 13'-3 3/8"
   B. ROOF PITCH: 2/12
   C. BUILDING LOADS
      ROOF LIVE LOAD: 20 PSF
      ROOF DEAD LOAD: 10 PSF
   D. DESIGN WIND LOAD
      ULTIMATE DESIGN WIND SPEED: 140 MPH
      NOMINAL DESIGN WIND SPEED: 108 MPH
      BUILDING RISK CATEGORY: II
      WIND EXPOSURE: CATEGORY C
      ENCLOSURE CLASSIFICATION: ENCLOSED
      INTERNAL PRESSURE COEFFICIENTS: -0.18/+0.18
      EDGE STRIP DISTANCE: a = 3'-0"
   E. NOMINAL COMPONENTS & CLADDING WIND PRESSURES:
      ZONE 1: -23 PSF/+15 PSF
      ZONE 2: -41 PSF/+15 PSF
      ZONE 3: -60 PSF/+15 PSF
      ZONE 4: -28 PSF/+26 PSF
      ZONE 5: -34 PSF/+26 PSF
3. ROOFING SCHEDULE
   A. ROOF SHEATHING SHALL BE APA RATED 7/16" THICK OSB WITH FOIL BACKING, 24/16 RATED MIN., UNBLOCKED DIAPHRAGM. STAGGER LAYOUT PER APA CONDITION 1.
   B. SHEATHING NAILING SHALL BE PER NAILING SCHEDULE.
   C. LIFETIME DIMENSIONAL ASPHALT SHINGLES (U.N.O.).
   D. FELTBUSTER BY GAF.
   E. TYPE 'D' METAL DRIP EDGE FLASHING REQUIRED ALL SIDES.
   F. TRUSSES SHALL BE SPACED @ 24" OC.
   G. SEE SEPARATE TRUSS SHEETS FOR TRUSS FRAMING AND MATERIALS.
   H. TRUSSES MUST BE BRACED ACCORDING TO THE LATEST EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION "GUIDE TO GOOD PRACTICE OF METAL PLATE CONNECTED WOOD TRUSSES" (BCSI).
   I. TRUSS CONNECTION PLATES: EAGLE METAL PLATES.
   J. THE TRUSS PLATE INSTITUTE (TPI) (NER QA 430) IS THE INSPECTION AGENCY RESPONSIBLE FOR IN-PLANT INSPECTIONS.
   K. TRUSS MANUFACTURER: TUFF SHED, INC.
4. WOOD FRAMING
   A. ALL FRAMING MEMBERS SHALL BE **SPF #2 OR BETTER**.
   B. STUDS SHALL BE **SPF STUD GRADE OR BETTER** AND SPACED @ 16" OC.
   C. FASTEN EXTERIOR WALL SHEATHING TO FRAMING PER NAILING SCHEDULE.
   D. PROVIDE SOLID BLOCKING AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
   E. SHEAR WALL MATERIAL AND NAILING SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.
5. SOIL
   A. MIN. REQUIRED SOIL TYPE SHALL BE CLAY, SANDY CLAY, SILTY CLAY, OR CLAYEY SILT (CL, ML, MH & CH). ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1500 PSF AT 12" DEEP. VALUES ARE PER TABLE 1806.2.
   B. ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL.
   C. IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS OR UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
6. PERMIT
   A. PERMIT APPLICATIONS, WHERE NO PERMIT IS ISSUED, SHALL EXPIRE PER LIMITATIONS SET BY LOCAL CODES, SECTION 105.5.
   B. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE
7. GENERAL NOTES
   A. INSTALLATION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, TREES, UTILITIES, ETC.
   B. BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
   C. ALL WOOD CONSTRUCTION CONNECTORS REFERENCED IN THIS DRAWING SHALL BE SIMPSON 'STRONG-TIE' OR EQUIVALENT.
   D. GREEN VINYL SINKER NAILS DO NOT MEET THE NAILING REQUIREMENTS OF COMMON NAILS.
8. MATERIAL EVALUATION REPORT IDENTIFICATION
   A. TRUSS CONNECTION PLATES BY EAGLE METAL PER ICC-ES REPORT #ESR-1082 FBC SUPPLEMENT.
9. FLORIDA BUILDING APPROVAL NUMBERS-
   A. GARAGE DOOR BY OVERHEAD DOOR CORPORATION PER FLORIDA BUILDING APPROVAL #FL14170.
   B. SERVICE DOOR BY JELD-WEN, INC PER FLORIDA BUILDING APPROVAL #FL11136.
   C. SHED DOORS BY TUFF SHED, INC. PER FLORIDA BUILDING APPROVAL #FL22202.
   D. WINDOWS BY TAFCO CORP - FLORIDA BUILDING APPROVAL #FL20743.
   E. ECO-GUARD WINDOWS BY ECO WINDOW SYSTEMS PER FLORIDA BUILDING APPROVAL #FL25670.
   F. IMPACT WINDOWS BY SILVER LINE BUILDING PRODUCTS CORP. PER FLORIDA BUILDING APPROVAL #FL14911.
   G. HDU PRE-DEFLECTED HOLD-DOWNS BY SIMPSON STRONG-TIE PER FLORIDA BUILDING APPROVAL #FL10441.
   H. SSTB ANCHORS BY SIMPSON STRONG-TIE PER FLORIDA BUILDING APPROVAL #FL13628.
   I. H2.5A HURRICANE TIES BY SIMPSON STRONG-TIE PER FLORIDA BUILDING APPROVAL #FL10456.
   J. SMARTSIDE SIDING BY LP BUILDING PRODUCTS PER FLORIDA BUILDING APPROVAL #FL9190.
   K. HARDIE PANEL SIDING BY JAMES HARDIE BUILDING PRODUCTS PER FLORIDA BUILDING APPROVAL #FL13223.
   L. HARDIE PLANK LAP SIDING BY JAMES HARDIE BUILDING PRODUCTS PER FLORIDA BUILDING APPROVAL #FL13192.
   M. ASPHALT SHINGLES BY GAF PER FLORIDA BUILDING APPROVAL #FL10124.
   N. STARTER STRIP SHINGLE BY GAF PER FLORIDA BUILDING APPROVAL #FL10124.
   O. ROOF UNDERLAYMENT BY GAF PER FLORIDA BUILDING APPROVAL #FL18686.
   P. TRANSOM WINDOWS BY INNOVATIONS MANUFACTURING, INC. FLORIDA BUILDING APPROVAL #FL17667.
   Q. LAMINATED VENEER LUMBER (LVL) BY WEYERHAEUSER PER FLORIDA BUILDING APPROVAL #FL6527.
   R. FLOOD VENTS BY FLOOD SOLUTIONS, LLC (IF REQ'D)- FLORIDA BUILDING APPROVAL #FL17588.
   S. TITEN HD ANCHORS BY SIMPSON STRONG-TIE PER FLORIDA BUILDING APPROVAL #FL15730.

This item has been digitally signed and sealed by Richard Wills, PE. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

RICHARD WILLS LICENSE No. 76835 STATE OF FLORIDA PROFESSIONAL ENGINEER

17 MAR 2023

TUFF SHED, INC.
ENGINEERING DEPARTMENT
RICHARD J. WILLS, P.E.
RWILLS@TUFFSHED.COM
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-8833 EXT. 96315

SO #: 1882731 EP #: 13761
Customer: LYNN MCCOY

Description:
ACCESSORY BUILDING
16' X 25' = 400 SQ FT
Site Address:
601 CHARLES STREET
LAKELAND FL 33803

TUFF SHED Storage Buildings & Garages
TUFF SHED, INC.
512 JETTON ST
TAMPA, FL 33609
(813) 657-6091
CONTRACTOR #CBC1253845
STORE #70

Drawn By:	AMX
Date:	11-16-22
Checked By:	JR
Date:	1/10/23
Revised:	
Revised:	

Title:
PROJECT NOTES
ELEVATIONS

Scale: 1/4" = 1'-0"

Sheet:
S1

NAILING SCHEDULE

CHORD SPLICE NAILING: (8) 16d NAILS EACH SIDE OF SPLICE.
TRUSS BLOCKING: (4) 16d (TOENAILED)

FRAMING NAILING:
STUD TO TOP PLATE, (2) 16d END NAIL
STUD TO SILL PLATE, (2) 16d END NAIL OR (4) 8d TOENAIL
DOUBLE HEADER 16d @ 16" OC ALONG EACH EDGE
HEADER TO KING STUD (4) 8d TOENAIL OR (4) 16d END NAIL
DOUBLE TOP PLATES, 16d @ 16" FACE NAIL

UNLESS SPECIFIED HEREIN, ALL NAILING SHALL BE PER FBC, 7th EDITION (2020) TABLE 2304.10.1.

UPLIFT TRANSFER: PROVIDE SIMPSON H2.5A AT EACH END OF TRUSSES.

PROVIDE 2X4 SOLID BLOCKING ON ALL UNSUPPORTED EDGES OF PLYWOOD ON SHEAR WALLS.

UNBLOCKED ROOF DIAPHRAGM	CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)
ROOF SHEATHING NAILING: BORDER: 8d COMMON @ 6" OC; EDGE: 8d COMMON @ 6" OC; FIELD: 8d COMMON @ 12" OC	38	167

END WALL SHEAR TRANSFER: SHEATHING AT END WALL LAPS TOP PLATE OF WALL BELOW. PROVIDE EDGE NAILING. REFERENCE **END WALL ASSEMBLY**/S3, OR BALLOON FRAME END WALLS.

SIDING TESTED TO MEET THE REQUIREMENTS OF SECTION R703.1.1, EXCEPTION 2 OF THE 2018 IRC AND 2019 CRC. REFER TO INTERTEK LETTER REPORT NO. 104417961MID-001R1.

SHEAR WALL SCHEDULE

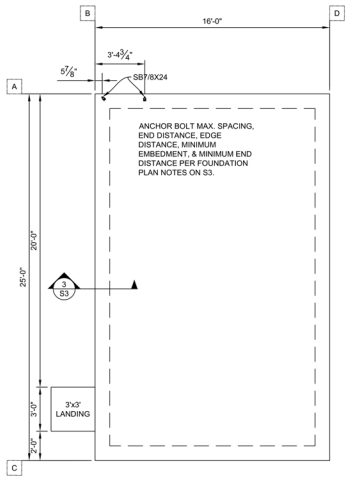
		CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)
A	2X6 FRAMING. SHEATHE EXTERIOR WITH 3/8" SMARTSIDE WITH FOIL BACKING. **SHEATHE INTERIOR WITH 7/16" OSB.** 16'-0" LONG TOTAL. 4' AND $2b_s/h$=0.72 USED FOR SHEAR. NAILING: EDGE: 8d COMMON @ **3" OC** FIELD: 8d COMMON @ 12" OC PROVIDE SIMPSON HDU8 HOLD-DOWNS ATTACHED TO END STUDS AND SB7/8X24 ANCHOR BOLTS.	396	549
C	2X6 FRAMING. SHEATHE EXTERIOR WITH 3/8" SMARTSIDE WITH FOIL BACKING. 16'-0" LONG TOTAL. 16' USED FOR SHEAR. NAILING: EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC NO HOLD-DOWNS REQUIRED.	99	164

SHEAR WALL SCHEDULE

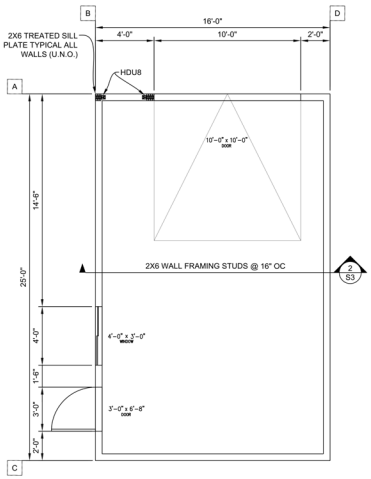
		CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)
B	2X6 FRAMING. SHEATHE EXTERIOR WITH 3/8" SMARTSIDE WITH FOIL BACKING. 25'-0" LONG TOTAL. 14.5' USED FOR SHEAR. NAILING: EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC NO HOLD-DOWNS REQUIRED. TOENAIL BLOCKING TO TOP PLATE: (3) 8d/BLOCK	65	164 150
D	2X6 FRAMING. SHEATHE EXTERIOR WITH 3/8" SMARTSIDE WITH FOIL BACKING. 25'-0" LONG TOTAL. 25' USED FOR SHEAR. NAILING: EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC NO HOLD-DOWNS REQUIRED. TOENAIL BLOCKING TO TOP PLATE: (3) 8d/BLOCK	38	164 150

WHEN PERFORATED SHEAR WALL DESIGN IS DESIGNATED, AREAS ABOVE AND BELOW OPENINGS ARE USED IN SHEAR CALCULATIONS. REFER TO THE ANSI/AWC SDPWS.

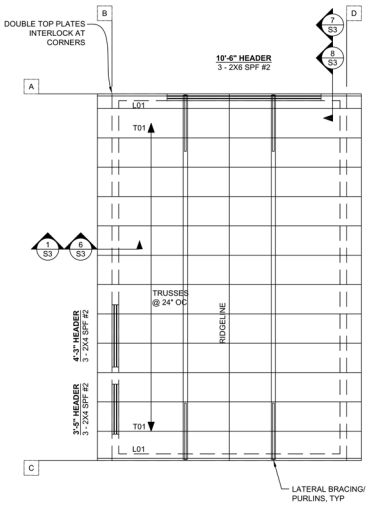
FASTENER EQUIVALENCY	
SIMPSON	USP
H2.5A	RT7A
SSTB16-SSTB36	STB16-STB36
HDU2-HDU5	PHD2A-PHD5A
HDU8	PHD8
LUS24-LUS210	JUS24-JUS210
LS30/LS50	MP3/MP5
LSTA9-LSTA24	LSTA9-LSTA24
A24	TDL5
H1	RT15
H3	RT3A
H6	LFTA6
H8	LTW12
H10	RT16A
PA51/PA68	TA51/TA71
ABA44/ABA66	PA44E/PA66E
BC4/BC6	C44/C66
A311	TDL10
HST2	KHST2
SDS1/4X3 SCREW	WS3
A34	MP34
A35	MPA1
CS18/CS22	RE200/RS300
HTT4/HTT5	HTT16/HTT22
CMSTC16	CMSTC16



FOUNDATION PLAN



FLOOR PLAN



ROOF FRAMING PLAN

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RICHARD W. WILLS LICENSE No. 76835 STATE OF FLORIDA PROFESSIONAL ENGINEER

17 MAR 2023

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ENGINEERING DEPARTMENT
RICHARD J. WILLS, P.E.
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17775 S. HARRISON STREET
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SO #: 1882731 EP #: 13761
Customer: LYNN MCCOY
Description: ACCESSORY BUILDING
16' X 25' = 400 SQ FT
SHED MODEL
601 CHARLES STREET
LAKELAND FL 33803

TUFF SHED
Storage Buildings & Garages
TUFF SHED, INC.
512 JETTON ST
TAMPA, FL 33619
(813) 507-4091
CONTRACTOR #CBC1253845
STORE 470

Drawn By: AMX
Date: 11-16-22
Checked By: JR
Date: 1/10/23
Revised:
Revised:
Title:

PLANS
SHEAR WALL SCHED
NAILING SCHEDULE

Scale: 1/4" = 1'-0"
Sheet:

S2

Sheet 2 of 3

HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
April 27, 2023

Project #	**HPB23-076**
Project Type	**Final Approval for New Multi-Family Construction**
Property Address	**957 Cumberland Street**
Historic District; FMSF#	**South Lake Morton Historic District; N/A**
Owner/Applicant	**Mr. Andrew Ericson / Mr. Everett Atwell, Manager, Tiggertink, LLC**
Zoning; Context District; Future Land Use; SPI	**MF-12; Urban Neighborhood Residential Medium; South Lake Morton SPI**
Existing Use	**Vacant**
Adjacent Properties	**Residential, Institutional**
Previous Approvals	**N/A**

REQUEST

The Applicant requests Final Approval for the new construction of a two-story, multi-family residential building on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property is located in the South Lake Morton Historic District and consists of two platted lots of record (Oakhurst Addition, Block B, Lots 15 and 16) with a total area of 0.30 acres, which are vacant. These lots are currently combined with three lots immediately adjacent to the east of the subject property; the Applicant intends to legally split the subject property from the combined parcel (Parcel ID 24-28-19-219000-002120). The property is zoned for multi-family use, at 12 dwelling units per acre.

The request proposes to construct a new two-story building containing four separate townhouse (single-family attached) units. The units vary in living area size from 1,666 square feet to 1,782 square feet. Aesthetically, the building will feature a neo-traditional style reflecting Craftsman architectural elements, including a hipped and gabled roofline, exposed rafter tails, decorative knee brackets, porches supported by pairs of tapered columns, windows with simulated divided lite upper sashes, and glazed front doors with transoms. Each unit will have a different exterior paint color palette, and similar but varied architectural features. Additionally, each unit will have an elevated back porch and small fenced backyard area. Materials for the proposed building will consist of:

Scope	Material
Foundation	Painted, sand finish cementitious coating over concrete stem wall
Exterior Cladding	Painted fiber cement lap siding with a 4” reveal, with fiber cement staggered shingle siding in the gables
Trim	Painted fiber cement trim (3.5” doors/windows and 5.5” corner boards); painted fiber cement mullions
Windows	White vinyl single-hung sash and fixed
Doors	Glazed painted smooth vinyl
Porch Features	Brick veneer porch foundation and column bases; concrete floor; painted fiber cement columns; 40” high painted wood railings; cast-in-place concrete steps.
Roof	Dimensional asphalt shingles; painted wood rafter tails; painted wood knee brackets

Fascia/Exposed eave	Painted wood fascia; painted beadboard fiber cement panel on eave
Exterior Paint Colors	Sherwin Williams paints. Body: Krypton SW6247; Evergreen Fog SW 9130; Diverse Beige SW6079; Argos SW7065. Trim: Ethereal White SW6182. Accent: Fawn Brindle SW7640 (shingles); Soft Sage SW9647 (Doors, Unit 1 & 3) Let it Rain SW9152 (Doors, Unit 2 & 4); Carriage Door SW7594 (Brackets); Downing Slate SW2819 (Porch

The site plan for the proposed project includes a varied front setback of approximately 13 feet from the property line, with interior side and rear setbacks that meet the City's Land Development Code requirements. Eight paved parking spaces are provided at the rear of the subject property, accessible from a 12 feet wide driveway connecting to Cumberland Street on the east side of the property. An enclosure for garbage and recycling bins is also proposed at the rear of the property.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards. The Garden District Special Public Interest District regulations ("Garden District Regulations") also apply to this project.

The following *Standards* apply to this project*:*

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project*:*
Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.6: New Residential Construction and Infill Development

- Ensure that Historic Buildings Remain the Central Focus: Carefully consider the historic context of the block and surrounding environment or historic district when designing a new structure. New construction should be distinguishable from historic structures without detracting from them.
- False Historicism/Conjectural History is Discouraged: Attempting to create an exact replica of historic styles for new construction blurs the distinction between old and new buildings and makes the architectural evolution of the historic district more difficult to interpret. While new construction within historic districts does not need to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
- Contemporary Interpretations of Traditional Designs and Details May be Considered: When applied to a compatible building form, contemporary materials and architectural details can increase energy efficiency and provide visual interest while helping to convey the fact that the building is new.
- Materials should respect adjacent historic buildings.
- Details and Ornamentation: a new building should consider the amount, location and elaborateness of details and ornamentation on existing neighboring buildings in its design.

