



AGENDA
HISTORIC PRESERVATION BOARD
City Commission Chambers
September 28, 2023 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Greg James, no later than 48 hours prior to the proceeding, at (863) 834-6040, Email: Greg.james@lakelandgov.net. If hearing impaired, please contact the TDD numbers: Local - **(863) 834-8333** or **1-800-955-8771** (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number **1-800-955-8770 (VOICE)**, for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the August 24, 2023 Historic Preservation Board meeting minutes.
- III. Old Business: NONE
- IV. New Business:
 - A. Historic Lakeland, Inc. Watch List Report
 - i. 137 Lake Morton Drive
 - ii. 2430 New Jersey Road
 - iii. 302 E. Belvedere Street
- V. Adjourn for Design Review Committee.

MINUTES

HISTORIC PRESERVATION BOARD
City Commission Chambers
Thursday, August 24, 2023
8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Bruce Anderson, Lynn Dennis, Michael Porter, Natalie Oldenkamp, Chris Olson, MeLynda Rinker and Britney Wilson were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Chair Chris Olson called the July 27, 2023 meeting of the Historic Preservation Board (“Board”) to order at 8:30 a.m. A quorum was reached, as seven Board members were present.

II. Review and Approval of Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the July 27, 2023 meeting minutes as presented. Mr. Bruce Anderson seconded the motion. The motion passed 7—0.

III. Old Business: NONE

IV. New Business:

A. Election of Officers, HPB Chairperson (DRC Vice-Chairperson) and HPB Vice-Chairperson (DRC Chairperson). “Nomination of officers shall be made from the floor at the regular meeting in August each year, and the elections shall follow immediately thereafter. A candidate receiving a majority vote shall be declared elected and shall serve for one year, or until a successor shall take office, beginning at the September regular meeting.” Ms. Lynn Dennis nominated Mr. Chris Olson for Chair of the Historic Preservation Board. Mr. Bruce Anderson seconded the motion and it passed 7—0. Ms. Lynn Dennis nominated Ms. MeLynda Rinker for Chair of the Design Review Committee. Ms. Natalie Oldenkamp seconded the motion and it passed 7—0.

B. HPB Appointment for vacancy on