- Setback Guidelines: Single and multi-family structures should adhere to established setback distances on adjacent lots. Alignment of porches, projecting bays, entryways and other façade elements of infill development with adjacent historic structures.
- Orientation Guidelines: Orient front facades and entrances to the street. Building entrances, porches, and landings should have orientations that are consistent with other historic structures along the street.
- Massing and Scale Guidelines:
    - Infill structures should have massing and scale conditions that are compatible with adjacent structures on the same block face.
    - Structures should utilize design strategies to reduce the apparent scale of the primary façade to blend in with adjacent structures.
    - Corner infill structures should acknowledge prominent locations with appropriate transitional or other massing gestures.
    - Infill structures should be elevated a minimum of 21 inches above grade to promote visual interest, privacy and consistent building height zones along the street.
    - The height-to-width ratio of an infill structure's street-facing facade should be compatible with and maintain massing proportions established by adjacent historic structures.
    - The height of walls, cornices, roofs, and chimneys on new infill structures should be compatible with existing building heights.
    - Infill structures should be no more than one story higher or lower than adjacent buildings.
    - All principal new buildings must have front porches or terraces that extend toward the street.
- Façade Proportion Guidelines: Infill structures that exhibit a minimum level of "diagrammatic compatibility" with historic buildings along the street. Façade compositions on infill structures that use design strategies to relate to historic façade patterns.
- Porch Column and Wall Opening Guidelines: Porch column and fenestration patterns that are coordinated to reflect a discernible order or regular window-bay definition. Porch column faces that are flush with the face of the beam or horizontal structural member above them. Porch columns that are appropriately scaled relative to the size of the beam above them.
- Window Guidelines
    - Windows should have vertical or square proportions.
    - Window design should be based on traditional types with the historic pane configurations.
    - Structures should incorporate window designs as a coordinated ensemble.
    - Windows should be constructed of wood, wood cladding or a synthetic material that resembles a traditional wood window.
    - When a simulated divided-lite appearance is used, the muntins (grid/grille) should be mounted to the exterior glass.

Sub-Chapter 4.7.2 Multi-Family Infill: Townhouses

- Townhouse structures located along a historic block face with up to four units are acceptable.
- Façades of townhouse structures in historic districts should have massing articulations such as window bays, projections, and recesses; a monolithic façade in scale and massing is not acceptable.
- Fenestration patterns on townhouse structures should have glazing percentages similar to adjacent historic structures.
- Townhouses should be no more than three stories in height.
- Townhouse structures should be aligned with adjacent building setbacks.

ANALYSIS:

Staff finds that the proposed townhouse building meets the Standards and Design Guidelines in terms of scale, massing, orientation, setbacks, fenestration size and alignment, materials, and compatible neo-traditional design. The proposed building's recesses and projections, cohesive mix of architectural features, and varied rooflines due to the topography of the site help soften the massing of the building and avoid a monolithic appearance. Each unit's front façade and primary door faces Cumberland Street with an appropriate front porch. Each unit is also articulated by traditional architectural features and different but complementary exterior paint palettes. The architectural ornamentation and details of the building are a contemporary interpretation of the Craftsman Bungalow architectural style widely found within the South Lake Morton Historic District and compatible with the historic buildings immediately adjacent to the subject property. The overall height of the building is also consistent with the Design Guidelines and compatible with adjacent buildings. Finally, the building setbacks and the location of the parking area behind the building are appropriate and consistent with the Design Guidelines.

STAFF RECOMMENDATION:

Final Approval for the proposed new townhouse building as submitted.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

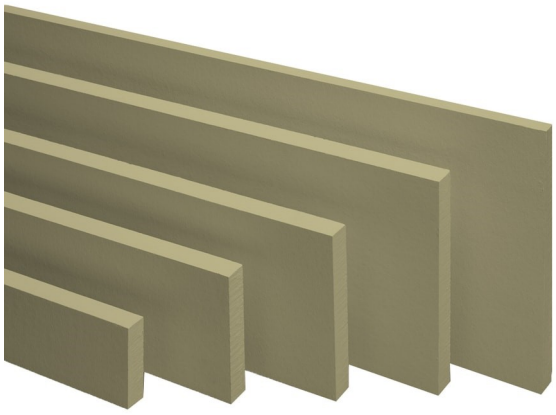
597 Cumberland Street Proposed Materials List:

FOUNDATION: PAINTED, SAND FINISH, CEMENTITIOUS COATING OVER CONCRETE MASONRY UNIT STEMWALL.

EXTERIOR WALL CLADDING: PAINTED FIBER CEMENT HARDIE PLANK LAP SIDING WITH 4" REVEAL. (GABLES: PAINTED FIBER CEMENT HARDIE SHINGLE STAGGERED EDGE PANEL).

ARCHITECTURAL FEATURES: BRACKETS: PAINTED WOOD; PORCH FOUNDATION AND COLUMN BASES: BRICK VENEER; PORCH COLUMNS: PAINTED CEMENT FIBER HARDIE PANEL AND HARDIE TRIM.

TRIM: WINDOWS: 3.5" PAINTED HARDIE TRIM; DOORS: 3.5” PAINTED HARDIE TRIM; CORNER BOARDS: 5.5” PAINTED HARDIE TRIM



WINDOWS: VINYL, WHITE, SINGLE HUNG & FIXED. SEE 'WINDOW & DOOR SIZES’ TABLE ON SHEETS A.2.1 & A.2.2 FOR SIZE AND MUNTIN PATTERNS.

MUNTINS: 11/6” WIDE WHITE VINYL SIMULATED DIVIDED LITE.

MULLIONS: PAINTED CEMENT FIBER HARDIE TRIM.

DOORS, TRANSOMS & SIDELIGHTS: GLAZED, PAINTED, SMOOTH VINYL. SEE ELEVATIONS ON SHEETS A.2.1 & A.2.2 FOR CONFIGURATIONS. CRAFTSMAN STYLE.

PORCH RAILINGS: 40” HIGH PAINTED WOOD. CRAFTSMAN STYLE WITH NOMINAL 2”X2” VERTICAL PICKETS.

PORCH COLUMNS: PAINTED CEMENT FIBER HARDIE PANEL AND HARDIE TRIM.

PORCH FLOORING: CONCRETE SLAB

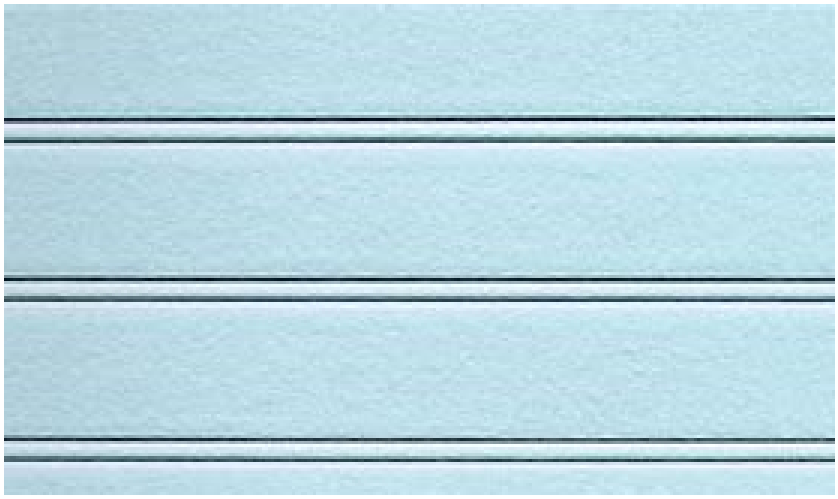
PORCH SIZES:	FRONT	REAR
UNIT 1	8’0”DX17’8”W	8’0”DX17’8”W
UNIT 2	8’0”DX17’4”W	12’0”DX11’8”W
UNIT 3	8’0”DX17’4”W	12’0”DX11’8”W
UNIT 4	8’0”DX16’4”W	8’0”DX17’8”W

PORCH STEPS: FRONT STEPS: CAST-IN-PLACE CONCRETE; REAR STEPS: PAINTED WOOD. SEE PLANS & ELEVATIONS FOR CONFIGURATION.

ROOF: DIMENSIONAL ASPHALT FIBERGLASS REINFORCED SHINGLES.

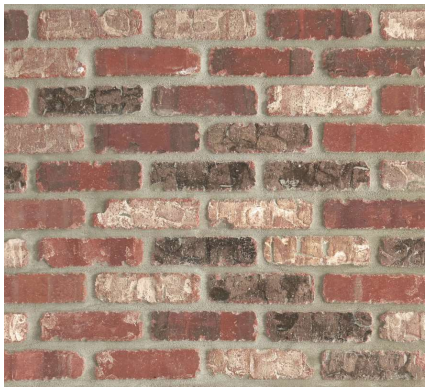
RAFTER TAILS: PAINTED, NOMINAL 2”X6” P.T. WOOD.

SOFFIT & FASCIA: SOFFIT: PAINTED, BEADBOARD
FIBER CEMENT HARDIE PANEL; FASCIA: PAINTED
NOMINAL 2”X6” P.T. WOOD



Roof and Siding

(Real materials may differ slightly in color.)



Primary Colors

(Sherwin Williams)

Expert Pick

SW 6247

Krypton

FULL DETAILS

LRV: 52

RGB: 184 / 192 / 195

Hex Value: #B8C0C3

Location Number: 225-C2

Available in: Interior/Exterior

Color Collections: Color ID (Minimalist), Living Well (Focus)

Color Family(s): Blue

Find a breath of fresh air in this light, atmospheric blue. Its slate gray undertone makes this a superb choice for your solitary fortress.

2022 Color of The Year

SW 9130

Evergreen Fog

FULL DETAILS

LRV: 30

RGB: 149 / 151 / 138

Hex Value: #95978A

Location Number: 215-C4

Available in: Interior/Exterior

Color Collections: West Elm (Fall/Winter), Colormix Forecast 2022 (Method), Rejuvenation (Fall/Winter), Colormix Forecast 2023 (Biome)

Color Family(s): Green

This versatile, chameleon color will breathe a calming freshness into your space. Consider this gorgeous green-meets-gray with just a bit of blue in a bedroom.

SW 6079

Diverse Beige

FULL DETAILS

LRV: 47

RGB: 194 / 180 / 167

Hex Value: #C2B4A7

Location Number: 198-C2

Available in: Interior/Exterior

Color Collections: Colormix Forecast 2020 (Heart), Living Well (Breathe)

Color Family(s): Orange

Go for a classic, natural feel in your kitchen or main gathering spaces with this warm beige -- excellently balanced by its cool, mushroom undertone.

SW 7065

Argos

FULL DETAILS

LRV: 51

RGB: 189 / 189 / 183

Hex Value: #BDBDB7

Location Number: 236-C2

Available in: Interior/Exterior

Color Collections: Pottery Barn Teen (Fall/Winter), West Elm (Fall/Winter)

Color Family(s): Neutral

This perfectly balanced gray suggests the steadfast solidity of ancient stone. Try this versatile neutral in almost any room. And get comfortable.

Trim

(Sherwin Williams)

SW 6182

Ethereal White

FULL DETAILS

LRV: 76

RGB: 227 / 226 / 217

Hex Value: #E3E2D9

Location Number: 258-C5

Available in: Interior/Exterior

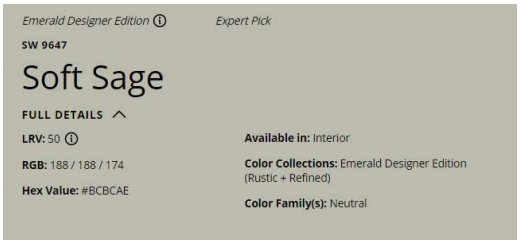
Color Family(s): White

Accent Colors

(Sherwin Williams)

Shingles

Doors (Unit 1 & 3)



Doors (Unit 2 & 4)

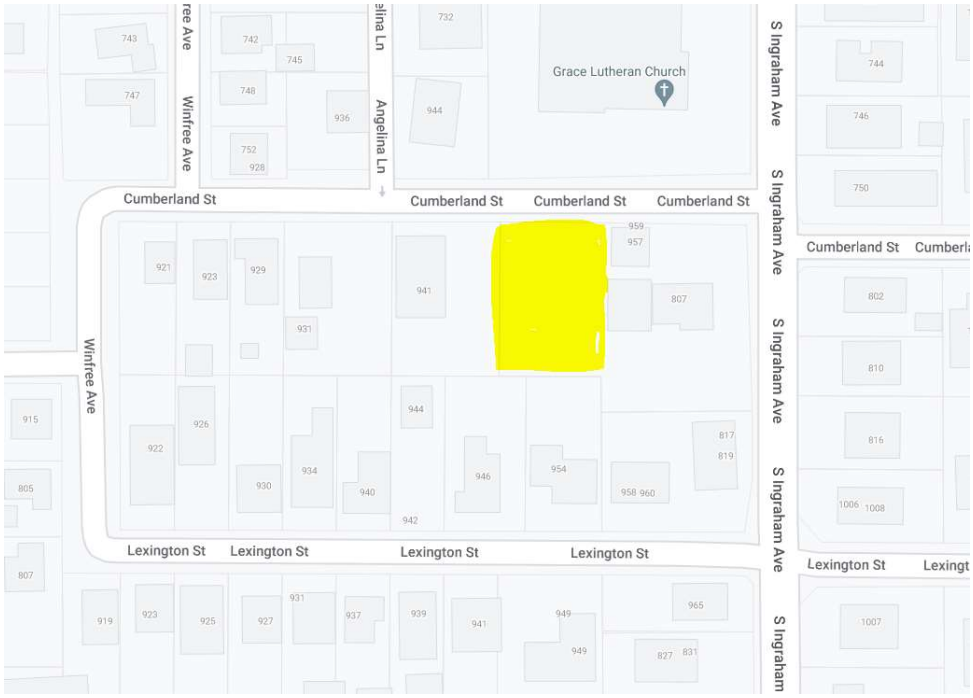
Brackets

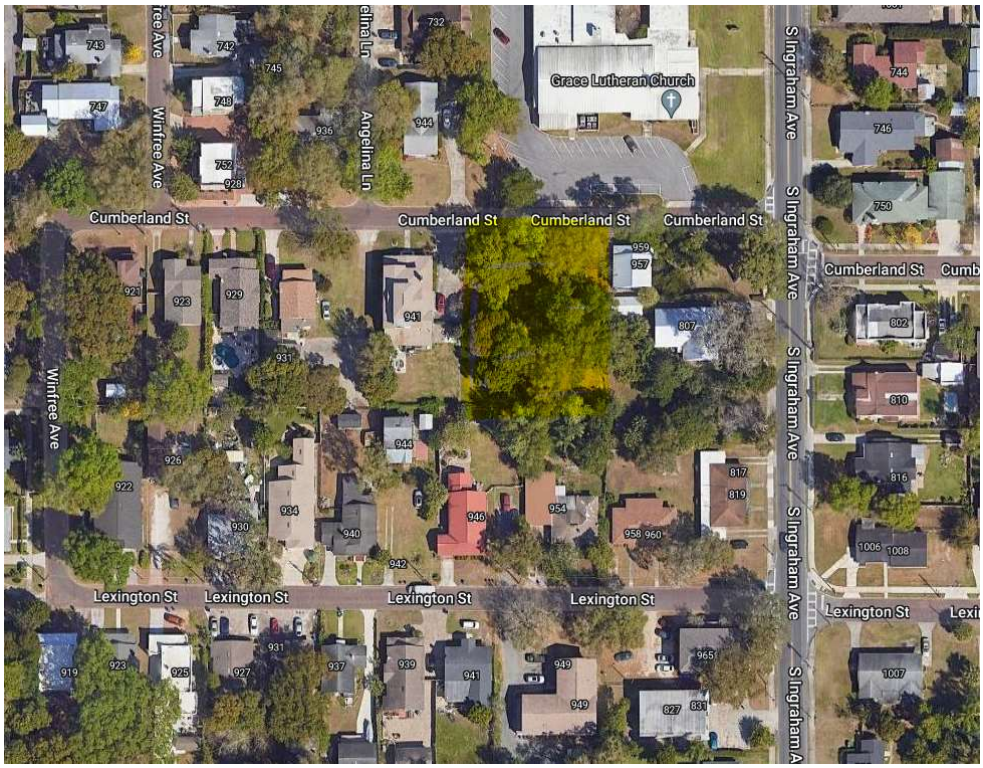
Porch

Historic Preservation Board Design Review

Photographs of Property's existing conditions and adjoining properties.

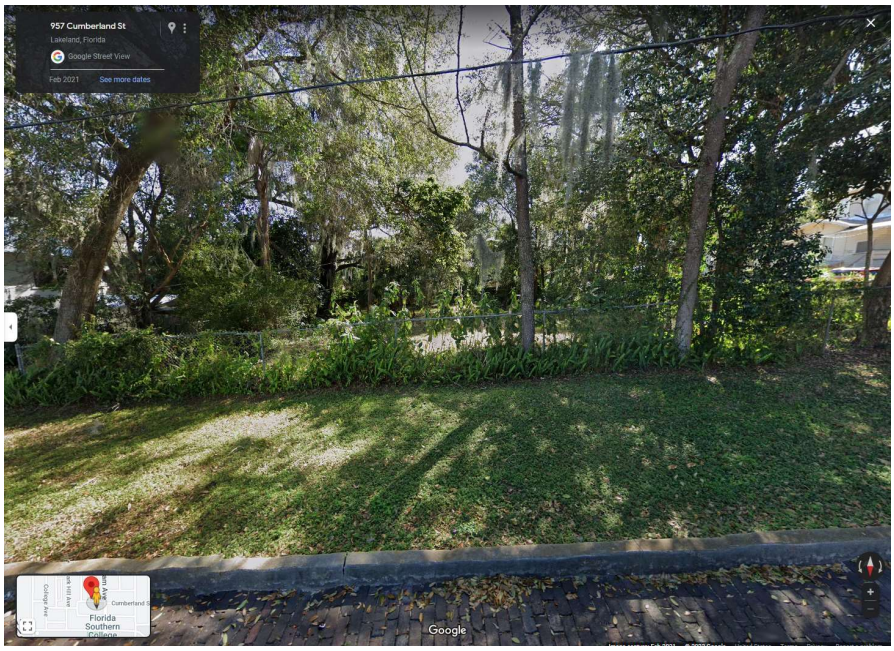
Aerial View

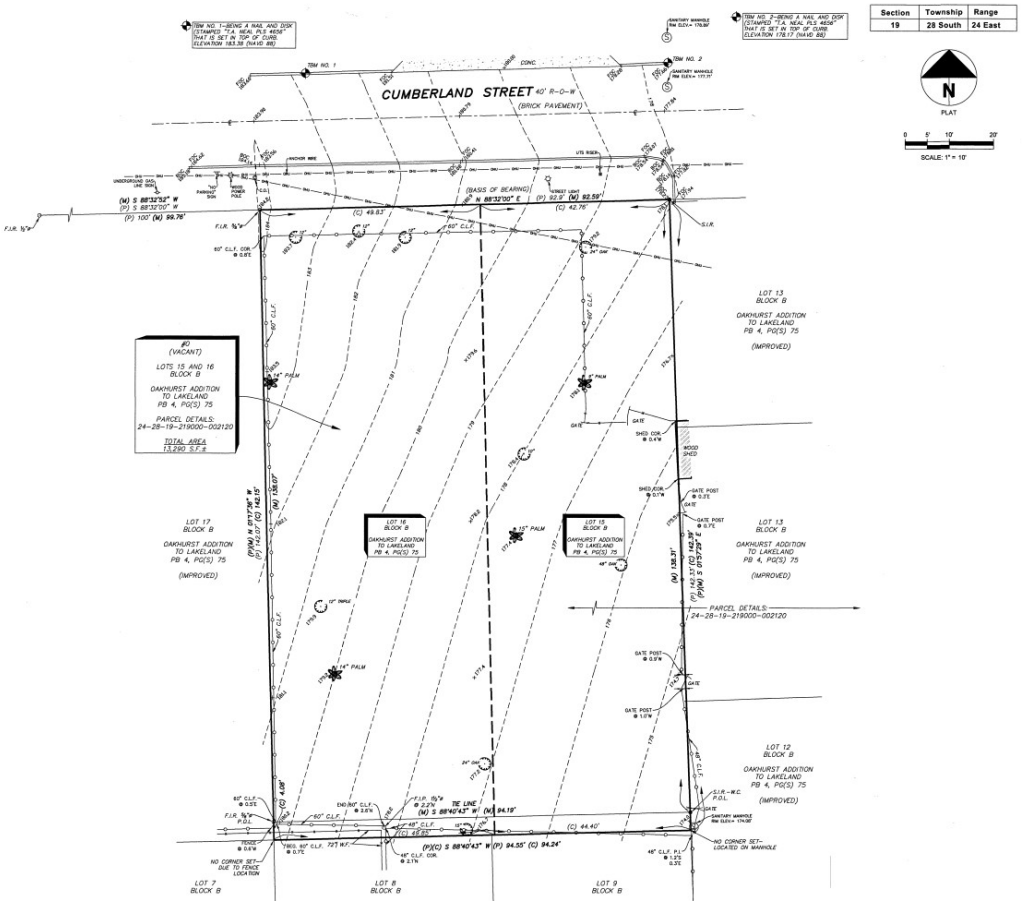




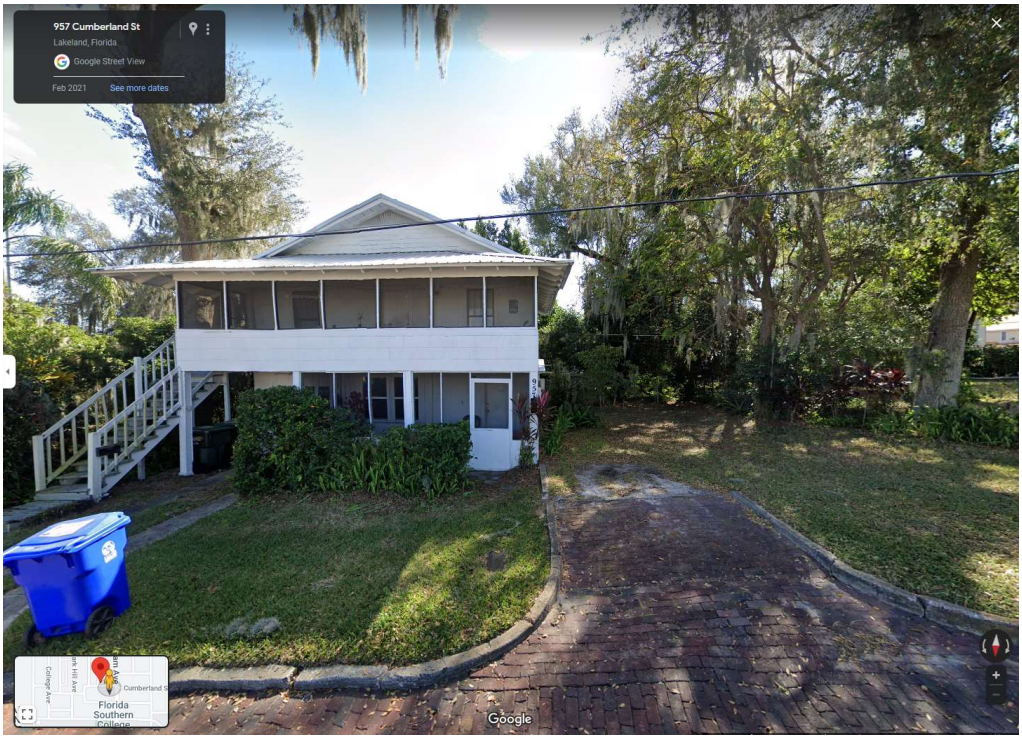
Street View

Vacant land for proposed development.

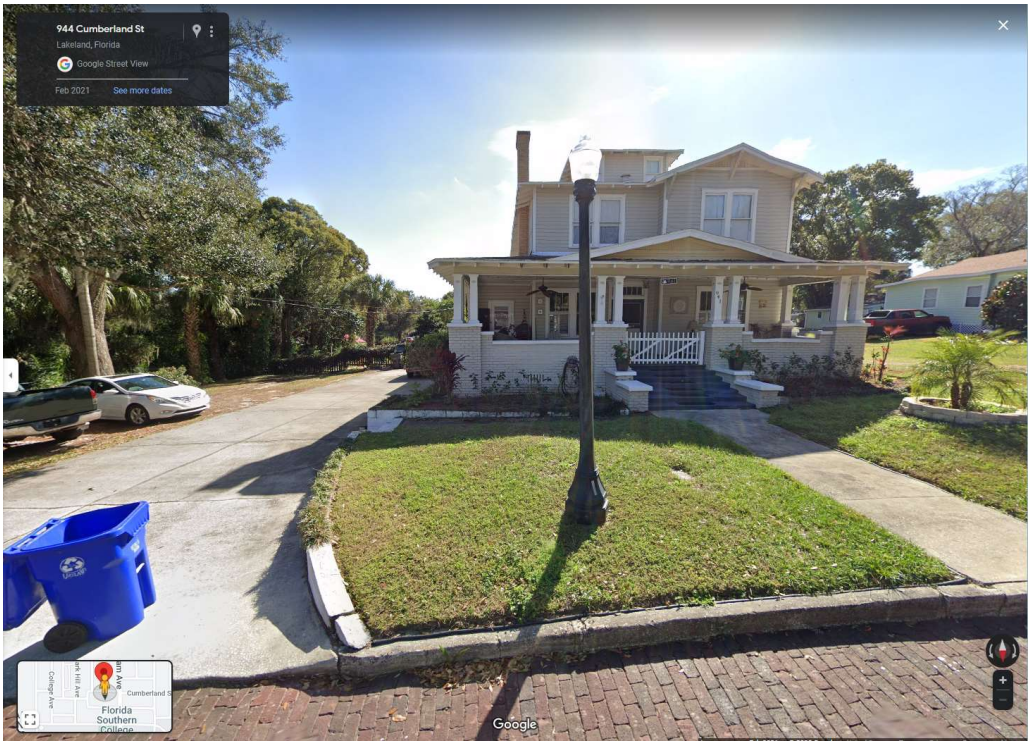


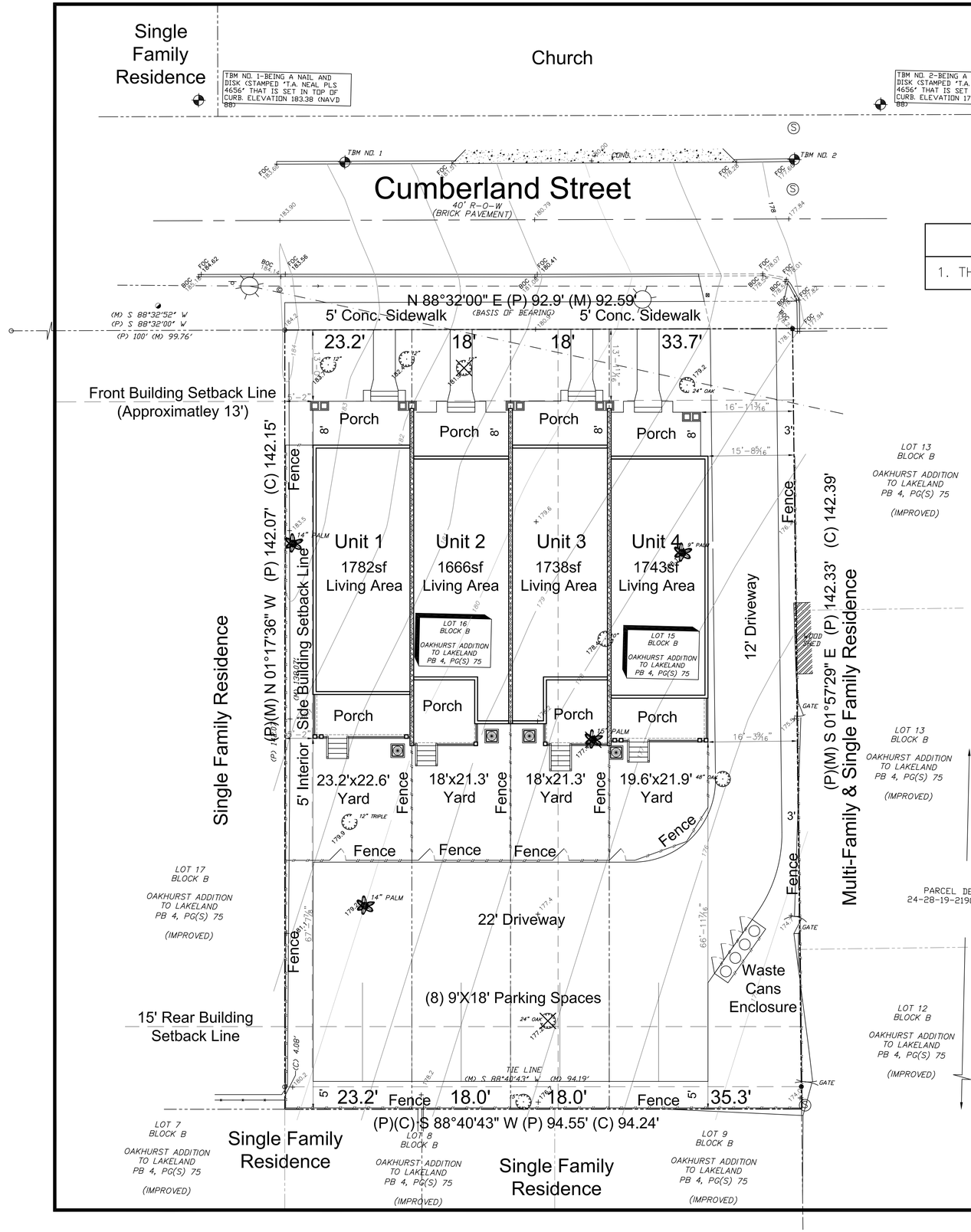


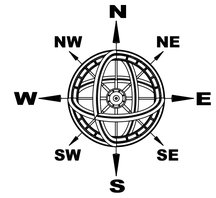
East of proposed development. (959/957 Cumberland St)



West of proposed development. (941 Cumberland St)







NORTH BASIS: ASSUMED
SCALE: 1" = 10'

Notes

1. THE EXISTING SITE IS VACANT

Site Data Table

LOT AREA:	13290 SF
ZONING DISTRICT:	MF-12
FUTURE LAND USE CATEGORY:	RM
*DENSITY ALLOWED 12DU/ACRE: DENSITY ACTUAL:	4.17 UNITS 4 UNITS
*13290SF LOT AREA + 1852 SF HALF WIDTH OF RIGHT-OF-WAY = 15142 SF (0.35 AC) 12 UNITS X 0.35 ACRES = 4.17 UNITS	

Zoning (Table 3.4-11)

LOT REQUIREMENTS

DESCRIPTION:	ALLOWED:	PROPOSED:
A. LOT WIDTH:	18' MIN./35' MAX. 23' MIN./40' MAX. END	LOT 2: 18' LOT 3: 18' LOT 1: 23.2' END LOT 4: 33.7' END
B. LOT AREA:	2160 SF MIN.	LOT 1: 3294 SF LOT 2: 2560 SF LOT 3: 2561 SF LOT 4: 4878 SF
C. LOT COVERAGE:	70% MAX.	4363 SF BC/13290 SF LA = 33%

PRINCIPAL BUILDING REQUIREMENTS

DESCRIPTION:	ALLOWED:	PROPOSED:
D. STREET SETBACK:	EXISTING BUILDING PATTERN	APPROXIMATELY 13'
E. INTERIOR SIDE SETBACK:	0' MIN. 5' MIN. ADJACENT TO DETACHED STRUCTURE	SEE PLAN SEE PLAN
F. REAR SETBACK:	15' MIN.	SEE PLAN
G. *FRONTAGE BUILDOUT:	90% MIN.	89%
H. BUILDING HEIGHT:	2 STORIES MIN. 40' MAX.	2 STORIES LESS THAN 40'

*72' BUILDING WIDTH/(92.6' LOT WIDTH - 12' DRIVE AISLE) = 89%

Project No. APC-2256 - Scale: 1"=10'-0"

Cumberland Townhouses
957 Cumberland Street
Lakeland, Florida 33801

Date Issued: 02-10-23

No.:	Date:	Revision:

Preliminary Site Plan

ALDERMAN Planning COMPANY
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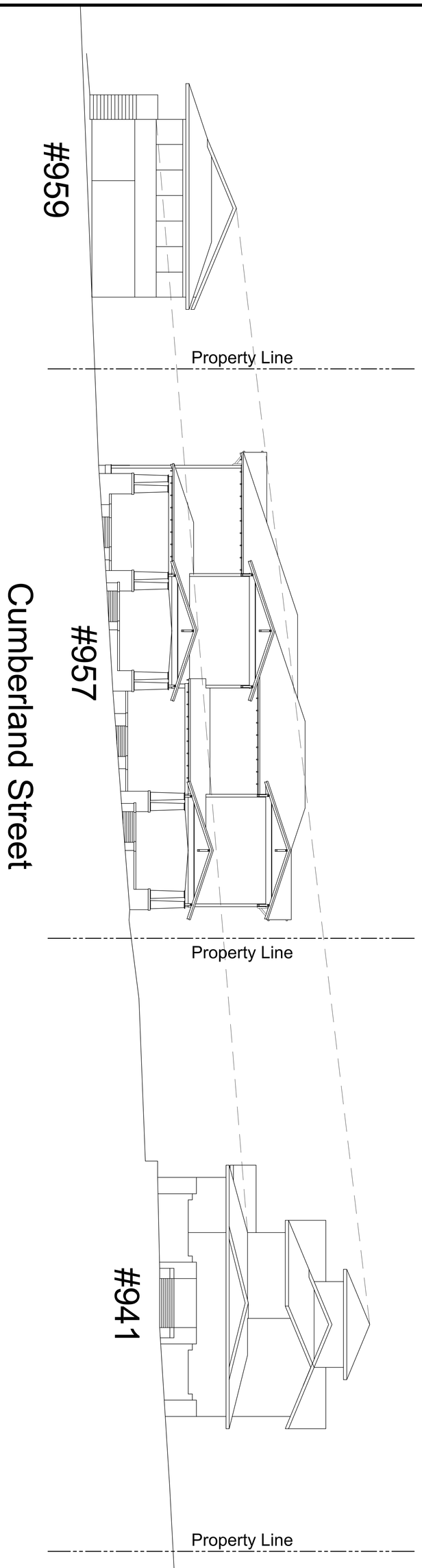
617 Marshall Street, Lexington, VA 24450

Sheet
A.0.1



Street Profile Exhibit

Sheet **A.0.2**

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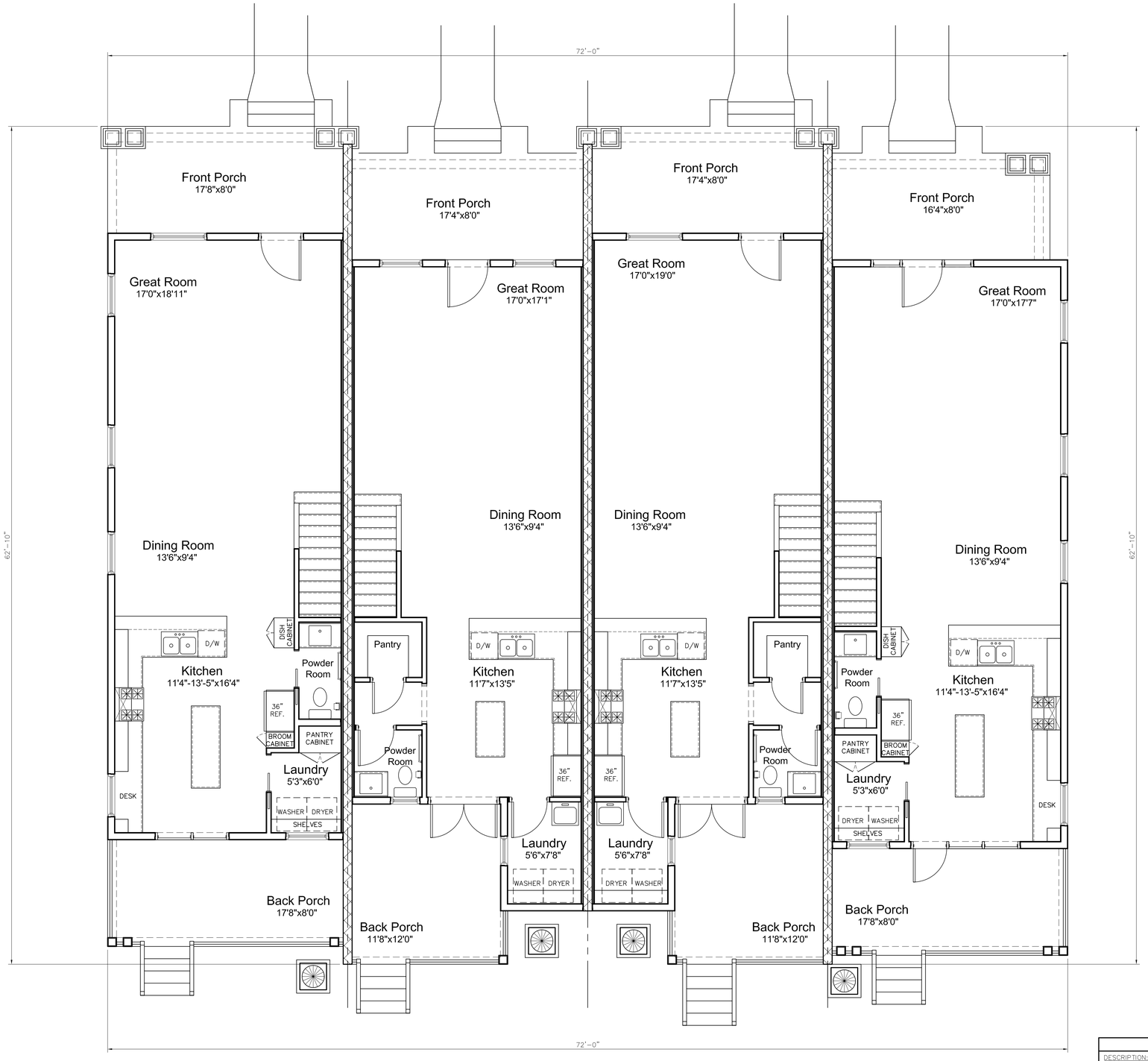
Date Issued: 03-07-23

No.:	Date:	Revision:

Project No. APC-2256 - Scale: 1/8"=1'-0"

0' 2' 4' 8' 16' 32'

Cumberland Townhouses
957 Cumberland Street
Lakeland, Florida 33801



N
W E
S

Area Tabulation

DESCRIPTION:	UNIT 1	UNIT 2	UNIT 3	UNIT 4	BUILDING
LIVING AREA:					
1st FLOOR:	819 SqFt	787 SqFt	823 SqFt	795 SqFt	3224 SqFt
2nd FLOOR:	963 SqFt	879 SqFt	915 SqFt	939 SqFt	3696 SqFt
TOTAL LIVING AREA	1782 SqFt	1666 SqFt	1738 SqFt	1734 SqFt	6920 SqFt
COVERED AREAS:					
FRONT PORCH:	144 SqFt	144 SqFt	144 SqFt	133 SqFt	565 SqFt
BACKPORCH:	144 SqFt	140 SqFt	140 SqFt	144 SqFt	568 SqFt
TOTAL UNDER ROOF:	2070 SqFt	1950 SqFt	2022 SqFt	2011 SqFt	8053 SqFt

Project No. APC-2256 - Scale: 1/4"=1'-0"

0' 1' 2' 4' 8' 16'

Cumberland Townhouses
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Lakeland, Florida 33801

Date Issued: 03-07-23

No.:	Date:	Revision:

1st Floor Plans

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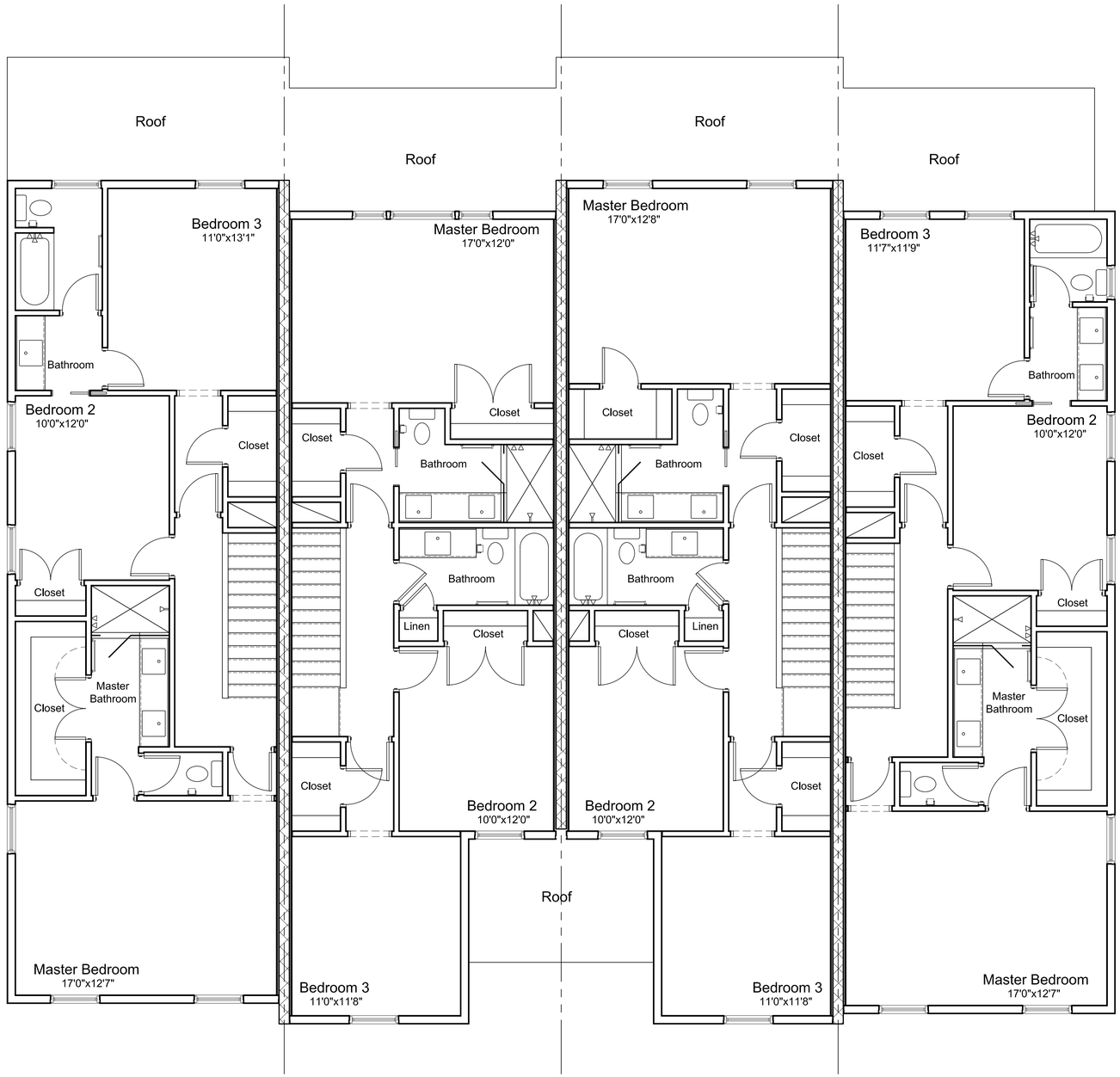
A.1.1



Unit 1 Unit 2 Unit 3 Unit 4

Area Tabulation					
DESCRIPTION:	UNIT 1	UNIT 2	UNIT 3	UNIT 4	BUILDING
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1st FLOOR:	819 SqFt	787 SqFt	823 SqFt	795 SqFt	3224 SqFt
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N W E S

Project No. APC-2256 - Scale: 1/4"=1'-0"

Cumberland Townhouses
957 Cumberland Street
Lakeland, Florida 33801

Date Issued: 03-07-23

No.:	Date:	Revision:

2nd Floor Plans

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Sheet
A.1.2

Unit 4
F.F.E.=180.83' (NAVD)

Unit 3
F.F.E.=182.17' (NAVD)

Unit 2
F.F.E.=183.50' (NAVD)

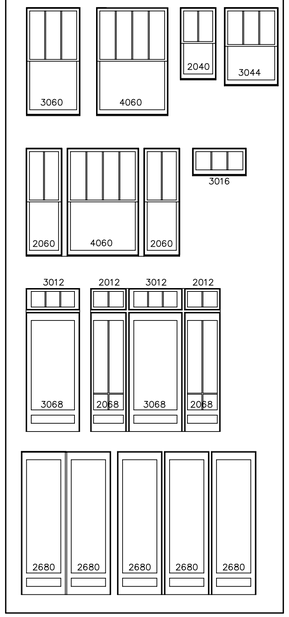
Unit 1
F.F.E.=184.83' (NAVD)

Front (Northerly - Cumberland Street) Elevation

Unit 4

Left Side (Easterly) Elevation

Window & Door Sizes



Exterior Specifications

FOUNDATION: PAINTED, SAND FINISH, CEMENTITIOUS COATING OVER CONCRETE MASONRY UNIT STEMWALL.

EXTERIOR WALL CLADDING: PAINTED FIBER CEMENT HARDIE PLANK LAP SIDING WITH 4" REVEAL. (GABLES: PAINTED FIBER CEMENT HARDIE SHINGLE STAGGERED EDGE PANEL).

ARCHITECTURAL FEATURES: BRACKETS: PAINTED WOOD; PORCH FOUNDATION AND COLUMN BASES: BRICK VENEER; PORCH COLUMNS: PAINTED CEMENT FIBER HARDIE PANEL AND HARDIE TRIM.

TRIM: WINDOWS: 3.5" PAINTED HARDIE TRIM; DOORS: 3.5" PAINTED HARDIE TRIM; CORNER BOARDS: 5.5" PAINTED HARDIE TRIM

WINDOWS: VINYL, WHITE, SINGLE HUNG & FIXED. SEE 'WINDOW & DOOR SIZES' TABLE FOR SIZE AND MUNTIN PATTERNS.

MUNTINS: 11/6" WIDE WHITE VINYL SIMULATED DIVIDED LITE.

MULLIONS: PAINTED CEMENT FIBER HARDIE TRIM.

DOORS, TRANSOMS & SIDELIGHTS: GLAZED, PAINTED, FRONT FIBERGLASS, REAR SMOOTH VINYL. SEE ELEVATIONS FOR CONFIGURATIONS. CRAFTSMAN STYLE.

PORCH RAILINGS: 40" HIGH PAINTED WOOD. CRAFTSMAN STYLE WITH NOMINAL 2"X2" VERTICAL PICKETS.

PORCH COLUMNS: PAINTED CEMENT FIBER HARDIE PANEL AND HARDIE TRIM.

PORCH FLOORING: CONCRETE SLAB

PORCH STEPS: FRONT STEPS: CAST-IN-PLACE CONCRETE; REAR STEPS: PAINTED WOOD. SEE PLANS & ELEVATIONS FOR CONFIGURATION.

ROOF: DIMENSIONAL ASPHALT FIBERGLASS REINFORCED SHINGLES.

RAFTER TAILS: PAINTED, NOMINAL 2"X6" P.T. WOOD.

SOFFIT & FASCIA: SOFFIT: PAINTED, BEADBOARD FIBER CEMENT HARDIE PANEL; FASCIA: PAINTED NOMINAL 2"X6" P.T. WOOD.

Project No. APC-2256 - Scale: 1/4"=1'-0"

0' 1' 2' 4' 8' 16'

Cumberland Townhouses
957 Cumberland Street
Lakeland, Florida 33801

Date Issued: 03-07-23

No.:	Date:	Revision:

Elevations

ALDERMAN Planning COMPANY
Phone: 813.833.5161
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Sheet
A.2.1

Unit 1
F.F.E.=184.83' (NAVD)

Unit 2
F.F.E.=183.50' (NAVD)

Unit 3
F.F.E.=182.17' (NAVD)

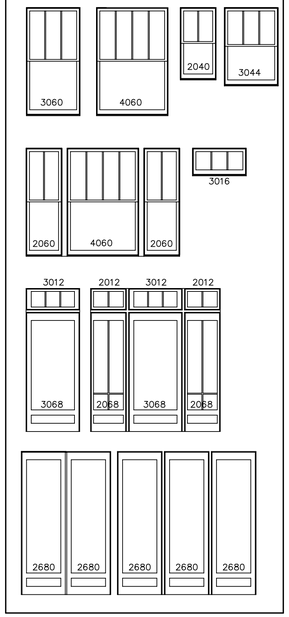
Unit 4
F.F.E.=180.83' (NAVD)

Rear (Southerly) Elevation

Unit 1

Right Side (Westerly) Elevation

Window & Door Sizes



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PORCH STEPS: FRONT STEPS: CAST-IN-PLACE CONCRETE; REAR STEPS: PAINTED WOOD. SEE PLANS & ELEVATIONS FOR CONFIGURATION.

ROOF: DIMENSIONAL ASPHALT FIBERGLASS REINFORCED SHINGLES.

RAFTER TAILS: PAINTED, NOMINAL 2"X6" P.T. WOOD.

SOFFIT & FASCIA: SOFFIT: PAINTED, BEADBOARD FIBER CEMENT HARDIE PANEL; FASCIA: PAINTED NOMINAL 2"X6" P.T. WOOD.

Project No. APC-2256 - Scale: 1/4"=1'-0"

0' 1' 2' 4' 8' 16'

Cumberland Townhouses
957 Cumberland Street
Lakeland, Florida 33801

Date Issued: 03-07-23

No.:	Date:	Revision:

Elevations

ALDERMAN Planning COMPANY
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Sheet
A.2.2

HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
April 27, 2023

Project #	**HPB23-077**
Address; Historic Name	**716 Mississippi Avenue; "John D. Major House" (CD 1926)**
Owner/Applicant	**Wes and Michelle Graham**
Project Type	**Demolition and New Construction**
Historic District; FMSF#	**South Lake Morton Historic District; #SLM 13-12, 13**
Zoning; Future Land Use; Context District; SPI	**RA-4; Residential Medium Urban Neighborhood; South Lake Morton SPI**
Existing Use	**Residential**
Adjacent Properties	**Residential**
Previous Approvals	**Entrance Handrail, 12/19/2017 (HPB17-233); Front Façade Addition, 12/15/2022 (HPB22-206)**

REQUEST

The Applicants request Final Approval to demolish the subject house, and construct a new house in the design and site plan approved for the front façade addition, approved by the Design Review Committee in December 2022.

SUMMARY OF BACKGROUND INFORMATION

The subject property is an interior lot of record (Orange Park, Block A, Portion of Lot 5) consisting of 0.19 acres. On this property is a one-story, single-family residence built circa 1925 in the Frame Vernacular architectural style, which is a contributing building in the South Lake Morton Historic District. The Frame Vernacular styling of this house is expressed by its gabled roof, rectangular plan, double-hung sash wood windows with a one-over-one lite configuration, and weatherboard siding. Alterations include modifications to the front porch and small rear additions. The subject house has an existing area under roof of 1,499 square feet.

Historically, the subject property was combined with the adjacent property to its south, 718 Mississippi Avenue. In 2010, the subject property was split from 718 Mississippi Avenue. In 2016, the accessory building at the rear of 716 Mississippi Avenue was re-combined with 718 Mississippi Avenue, as this accessory building was built on the shared property line and encroaches into both properties. The Applicants purchased the subject property in 2017.

In December 2022, approval was obtained for major renovations to the subject house, which included partial demolition and front addition. Since this time, the Applicants and their design professional/general contractor have been working to finalize the construction and engineering plans for the project. Based on new information discovered about the house, as well as the advice from three separate contractors, a local builder, and the City's Building Inspection Division, the Applicants now request a full demolition of the subject house for the following reasons:

- The condition of the house, which has water and termite damage, wood rot, and foundation pier deterioration, makes the reuse of existing walls difficult. This was especially concerning to Building Inspection, which questioned whether it would be feasible to marry the old wall sections and foundation, with the new. In fact, the south wall is literally resting in the dirt.
- The complexity of a partial demolition versus a full demolition will result in additional time, risk, and cost, with only minimal value to the project in keeping a small portion of the structure's historic fabric.

- The walls that were originally planned to remain make up only a small portion of the entire structure. All other exterior walls, interior walls, flooring, windows, foundation, plumbing, electrical, mechanical and the entire roof structure have already been approved to be replaced.
- The Applicants are committed to maintaining the architectural style and character of this house through the previously approved design.

If demolition is granted approval, the Applicants propose to construct a new house with the same design, materials and site plan as approved in December 2022. The house features a cross-gabled roof with a gabled front porch supported by paired square columns on plinths and a knee wall. The left (north) side elevation will have a gabled, projecting bay, similar to that on the historical structure. The rear elevation will have an integrated back porch. Materials for the proposed new structure include:

Scope	**Material**
Foundation	Concrete slab with elevation appropriate to the design previously presented and approved. Splayed foundation walls at front of structure with lapped Hardie siding; painted concrete foundation at front porch.
Exterior Cladding	Hardie lap siding; window trim to match existing.
Windows	Vinyl windows with a one-over-one lite configuration.
Doors	Front door will be fiberglass with a Craftsman quarter-lite appearance.
Roof	Asphalt or fiberglass shingles; 6/12 pitch
Fascia/Soffit	Hardie fascia; vinyl soffit
Porch	Hardie wrapped columns, brick finish on column plinths and knee wall

The site plan for the proposed new house shows building setbacks that comply with the Urban Form Standards in the Land Development Code.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following section of the Land Development Code applies to this project:
Article 11, Section 6.3.c. Demolition is generally discouraged and shall be reviewed with regards to:

1. The architectural significance of the building or structure. Architectural significance shall be determined by the DRC at the time of the demolition request and shall be based upon documentation of the property's architectural integrity and historical or cultural significance. Designation of the building or structure as "non-contributing" by the most recent historic district survey does not preclude the DRC from making a determination of architectural significance.
2. The contribution of the building or structure to the history or origins of the historic district.
3. The future utilization of the site, including any replacement buildings or structures.

The following *Standards* apply to this project*:*

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project*:*
Chapter 4: Historical Development Patterns and New Construction
Sub-Chapter 4.6: New Residential/Infill Construction.

- The scale and massing of the new building, including its fenestration, roof height and shape, and elevation should be consistent with surrounding contributing buildings.
- Building Form – the front façade of buildings should be closely aligned with other buildings on the block to maintain a uniform setback; consistent spacing of buildings maintains rhythm of historic neighborhood development pattern; the height-to-width ratio of street facing façade should be compatible with adjacent buildings.
- Orientation of new buildings should be toward the primary road and building setbacks should reflect traditional siting dimensions.
- Materials should respect adjacent historic buildings.
- Details and ornamentation should reflect those of surrounding buildings.
- Window material, style, size, and trim should be consistent with historic windows and include dimensional mullions and exterior muntins, if applicable.
- Doors should be of an appropriate design reflective of the architectural style of the building.
- Roof design and details should reflect those of surrounding buildings
- Colors should complement surrounding buildings.

ANALYSIS:

Regarding the considerations for demolition, the subject building is considered a contributing building in the South Lake Morton Historic District as it represents the Frame Vernacular architectural style, was built during the District's period of significance, and for its association with the Florida Land Boom historic context in Lakeland. The architectural details of this house are relatively simple and common; several similar examples exist in the East and South Lake Morton Historic Districts, as well as the Dixieland Historic District. Aside from its historical link to the Florida Land Boom, which many homes constructed between 1919 and 1929 share, the house has no known associations with persons or events of importance in Lakeland's history. While the building retains architectural integrity, the project as previously approved in December 2022 would remove much of the original historic fabric of this house. Staff finds that this building would not be eligible for an individual listing on the National Register of Historic Places based on its architectural or historical merits.

While the Historic Preservation Standards (LDC, Article 11) are silent on financial and economic reasons for rehabilitating or demolishing a historic building, the Committee has considered these reasons as additional facts for informing their decision in the past. The Applicants' assessment suggests a building that has been compromised by deferred maintenance that would preclude a reasonable effort and expense to repair. Additionally, the Applicant has demonstrated good faith in exploring practical solutions for reusing the existing house, and is committed to rebuilding a compatibly designed house. Staff finds that the future utilization of the site proposes a new single-family house is appropriate and continues the historic use of this property.

As previously approved, staff finds the neo-traditional style and design of the proposed new house to be compatible with the contributing houses adjacent to the subject property and will not adversely affect the architectural integrity of the neighborhood or Historic District. Architectural details such as the paired square columns and plinths, gabled front porch, splayed foundation walls, and lapped siding convey the Frame Vernacular

style and are consistent with the Design Guidelines. Staff also finds that the proposed building's scale and massing, as well as materials, are consistent with residences in the Lake Morton neighborhood and the Design Guidelines.

Finally, the proposed placement of the house on the lot is consistent with the Design Guidelines and Urban Form Standards in terms of orientation, building setbacks, foundation height, and porch depth.

STAFF RECOMMENDATION:

Final Approval of the request with the following conditions:

1. New siding must match the exposure dimension of the original siding. All trim and casing should be similar to that of the historic structure and include corner boards and frieze boards.
2. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface. Windows also must include historically appropriate trim, including header, sill, and apron.
3. Ensure that the front porch columns are properly aligned with the entablature beam, and that a frieze board of appropriate width covers the entablature beam.
4. Front door must feature full-lite, half-lite, or quarter-lite glazing.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

Figure 1 was submitted and approved during the December 2022 Historic Board meeting. For clearer visibility, we added red lines, depicting the North and South side wall portions that are in question. Figure 2 is the same drawing, with a depiction of only the remaining walls, not currently approved for removal.

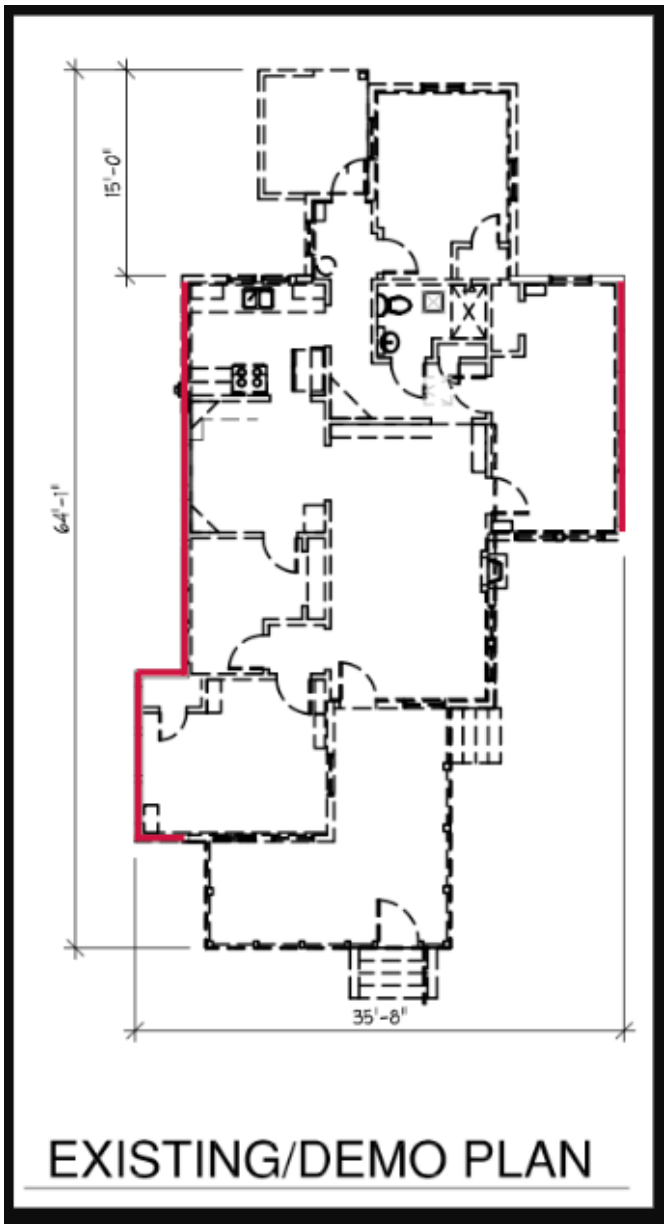


Figure 1

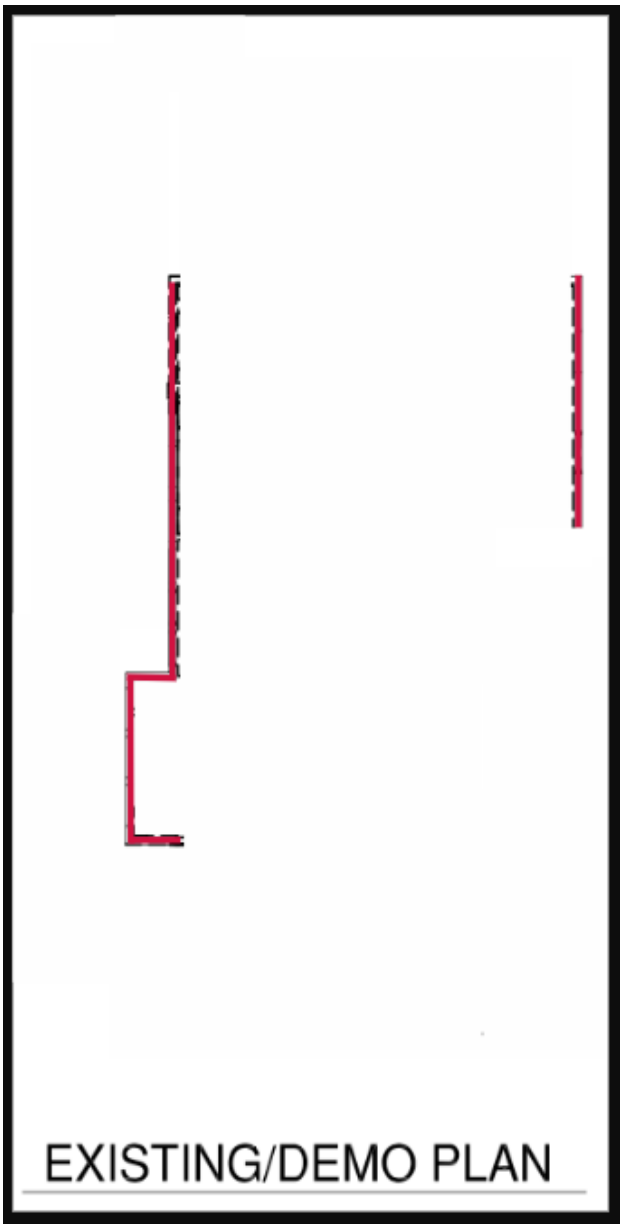
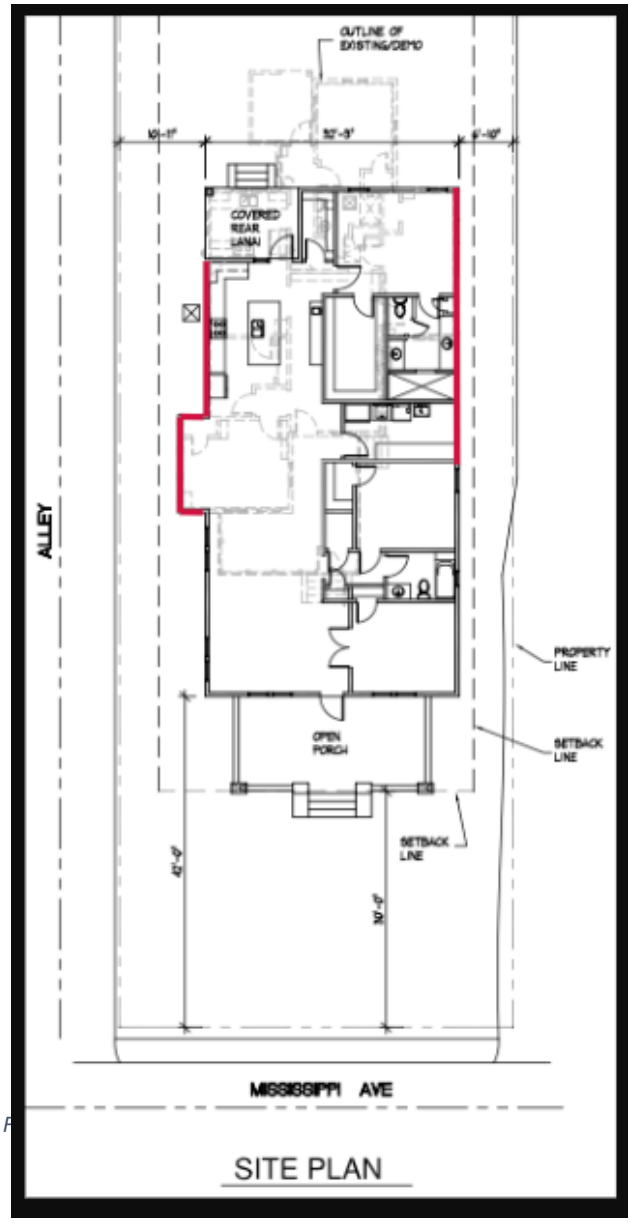


Figure 2

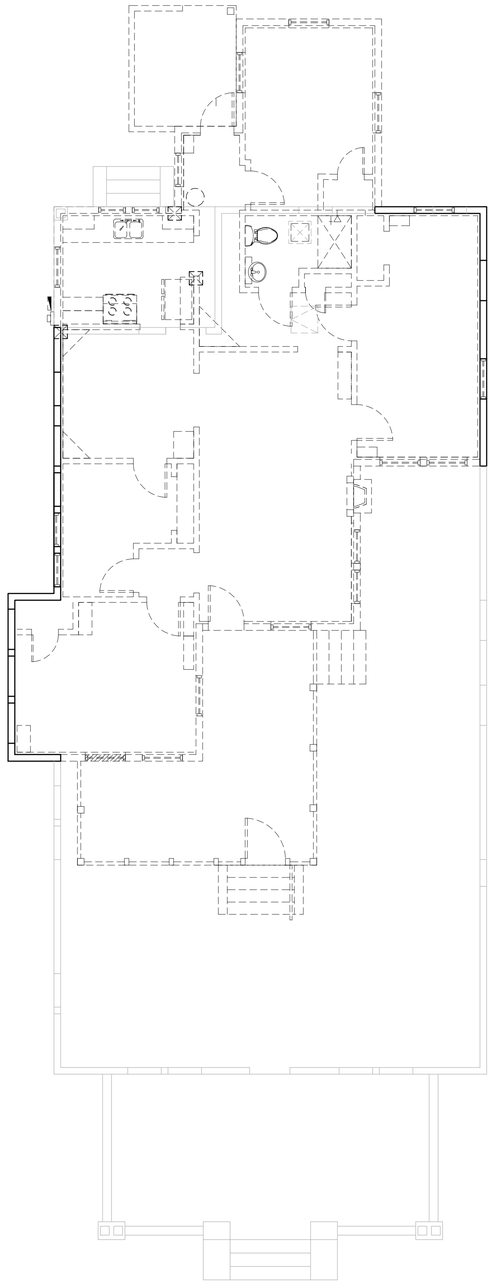
Figure 3 was also submitted and approved during the December 2022 Historic Board meeting. For clearer visibility, we also added red lines, depicting the North and South side walls, not currently approved for removal.



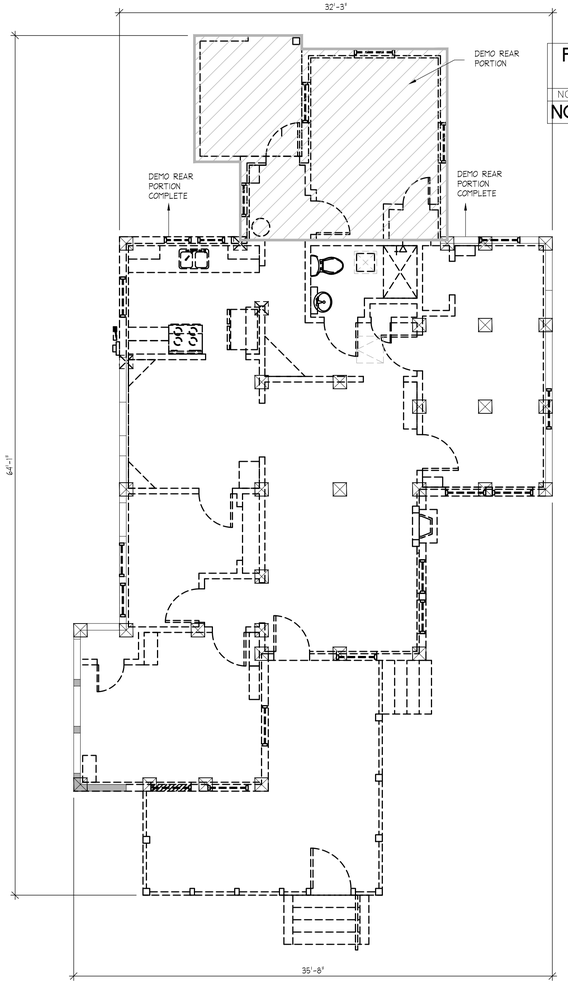
EXISTING FRONT IMAGE

EXISTING LEFT IMAGE

EXISTING REAR IMAGE



OVERLAY REFERENCE PLAN
SCALE: 3/16" = 1'-0"



DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
NOT TO SCALE

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REVISIONS
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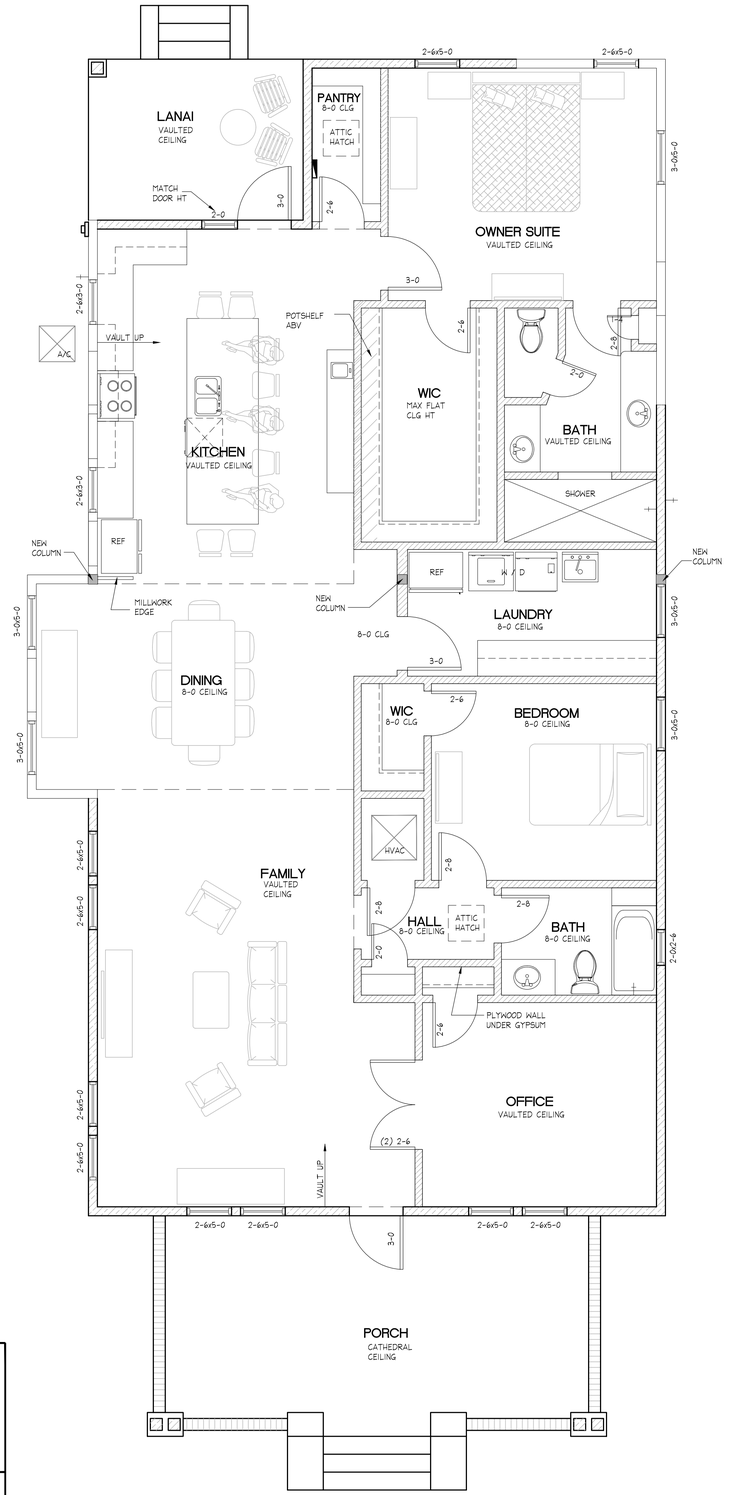
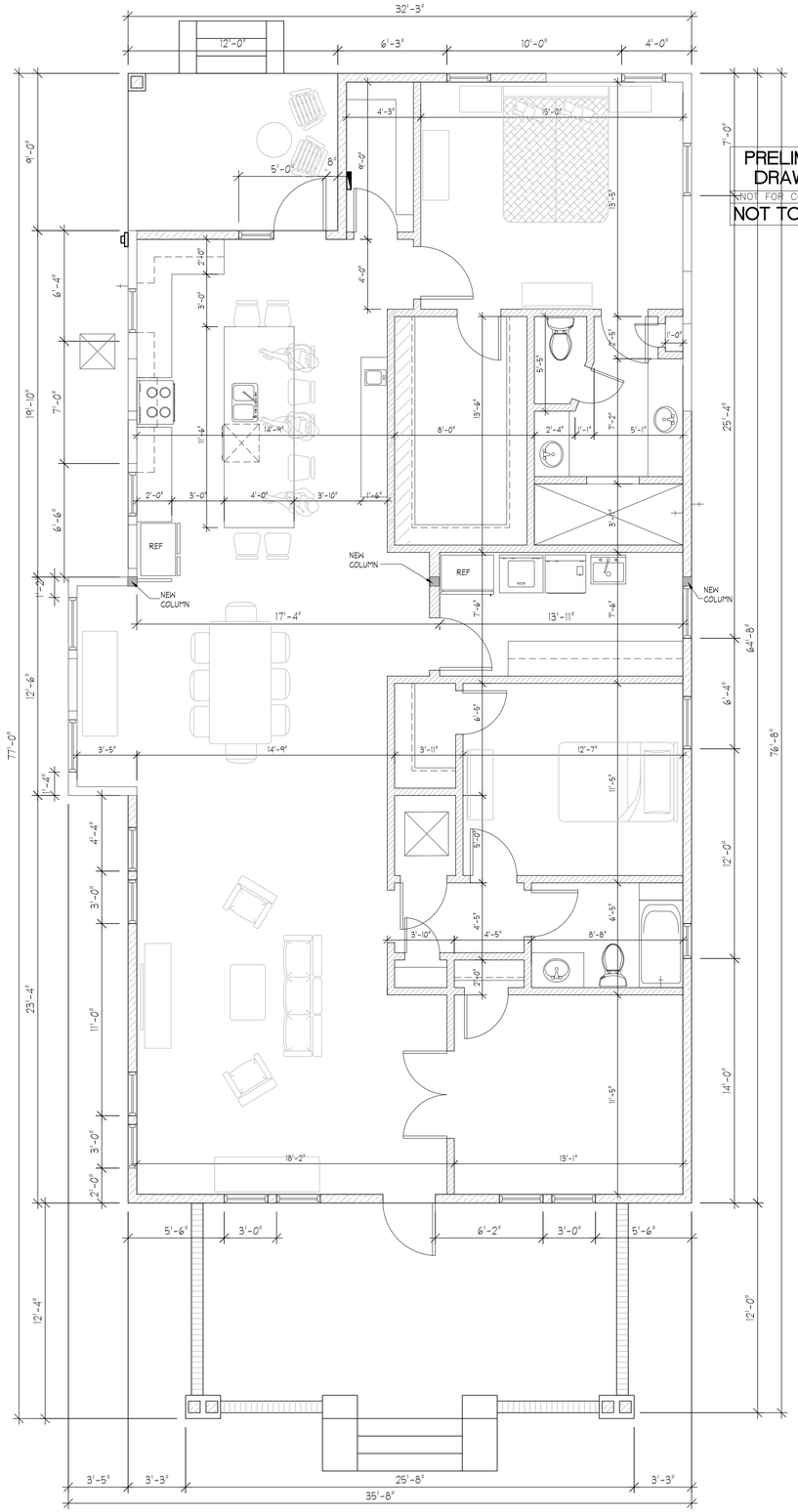
REMODEL & ADDITION FOR:
GRAHAM RESIDENCE
716 MISSISSIPPI AVENUE
LAKELAND, FLORIDA
DEMOLITION PLAN

JOB: GRAHAM
PROJECT # 2215
SHEET:
D1.0
DATE: 3-23-23



FLOOR PLAN

SCALE: 1/4" = 1'-0"



DIMENSIONED PLAN

SCALE: 1/4" = 1'-0"

NEW EXTERIOR WOOD STUD WALL. SEE SECTION SHEETS

NEW INTERIOR STUD WALL: 2x4 WOOD STUDS @ 16" O.C. 1/2" GWB FOR ALL INTERIOR WALL SURFACES UNLESS OTHERWISE NOTED. BED, TAPE AND SAND ALL JOINTS AND FASTENERS. AT EXTERIOR WALLS, ADD 3/4" RIGID INSULATION AND FURRING WITH DRYWALL FINISH

EXISTING WALL TO REMAIN

- THIS JOB CONSISTS OF AN INTERIOR AND EXTERIOR REMODEL TO AN EXISTING HOME.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT FLORIDA BUILDING, PLUMBING, MECHANICAL, AND THE NATIONAL ELECTRIC CODE
- IT IS INTENT THAT ALL WORK SHALL CONFORM TO THE ADOPTED CODES, STANDARDS & RULES OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION
- FLOOR COVERING, FURNISHINGS, PAINT COLORS, TRIM MATERIALS, AND OTHER ITEMS NOT SPECIFIED IN THESE SECTIONS ARE TO BE AS SELECTED BY OWNER IN CONFORMANCE TO ALL APPLICABLE CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- ANY CHANGES TO THESE PLANS MUST BE APPROVED BY THE DESIGN ENGINEER AND THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND BUILDING SETBACKS, AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SEWER AND WATER CONNECTIONS AND SHALL BE CONSTRUCTED PER DETAIL.

BUILDING DATA:

	2020 SQ.FT
	408 SQ.FT
	2428 SQ.FT

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
NOT TO SCALE

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REMODEL & ADDITION FOR:

GRAHAM RESIDENCE

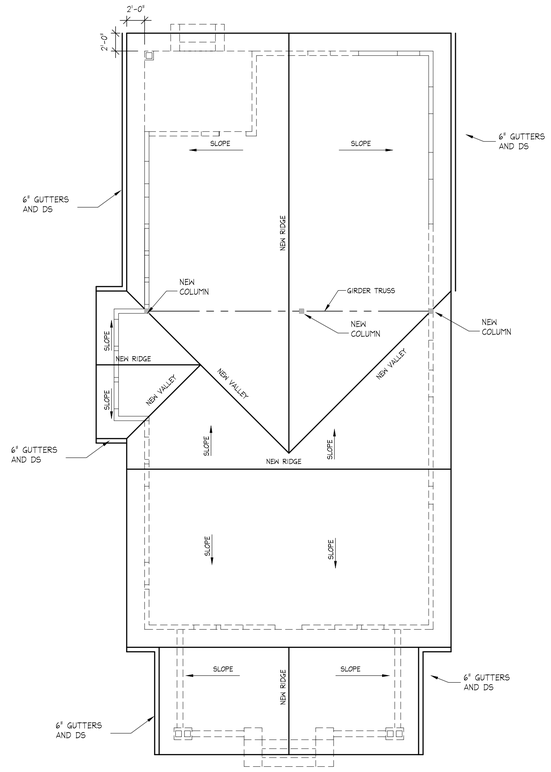
716 MISSISSIPPI AVENUE
LAKELAND, FLORIDA

FLOOR PLAN, DIMENSION PLAN, & GENERAL NOTES

JOB: GRAHAM
PROJECT # 2215
SHEET:

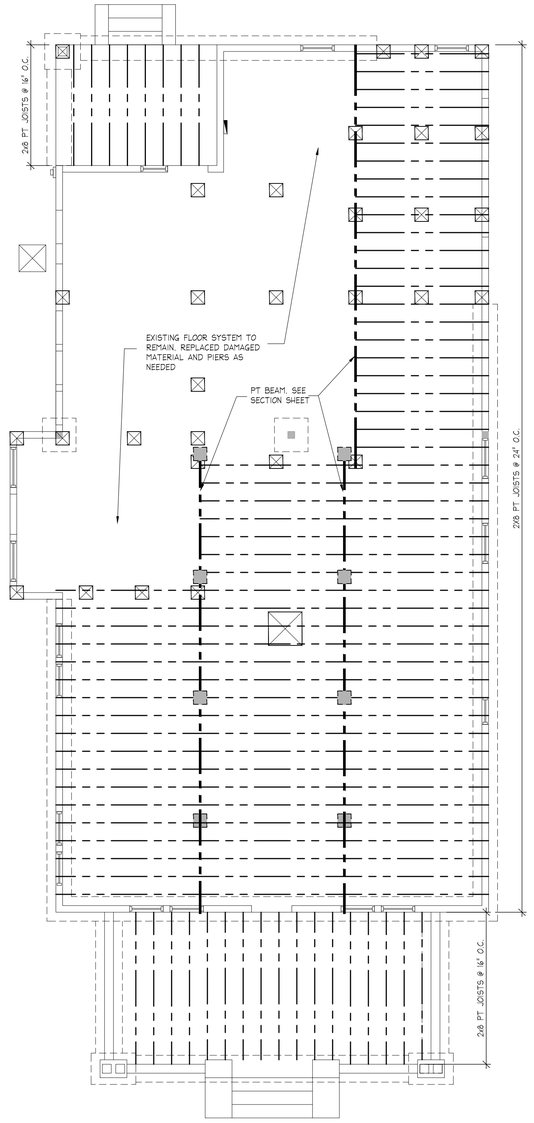
A1.0

DATE: 3-23-23



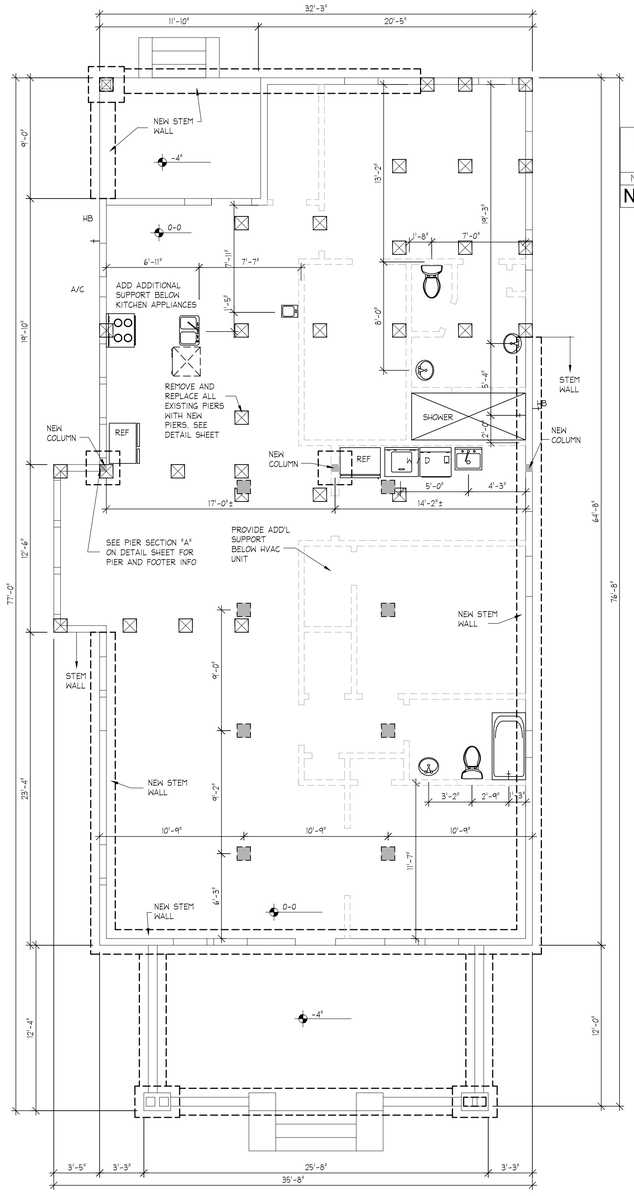
ROOF PLAN

SCALE: 1/8" = 1'-0"



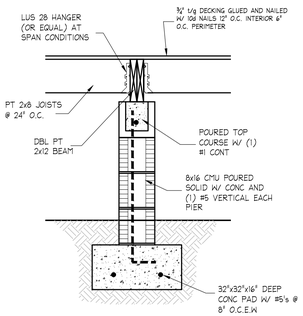
FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

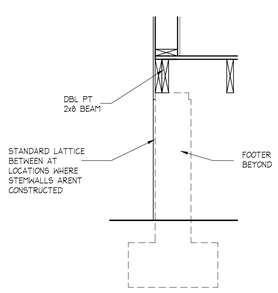


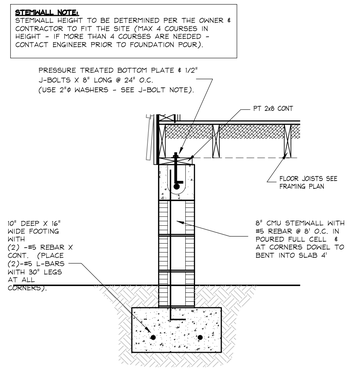
FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



TYP INTERMEDIATE FOOTER





TYP STEMWALL DETAIL

SCALE: 3/4" = 1'-0"

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
NOT TO SCALE

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REMODEL & ADDITION FOR:

GRAHAM RESIDENCE

716 MISSISSIPPI AVENUE
LAKELAND, FLORIDA

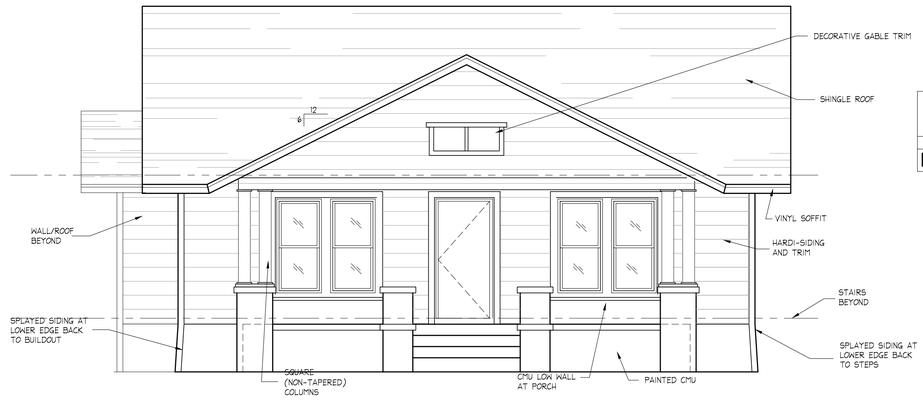
FOUNDATION, FLOOR FRAMING & ROOF PLANS

JOB: GRAHAM
PROJECT # 2215
SHEET:

A1.1

DATE: 3-23-23

REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
DRAWINGS
NOT FOR CONSTRUCTION
NOT TO SCALE

RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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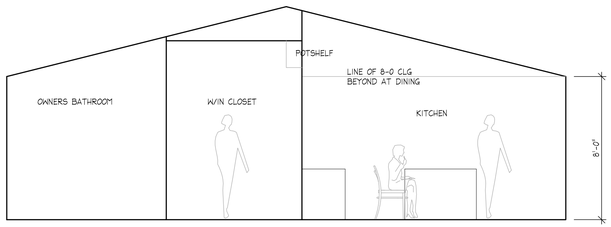
REMODEL & ADDITION FOR:
GRAHAM RESIDENCE
716 MISSISSIPPI AVENUE
LAKELAND, FLORIDA
EXTERIOR ELEVATIONS

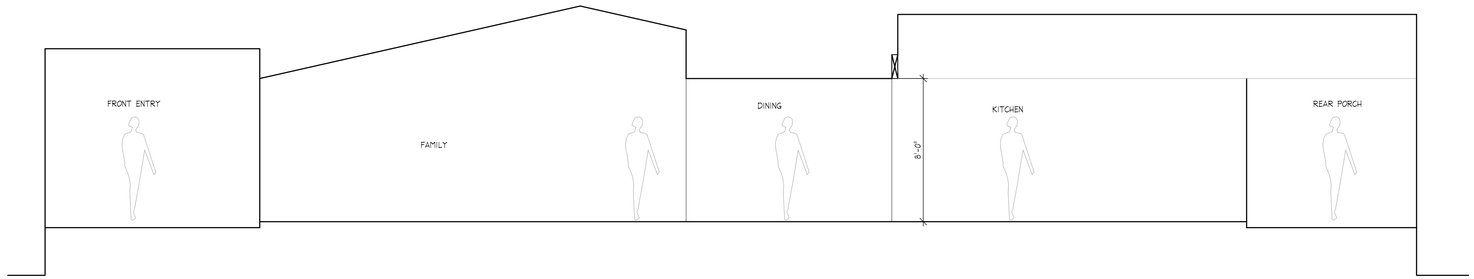
JOB: GRAHAM
PROJECT # 2215
SHEET:
A2.
DATE: 3-23-23

PRELIMINARY DRAWINGS

NOT FOR CONSTRUCTION

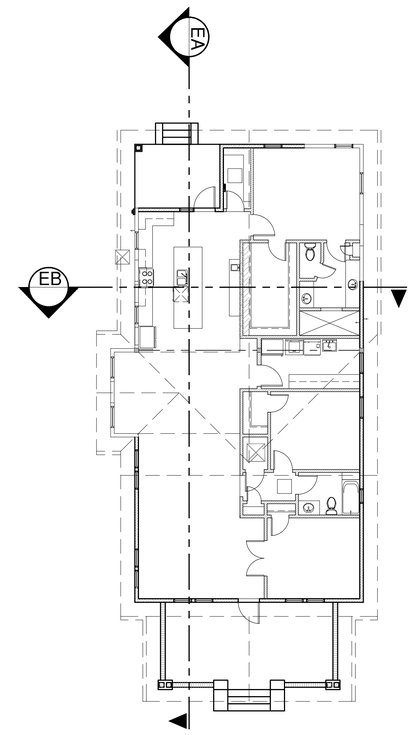
NOT TO SCALE





EA INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



REF PLAN

PLATINUM DESIGN GROUP

DESIGNERS + CONSULTANTS + PLANNERS

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REMODEL & ADDITION FOR:

GRAHAM RESIDENCE

716 MISSISSIPPI AVENUE

LAKELAND, FLORIDA

XXXXXXXXXXX

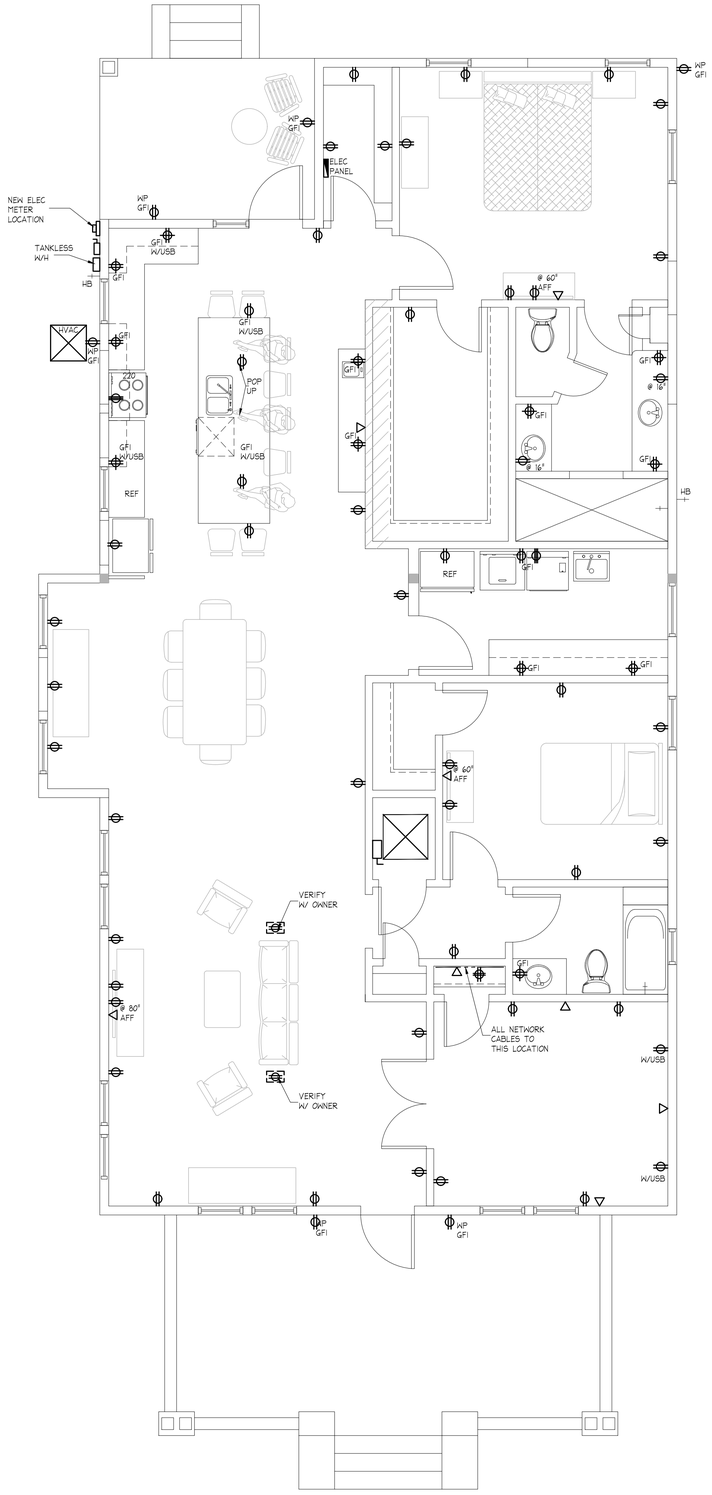
JOB: GRAHAM

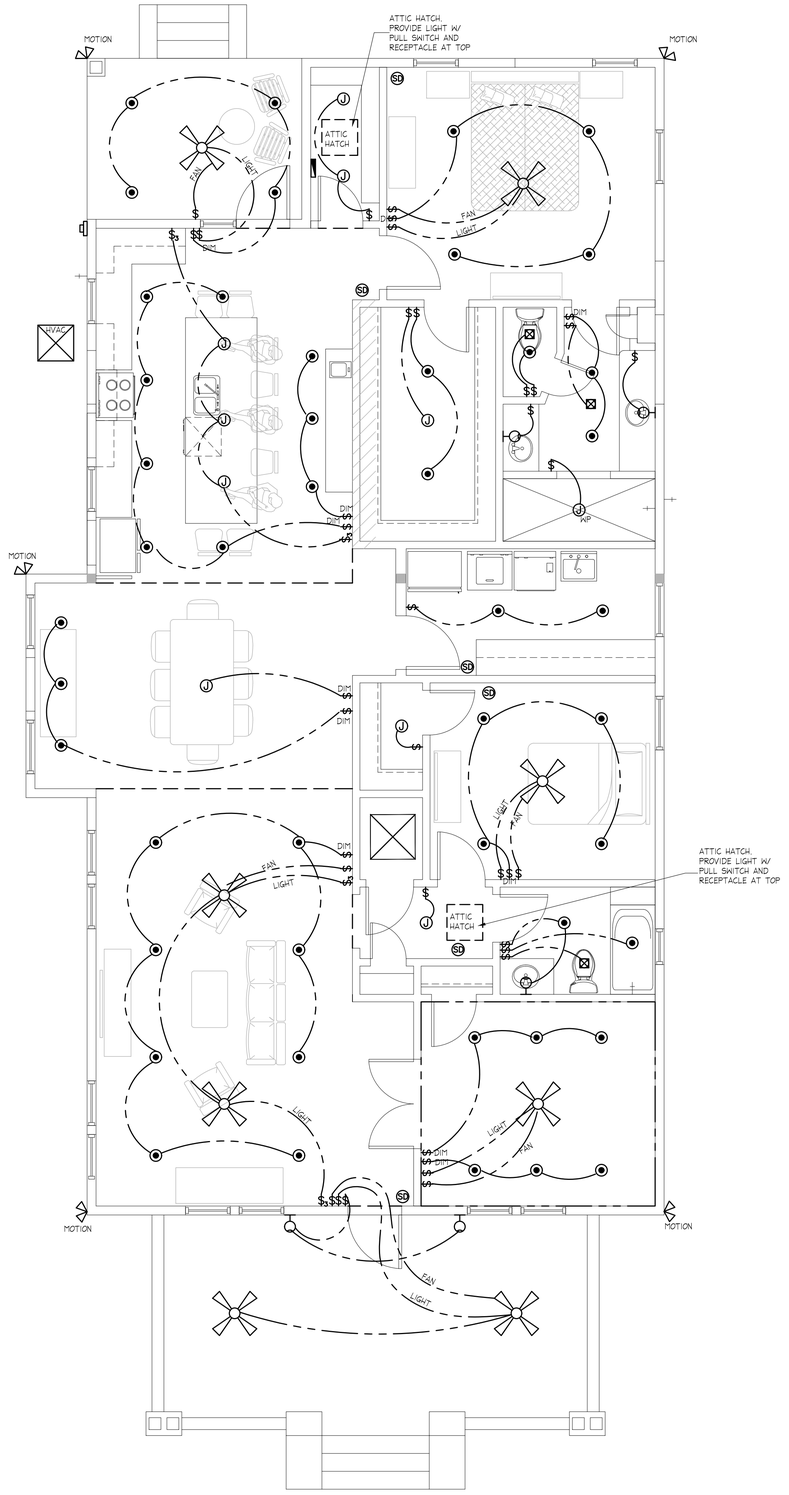
PROJECT # 2215

SHEET:

A2.1

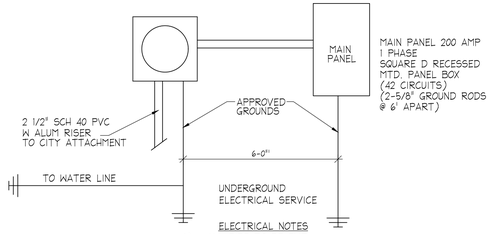
DATE: 3-23-23





LIGHTING PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL NOTES

1) ALL PIPE TO BE EMT.
2) ALL WIRE SHALL BE COPPER
3) ALL WIRING TO NATIONAL AND LOCAL CODE
4) PER CURRENT NEC CODE

ELEC RISER

SYMBOL SCHEDULE

- RECESS CAN LIGHT
- J — JUNCTION BOX, OWNER TO SPECIFY FIXTURE
- SWITCH
- CEILING EXHAUST FAN
- WALL MOUNTED LIGHT FIXTURE
- CEILING FAN
- SD — SMOKE/CARBON DETECTOR
- 110 VOLT ELEC. OUTLET @ AFF TO BOTTOM
- 110 VOLT ELEC OUTLET @ COUNTER TOP LEVEL
- 110 VOLT ELEC. FLOOR OUTLET
- GFI — GROUND FAULT INTERRUPTER
- ELECTRIC PANEL
- ELECTRIC METER

NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFI) AS REQUIRED BY THE CURRENT NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

PRELIMINARY DRAWINGS
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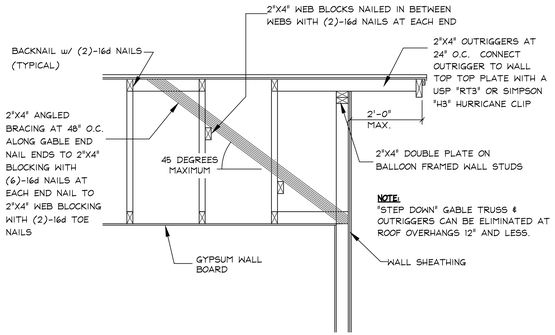
REMODEL & ADDITION FOR:

GRAHAM RESIDENCE
716 MISSISSIPPI AVENUE
LAKELAND, FLORIDA

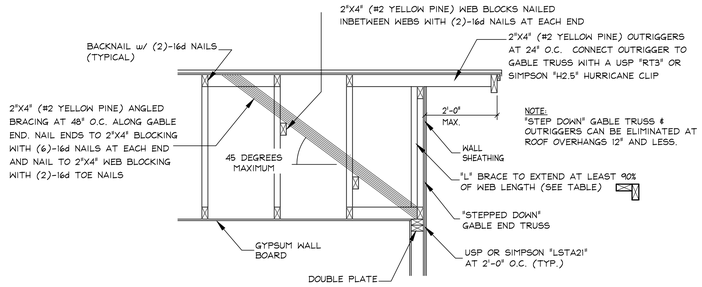
ELECTRICAL POWER AND LIGHTING PLAN

JOB: GRAHAM
PROJECT # 2215
SHEET:
E1.0
DATE: 3-23-23



GABLE END DETAIL - (CATHEDRAL CEILING)

SCALE: 1/2" = 1'-0"

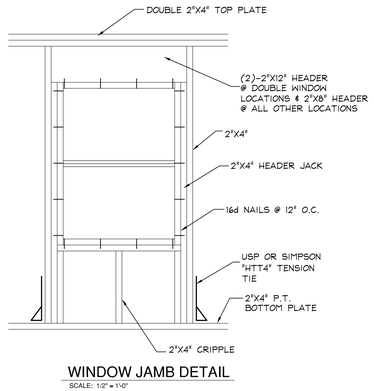


"L" BRACING REQUIREMENTS (#2 YELLOW PINE)

STUD SPACING	NO L-BRACING	(1) 2" X 4" L-BRACING	(2) 2" X 4" L-BRACING	(2) 2" X 6" L-BRACING
16"	0'-0" - 4'-5"	4'-5" - 8'-0"	8'-0" - 12'-0"	12'-0" - 16'-0"
24"	0'-0" - 4'-0"	4'-0" - 7'-0"	7'-0" - 10'-0"	10'-0" - 14'-0"

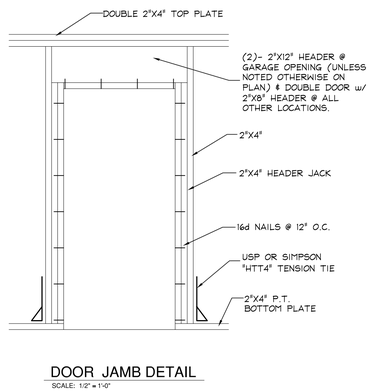
GABLE END DETAIL - (FLAT CEILING)

SCALE: 1/2" = 1'-0"



WINDOW JAMB DETAIL

SCALE: 1/2" = 1'-0"



DOOR JAMB DETAIL

SCALE: 1/2" = 1'-0"

140 MPH (3 SEC. GUST) WINDOWS (ENCLOSED BUILDING)			
WINDOW CALL-OUT	SQUARE FOOT	WIND PRESSURE END ZONE POSITIVE	NEGATIVE
2024	4	+35.3	-47.2
2030	6	+35.3	-47.2
2038	7	+35.3	-47.2
2044	8	+35.3	-47.2
2050	10	+35.3	-47.2
2060	12	+35.0	-46.6
2424	5	+35.3	-47.2
2430	7	+35.3	-47.2
2438	8	+35.3	-47.2
2444	10	+35.3	-47.2
2450	11	+35.1	-46.9
2460	14	+34.7	-45.9
2824	6	+35.3	-47.2
2830	8	+35.3	-47.2
2838	9	+35.3	-47.2
2844	11	+35.1	-46.9
2850	13	+34.8	-46.2
2860	16	+34.3	-45.3
3024	7	+35.3	-47.2
3030	9	+35.3	-47.2
3038	11	+35.1	-46.9
3044	13	+34.8	-46.2
3050	15	+34.5	-45.6
3060	18	+34.0	-44.6
3424	7	+35.3	-47.2
3430	10	+35.3	-47.2
3438	12	+35.0	-46.6
3444	14	+34.7	-45.9
3450	16	+34.3	-45.3
3460	20	+33.7	-44.0
3824	8	+35.3	-47.2
3830	11	+35.1	-46.9
3838	13	+34.8	-46.2
3844	15	+34.5	-45.6
3850	18	+34.0	-44.6
3860	22	+33.6	-43.7
4024	9	+35.3	-47.2
4030	12	+35.0	-46.6
4038	14	+34.7	-45.9
4044	17	+34.2	-45.0
4050	20	+33.7	-44.0
4060	24	+33.4	-43.4

NOTES:

WINDOWS & DOORS MUST BE INSTALLED SUCH THAT THE MAXIMUM GAP INBETWEEN THE FRAME AND SUPPORT FRAMING IS 1/4".

INSTALL ALL WINDOW AND DOOR FRAME ASSEMBLIES PER THE MANUFACTURERS ANCHORING RECOMMENDATIONS TO ACHEIVE THE SPECIFIED DESIGN PRESSURES.

STRAP ENDS OF HEADERS WITH A USP OR SIMPSON "LSTA24" STRAP TIE AT OPENINGS LESS THAN 5'-0" WIDE, AT OPENINGS 5'-0" AND WIDER USE (2) USP OR SIMPSON "LSTA24" STRAPS AT EACH END.

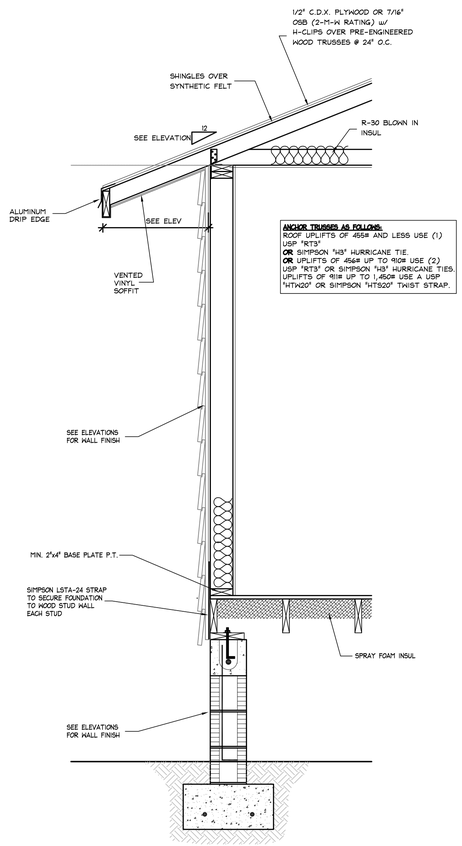
140 MPH (3 SEC. GUST) WINDOWS (ENCLOSED BUILDING)			
WINDOW CALL-OUT	SQUARE FOOT	WIND PRESSURE END ZONE POSITIVE	NEGATIVE
12	3	+35.3	-47.2
13	5	+35.3	-47.2
14	7	+35.3	-47.2
15	8	+35.3	-47.2
16	10	+35.3	-47.2
1/2 32	5	+35.3	-47.2
1/2 33	7	+35.3	-47.2
1/2 34	9	+35.3	-47.2
1/2 35	12	+35.0	-46.6
1/2 36	14	+34.7	-45.9
30X26	5	+35.3	-47.2
30X38	8	+35.3	-47.2
30X50	10	+35.3	-47.2
30X63	13	+34.8	-46.2
30X72	15	+34.5	-45.6
22	6	+35.3	-47.2
23	10	+35.3	-47.2
24	13	+34.8	-46.2
25	16	+34.3	-45.3
26	19	+33.9	-44.3
48X26	8	+35.3	-47.2
48X38	12	+35.0	-46.6
48X50	16	+34.3	-45.3
48X63	21	+33.6	-43.9
48X72	24	+33.4	-43.4
32	9	+35.3	-47.2
33	14	+34.7	-45.9
34	18	+34.0	-44.6
35	23	+33.5	-43.6
36	28	+33.1	-42.9

140 MPH (3 SEC. GUST) DOORS (ENCLOSED BUILDING)			
DOOR SIZE	SQUARE FOOT	WIND PRESSURE END ZONE POSITIVE	NEGATIVE
2068	13	+34.8	-46.2
2468	15	+34.5	-45.6
2668	16	+34.3	-45.3
2868	17	+34.2	-45.0
3068	20	+33.7	-44.0
4068	26	+33.3	-43.2
5068	33	+32.8	-42.2
6068	40	+33.2	-41.2
8068	53	+31.5	-39.6
9068	60	+31.3	-39.2
10068	66	+31.1	-38.8
12068	80	+30.6	-37.9
16068	106	+30	-36.7
18068	120	+30	-36.7
8070	56	+31.4	-39.4
9070	63	+31.2	-39.0
16070	112	+30	-36.7
18070	126	+30	-36.7
2080	16	+34.3	-45.3
2480	18	+34.0	-44.6
2680	20	+33.7	-44.0
2880	21	+33.6	-43.9
3080	24	+33.4	-43.4
4080	32	+32.9	-42.3
5080	40	+32.3	-41.2
6080	48	+31.7	-40.1
8080	64	+31.5	-38.9
9080	72	+30.9	-38.4
10080	80	+30.6	-37.9
12080	96	+30.1	-36.9
16080	128	+30	-36.7
18080	144	+30	-36.7

140 MPH (3 SEC. GUST) OPENINGS (ENCLOSED BUILDING)		
WINDOW OR DOOR OPENING SQ. FT.	WIND PRESSURE END ZONE POSITIVE	NEGATIVE
10	+35.3	-47.2
20	+33.7	-44.0
30	+33.0	-42.6
40	+32.3	-41.2
50	+31.6	-39.8
60	+31.3	-39.2
70	+31.0	-38.6
80	+30.6	-37.9
90	+30.3	-37.3
100+	+30	-36.7

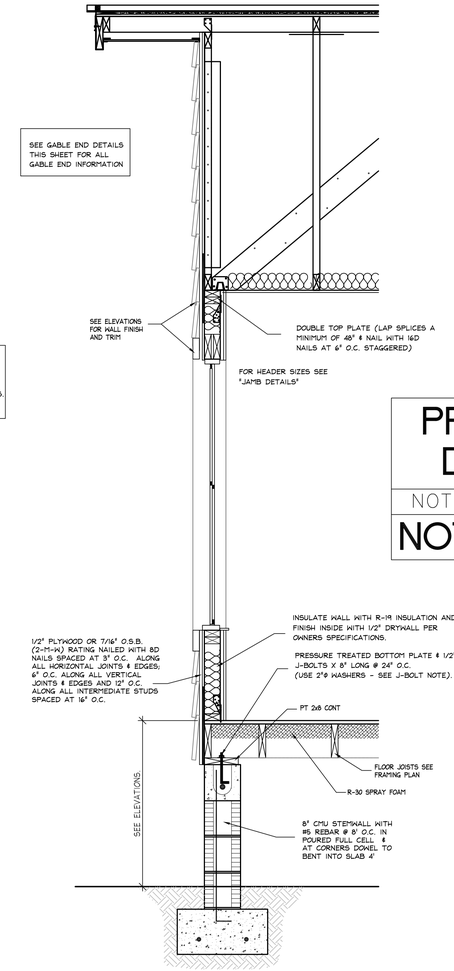
* IMPORTANT NOTE:

IF NOT OTHERWISE NOTED, ALL WINDOWS FOR THE 140 MPH WIND SPEED MUST BE RATED FOR +35.3/-47.2 P.S.F. PRESSURES.



TYP WALL SECTION

SCALE: 3/4" = 1'-0"



TYP GABLE END DETAIL

SCALE: 3/4" = 1'-0"

I HEREBY CERTIFY:
THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

PRELIMINARY DRAWINGS

NOT FOR CONSTRUCTION

NOT TO SCALE

REVISIONS #	DISCRIPTION	DATE

CONTRACTOR:

PROJECT: Wood Framed (One Story Buildings)

ENGINEER OF RECORD:
4-D ENGINEERING, LLC
1074 S FLORIDA AVE SUITE 201
LAKELAND, FL 33803
PHONE: (386) 951-1949
FL CERTIFICATE OF AUTHORIZATION # 31557
CAREY L. WILKINSON, P.E. - FL # 80472

DATE:

JOB #

SCALE: AS NOTED

SHEET

WF1

GENERAL NOTES:
THIS BUILDING HAS BEEN DESIGNED TO CONFORM TO THE 2020 FLORIDA BUILDING CODE AND THE 2020 FLORIDA BUILDING CODE - RESIDENTIAL.

4-D ENGINEERING LLC; A REGISTERED, LICENSED, FLORIDA PROFESSIONAL ENGINEERING COMPANY; HAS APPLIED "RATIONAL ANALYSIS" FOR THE STRUCTURAL DESIGN OF THIS STRUCTURE.

THE BUILDING (INCLUDING ALL COMPONENTS AND CLADDINGS) SHALL BE DESIGNED FOR THE FOLLOWING SUPERIMPOSED LOADS:

FLOORS: LIVE LOAD - 40 P.S.F. DEAD LOAD - 10 P.S.F.
GARAGE SLAB: LIVE LOAD - 50 P.S.F. DEAD LOAD - 10 P.S.F.
ROOF: LIVE LOAD (TRUSS TOP CHORD) - 20 P.S.F. DEAD LOAD (TRUSS TOP CHORD) - 10 P.S.F. (15 P.S.F. WHEN TILE ROOFING IS INSTALLED) DEAD LOAD (TRUSS BOTTOM CHORD) - 10 P.S.F. ASSUMED TRUSS SELF WEIGHT (DEAD LOAD) - 7 P.S.F.
WIND: BUILDING IS DESIGNED TO CONFORM TO ASCE 7-16, CHAPTERS 26 THRU 31; PER 2020 FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R301.2 AND 2020 FLORIDA BUILDING CODE SECTION 1609.1.1.

WIND DESIGN ASSUMPTIONS:
BUILDING EXPOSURE - B
BUILDING RISK CATEGORY - II
MEAN ROOF HEIGHT 30' OR LESS
HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT = 1.0
ENCLOSED BUILDING
INTERNAL PRESSURE COEFFICIENT = +/- 0.18
WIND SPEED SHOWN AT THE BOTTOM RIGHT CORNER OF THIS SHEET

ALL STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS SHALL BE TYPE V CONSTRUCTION PER FBC 602.5

COMPONENT & CLADDING WIND LOADS ##MORSE CASE LOADING SHOWN##

BUILDING ZONE	ROOF OVERHANG LOADS	ALL OTHER COMPONENT LOADS
1	-68.7	+32.2/-59.2
2e, 2n, 2r	-110.1	+32.2/-81.6
3e, 3r	-98.4	+32.2/-79.9
4	N/A	+35.3/-38.2
5	N/A	+35.3/-47.2

SOIL BEARING & COMPACTION:
THESE PLANS WERE DRAWN BASED UPON AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 P.S.F. (MINIMUM). THE CONTRACTOR/PROPERTY OWNER ARE RESPONSIBLE FOR VERIFYING THAT THE SOIL ON THE SITE IS PROPERLY PREPARED & COMPACTED SUCH THAT IT CAN SUPPORT A 2,000 P.S.F. FOUNDATION LOADING.

4-D ENGINEERING LLC.; A REGISTERED, LICENSED, FLORIDA PROFESSIONAL ENGINEERING COMPANY; DESIGNED THESE FOUNDATIONS WITHOUT VISITING THE CONSTRUCTION SITE NOR PERFORMING ANY SOIL TESTING.

4-D ENGINEERING LLC SHALL NOT BE RESPONISIBLE FOR THE SITE SOILS ABILITY TO SUPPORT THE BUILDING LOADS.

FOUNDATIONS & SLAB-ON-GRADE:
BUILDING SITE SHALL BE SCRAPED TO REMOVE ALL ORGANIC MATERIALS WITHIN THE BUILDING AREA. ANY ADDITIONAL FILL PLACED ON THE BUILDING PAD AREA, SHALL BE COMPACTED SUCH THAT IT CAN ADEQUATELY SUPPORT A 2,000 P.S.F. FOUNDATION LOADING. SLAB SHALL BE PLACED OVER A 6 MIL VAPOR BARRIER ON CLEAN, ADEQUATELY COMPACTED AND TERMITE POISONED SOIL.

CONCRETE UTILIZED IN THE FOUNDATIONS AND SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I. REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AND IDENTIFIED IN ACCORDANCE WITH ASTM A-615. LAP SPLICES, WHERE REQUIRED, SHALL BE A MINIMUM OF 25" FOR #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR.

PLANS ARE ENGINEERED FOR A MAXIMUM STEMWALL HEIGHT OF 4 COURSES (AFTER FINAL SITE GRADING). THE CONTRACTOR OR BUILDING OWNER SHALL DETERMINE THE EXACT STEMWALL HEIGHT BASED UPON SITE CONDITIONS PRIOR TO POURING THE FOUNDATION AND CONTACT 4-D ENGINEERING WHEN MORE THAN 4 COURSES ARE REQUIRED.

A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE, OR ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING STRETCHED FROM MARKER TO MARKER TO VERIFY THE REQUIRED BUILDING SETBACKS.

MASONRY WALLS:
CONCRETE MASONRY UNITS SHALL BE HOLLOW UNIT MASONRY IN ACCORDANCE WITH ASTM C-90 AND SHALL HAVE A MINIMUM F'M OF 1,500 P.S.I. MORTAR SHALL CONFORM TO ASTM C-270 AND SHALL BE EITHER TYPE M OR S.

REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AND IDENTIFIED IN ACCORDANCE WITH ASTM A-615. LAP SPLICES, WHERE REQUIRED, SHALL BE A MINIMUM OF 25" FOR #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR.

GROUT FOR THE POURED CELLS AND LINTELS SHALL HAVE A MAXIMUM COURSE AGGREGATE SIZE OF 3/8", PLACED AT AN 8 TO 11 INCH SLUMP AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I. (WHEN TESTED PER ASTM C-1019).

PROVIDE CLEAN-OUT OPENINGS (12 SQ. IN.) IN CELLS CONTAINING SPLICED REINFORCEMENT, WHEN THE GROUT POUR EXCEEDS 5 FEET IN HEIGHT.

TIMBER MATERIALS:
ALL TIMBER MATERIALS SHALL BE AS FOLLOWS: LVL BEAMS SHALL BE (1.9E) MICROLLAM LVL MATERIALS MANUFACTURED BY TRUSJOIST MACMILLAN (OR EQUAL). LUMBER UTILIZED IN BOTTOM TYPE PLATES, TOP PLATES, POSTS, STUD PACKS AND BEAMS SHALL BE #2 YELLOW PINE (OR BETTER). EXTERIOR AND INTERIOR LOAD BEARING STUDS SHALL BE #2 SPRUCE (OR BETTER). ALL OTHER STUDS SHALL BE "STUD GRADE" SPRUCE. PSL POSTS SHALL BE (1.8E) PARALLAM PSL MATERIALS MANUFACTURED BY TRUSS JOIST MACMILLAN (OR EQUAL). SEE "POST SUPPORT TABLE" ON THIS SHEET FOR LOAD VALUES.

EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 1/2" PLYWOOD OR 7/16 O.S.B. (2-M-W RATING) NAILED WITH 8D NAILS SPACED AT 3" O.C. ALONG ALL HORIZONTAL JOINTS & EDGES; 6" O.C. ALONG ALL VERTICAL JOINTS & EDGES AND 12" O.C. ALONG ALL INTERMEDIATE STUDS.

AT OPENINGS 5'-0" WIDE OR LARGER, STRAP HEADER BEAM TO THE HEADER STUDS WITH (2) USP OR SIMPSON "LSTA24" STRAP TIES AT EACH END OF HEADER BEAM. ANCHOR BOTTOM OF HEADER STUDS TO FOUNDATION WITH A USP OR SIMPSON "HTT16" TENSION TIE.

ANCHOR WOOD SHEARWALL SEGMENTS TO FOUNDATION WITH A USP OR SIMPSON "HTT16" TENSION TIE AT EACH END OF WALL SEGMENTS AND AT ANY WALL SEGMENT INTERSECTIONS (BUILDING CORNERS).

ANCHOR TRUSSES AS FOLLOWS: ROOF UPLIFTS OF 455# AND LESS USE (1) USP "RT3" OR SIMPSON "H3" HURRICANE TIE. FOR UPLIFTS FROM 456# UP TO 910# USE (2) USP "RT3" OR SIMPSON "H3" HURRICANE TIES. UPLIFTS FROM 911# UP TO 1,460# USE A USP "HTW20" OR SIMPSON "HTS20" TWIST STRAP.

ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED AND APPROVED PRIOR TO REQUESTING THE FRAMING INSPECTION.

IF DESIRED, EQUIVALENT CONNECTORS MADE BY ANOTHER SUPPLIER MAY BE USED IN PLACE OF THE "USP" OR "SIMPSON" CONNECTORS SHOWN.

SOIL TERMITE TREATMENT: PER FBC 2304.11 & FRC-RESIDENTIAL R318
TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING PESTICIDES APPLIED TO SOIL, OR WOOD, BAITING SYSTEMS, OR OTHER APPROVED PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A "CERTIFICATE OF OCCUPANCY" WILL BE ISSUED. THE CERTIFICATE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

IF A REGISTERED TERMITICIDE BAIT SYSTEM IS TO BE USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTIONS R320.1.1 THROUGH R320.1.6 DO NOT APPLY. A SIGNED FIVE YEAR CONTRACT FROM THE ISSUE OF THE CERTIFICATE OF OCCUPANCY ASSURING INSTALLATION, MAINTENANCE AND MONITORING OF THE BAITING SYSTEM SHALL BE PROVIDED TO THE BUILDING OFFICIAL PRIOR TO THE SLAB POUR. THE SYSTEM MUST BE INSTALLED PRIOR TO FINAL BUILDING APPROVAL.

INITIAL SOIL POISONING TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING & COMPACTION ARE COMPLETE.

ANY SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RE-TREATED (INCLUDING ANY BOXED OR FORMED AREAS).

BOXED AREAS IN THE CONCRETE SLAB FOR INSTALLATION OF TRAPS SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF AN ADEQUATE SIZE & DEPTH TO ELIMINATE ANY DISTURBANCE OF THE SOIL AFTER THE INITIAL TREATMENT.

A MINIMUM 6 MIL VAPOR BARRIER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR BARRIER PLACEMENT, RE-TREATMENT SHALL BE REQUIRED.

ANY CONCRETE OVERPOUR, MORTAR OR STUCCO MATERIALS ALONG THE FOUNDATION PERIMETER MUST BE REMOVED PRIOR TO EXTERIOR SOIL TREATMENT.

EXTERIOR SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 12 INCHES OF THE STRUCTURE SIDE WALLS.

AN EXTERIOR VERTICAL CHEMICAL BARRIER SHALL BE INSTALLED AFTER CONSTRUCTION IS COMPLETE (INCLUDING LANDSCAPING AND IRRIGATION).

ANY SOILS DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RE-TREATED. CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 12 INCHES AWAY FROM THE BUILDING SIDEWALLS.

AFTER ALL WORK IS COMPLETED, ANY LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 12 INCHES OF THE BUILDING. THIS SHALL INCLUDE ALL GRADE STAKES, TUB TRAP BOXES FORMS, SHORING AND ANY OTHER CELLULOSE CONTAINING MATERIALS.

THE DISTANCE FROM THE EXTERIOR WALL COVERING (EXCEPTIONS: PAINT AND DECORATIVE CEMENTITIOUS FINISHES LESS THAN 5/8 INCH THICK ADHERED DIRECTLY ONTO THE FOUNDATION WALL) AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES TO ALLOW FOR INSPECTION FOR FUTURE TERMITE INFESTATIONS.

TRUSSES:
IF THE CONTRACTOR, TRUSS MANUFACTURER OR ANY OTHER DESIGN PROFESSIONALS REVISE THE TRUSS SYSTEM LAYOUT FROM THOSE SHOWN ON THESE PLANS 4-D ENGINEERING LLC. IS REQUIRED TO REVIEW ALL FINAL CONSTRUCTION DOCUMENTS FOR COMPLIANCE WITH THE DESIGN INTENT PRIOR TO COMMENCEMENT OF THE PROJECT.

EXTERIOR WINDOWS & DOOR ASSEMBLIES:
ALL EXTERIOR WINDOW & GLASS DOORS SHALL BE TESTED IN ACCORDANCE WITH ANSI/AMMA/NWWDA 101/I/S2 STANDARDS AND BEAR AN AMMA OR WDMA LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY.

ALL MULLIONS AND ADJACENT DOOR/WINDOW ASSEMBLIES SHALL BE TESTED OR ENGINEERED TO TRANSFER 1.5 TIMES THE DESIGN LOADS TO THE ROUGH OPENING SUBSTRATE.

INSTALL ALL WINDOW & DOOR ASSEMBLIES PER THE MANUFACTURERS ANCHORING RECOMMENDATIONS TO ACHEIVE THE DESIGN PRESSURES SPECIFIED.

ELECTRICAL, PLUMBING & MECHANICAL:
IN ACCORDANCE WITH CHAPTER 471.003(2)(I) OF THE FLORIDA ADMINISTRATIVE CODE; ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY THE RESPECTIVE CONTRACTORS TO MEET ALL APPLICABLE CODES. THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS DRAWN HEREON ARE BASED UPON A DESIGN PROVIDED BY THE OWNER TO ADDRESS HIS/HER REQUIREMENTS.

ALL ELECTRICAL OUTLETS IN BATHROOMS, KITCHEN (WITHIN 6 FEET OF SINKS), GARAGE AND AT EXTERIOR LOCATIONS SHALL BE WIRED INTO A GROUND-FAULT INTERRUPTER "GFI" CIRCUIT. ALL ELECTRICAL OUTLETS IN BEDROOMS SHALL BE WIRED INTO AN ARC-FAULT INTERRUPTER "AFI" CIRCUIT.

SAFETY GLAZING:
THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING PER THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R308:

(1) GLAZING IN SWINGING DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.

(2) GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.

(3) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FINISHED FLOOR OR WALKING SURFACE.

(4) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS (2) AND (3) ABOVE. THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

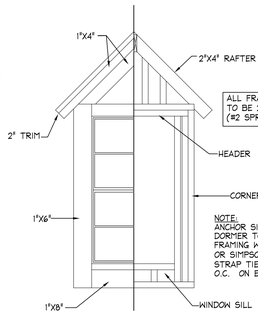
A) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
B) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
C) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
D) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

REFER TO THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R308 FOR ADDITIONAL AREAS THAT MAY BE CONSIDERED A HAZARDOUS LOCATION FOR THE PURPOSE OF GLAZING.

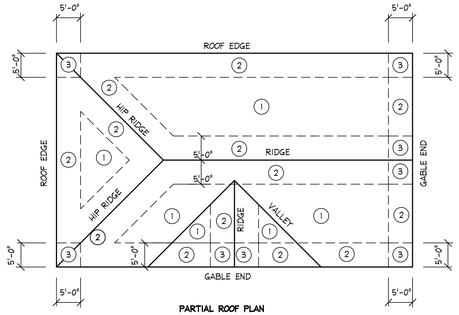
DRAFTSTOPPING:
IN SINGLE FAMILY DWELLINGS, DRAFTSTOPPING SHALL BE PROVIDED (PARALLEL TO THE MAIN FRAMING MEMBERS) IN FLOOR/CEILING ASSEMBLIES SEPARATING USEABLE SPACES. DRAFTSTOPPING SHALL BE CONSTUCTED SUCH THAT THE FLOOR/CEILING ASSEMBLY IS BROKEN UP INTO TWO OR MORE APPROXIMATE AREAS WITH NO AREA GREATER THAN 1000 SQ. FT.

ATTIC ACCESS:
ATTIC ACCESS SHALL BE PROVIDED TO ATTIC AREAS EXCEEDING 30 SQ. FT. AND HAVING MINIMUM 30 INCHES OF VERTICAL HEIGHT. ROUGH-FRAMED OPENING NOT TO BE LESS THAN 22 X 30 INCHES. WHEN MECHANICAL EQUIPMENT IS LOCATED IN THE ATTIC, IT SHALL BE INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION M1305.1.3

GARAGE:
NO OPENINGS SHALL BE PERMITTED FROM A GARAGE INTO A SLEEPING ROOM. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A DOOR (MIN. 1 3/8" THICK), OF SOLID WOOD, SOLID OR HONEYCOMB CORE STEEL, OR 20-MINUTE FIRE-RATED. WALLS SEPARATING THE GARAGE AND RESIDENCE SHALL HAVE MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY ALL HABITABLE ROOMS ABOVE WITH MIN. 5/8" "TYPE-X" GYPSUM BOARD IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R309



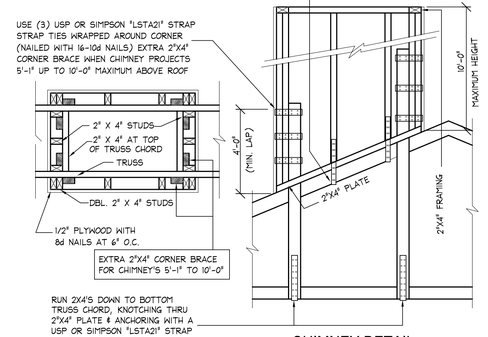
DORMER DETAIL
SCALE: 1/2" = 1'-0"



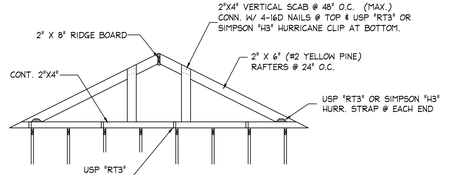
PARTIAL ROOF PLAN
ZONE (1) 8d RING SHANK NAILS AT 6" O.C. AT EDGES & RING SHANK NAILS AT 6" O.C. INTERMEDIATE
ZONES (2) (3) 8d RING SHANK NAILS AT 6" O.C., 4" O.C. AT ROOF EDGES, RIDGE LINE, OR GABLE ENDWALL

NOTE:
END JOINTS FOR SHEATHING SHALL BE STAGGERED NOTE: AND OCCUR OVER A FRAMING MEMBER.

ROOF SHEATHING NAILING
SCALE: 1/4" = 1'-0"



CHIMNEY DETAIL
SCALE: 3/4" = 1'-0"

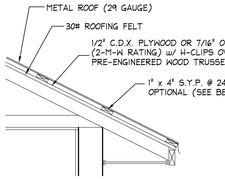


ROOF VALLEY DETAIL
SCALE: NTS

GIRDER TRUSS ANCHORING:
AT ROOF USE (1) USP "HTW20" OR SIMPSON "HTS20" TWIST STRAP FOR UPLIFTS OF 1,450# AND LESS; USE (2) "HTW20" OR "HTS20" STRAPS AT UPLIFTS FROM 1,451# UP TO 2,900# AND AT UPLIFTS FROM 2,901# UP TO 3,990# USE (2) USP "MSTA36" STRAPS 2,901# UP TO 4,100# USE (2) SIMPSON "MSTA36" STRAPS

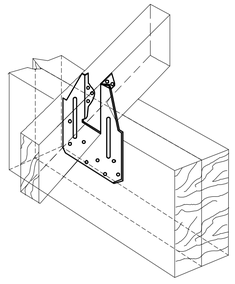
AT CONCRETE SLAB, ANCHOR POST WITH A USP "LTS20" OR SIMPSON "LTT20B" TENSION TIE FOR UPLIFTS OF 1,750# & LESS; USE A USP OR SIMPSON "HTT16" TENSION TIE AT UPLIFTS FROM 1,751# UP TO 3,480# AND AT UPLIFTS FROM 3,481# UP TO 5,250# USE A USP OR SIMPSON "HTT22" TENSION TIE

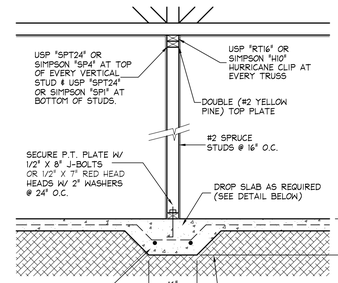
INSTALL A SUPPORT POST UNDER GIRDER PER "POST SUPPORT TABLE" OF GENERAL NOTE SHEET



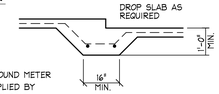
FASTEN 1" x 4" TO TRUSS w/ (2) 12d NAILS ATTACH METAL ROOF TO 1" x 4" w/ #10 x 1-1/2" LONG HOODGRIP SCREWS SPACED @ 12" O.C. MAXIMUM.

METAL ROOF OPTION
SCALE: 1/2" = 1'-0"

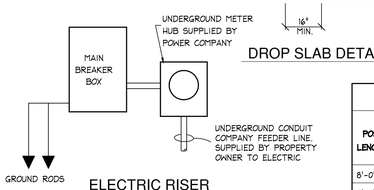




BEARING PARTITION
SCALE: 1/2" = 1'-0"



DROP SLAB DETAIL



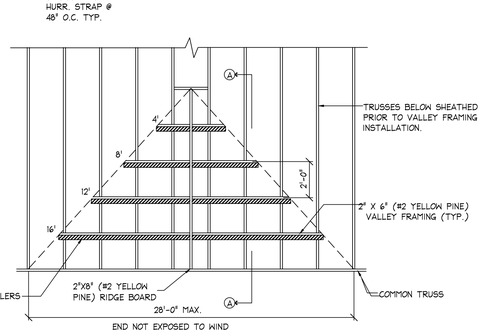
ELECTRIC RISER

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.) BEARING	UPLIFT
USP "PCM44"	POST CAP 4X4	20-16d	N/A	1570
SIMPSON "PC44"	POST CAP 4X4	20-16d	N/A	1470
USP "PCM66"	POST CAP 6X6	20-16d	N/A	1505
SIMPSON "PC66"	POST CAP 6X6	20-16d	N/A	1470

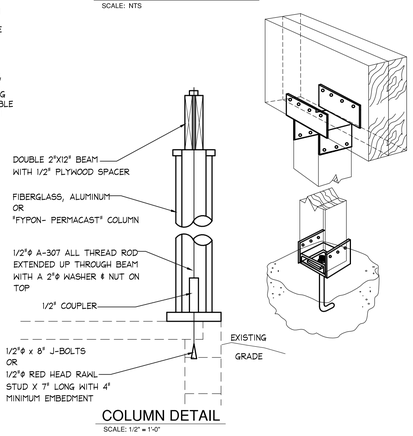
BEAM TO POST DETAIL

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.) BEARING	UPLIFT
USP "PAU44"	POST ANCHOR 4X4	12-16d	6775	2350
SIMPSON "ABU44"	POST ANCHOR 4X4	12-16d	6665	2200
USP "PAU66"	POST ANCHOR 6X6	12-16d	16005	2380
SIMPSON "ABU66"	POST ANCHOR 6X6	12-16d	12000	2300

WOOD POST TO SLAB DETAIL



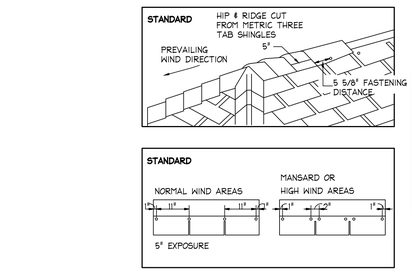
SECTION "A"-"A"

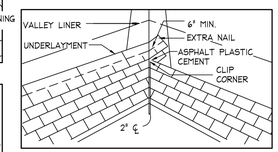


COLUMN DETAIL
SCALE: 1/2" = 1'-0"

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.) HEADER JOIST	UPLIFT	F1	F2
USP "RT16"	HURRICANE CLIP-WIDE	8-8d	8-8d	1015	645	650
SIMPSON "H10"	HURRICANE CLIP-WIDE	8-8d	8-8d	905	585	525

TRUSS TO BEAM DETAIL
SCALE: NTS





ROOF SHINGLE & FLASHING INSTALLATION SPEC'S
SCALE: NTS

SHINGLE NAILING NOTES:
ALL NAILS MUST PENETRATE AT LEAST 3/4" INTO THE WOOD ROOF DECK.

NAIL SHINGLES WITH 11 OR 12 GAUGE GALVANIZED NAILS WITH 3/8" DIAMETER HEADS - 6 REQUIRED (AS SHOWN IN "HIGH WIND AREAS")

ROOF-TO-WALL FLASHING NOTES:
4" X 5" ANGLE FLASHING - 26 GAUGE GALVANIZED METAL, RUBBER VALLEY FLASHING OR 12" WIDE - 26 GAUGE GALVANIZED METAL WITH SHINGLES OVER THE TOP.

MATERIAL SPECIFICATIONS:
UNDERLAYMENT SHALL CONFORM TO ASTM D226, TYPE II OR ASTM 4869, TYPE IV.
FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH FBC R905.2.8
ASPHALT SHINGLES SHALL COMPLY TO ASTM D225 OR ASTM D3462.

POST SUPPORT TABLE

POST LENGTH	POST SIZE 3 1/2" X 3 1/2" FLOOR ONLY	3 1/2" X 3 1/2" ROOF & FLOOR	3 1/2" X 5 1/4" FLOOR ONLY	3 1/2" X 5 1/4" ROOF & FLOOR	3 1/2" X 7" FLOOR ONLY	3 1/2" X 7" ROOF & FLOOR	5 1/4" X 5 1/4" FLOOR ONLY	5 1/4" X 5 1/4" ROOF & FLOOR	5 1/4" X 7" FLOOR ONLY	5 1/4" X 7" ROOF & FLOOR	7" X 7" FLOOR ONLY	7" X 7" ROOF & FLOOR
8'-0"	7,270#	7,716#	10,905#	11,574#	14,539#	15,432#	26,655#	29,565#	35,540#	39,420#		
9'-0"	6,115#	6,441#	9,173#	9,662#	12,231#	12,883#	23,484#	25,631#	31,312#	34,175#		
10'-0"	5,203#	5,449#	7,805#	8,173#	10,407#	10,897#	20,667#	22,300#	27,556#	29,733#		
12'-0"	3,885#	4,033#	5,827#	6,050#	7,770#	8,067#	16,166#	17,180#	21,555#	22,907#		
14'-0"	3,003#	3,099#	4,504#	4,649#	6,005#	6,199#	12,893#	13,566#	17,190#	18,088#	34,168#	36,736#
16'-0"							10,483#	10,952#	13,977#	14,603#	28,498#	30,312#
18'-0"							8,673#	9,013#	11,565#	12,018#	24,027#	25,356#
20'-0"							7,286#	7,540#	9,715#	10,053#	20,481#	21,484#
22'-0"											17,638#	18,413#
24'-0"											15,333#	15,944#

POSTS SHALL BE (1.8E) PARALLAM PSL MATERIALS MANUFACTURED BY TRUSSJOIST MACMILLAN (OR EQUAL).

I HEREBY CERTIFY, THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
NOT TO SCALE

REVISIONS # | DISCRIPTION | DATE

ENGINEER OF RECORD:
4-D ENGINEERING LLC
1074 S. FLORIDA AVE SUITE 201
LAKELAND, FL 33803
PHONE: (386) 937-1949
FL CERTIFICATE OF AUTHORIZATION # 31557
CAREY L. WILKINSON, P.E. - FL # 80472

CONTRACTOR:

PROJECT:
General Notes & Details

DATE:
JOB #
SCALE: AS NOTED

SHEET
GN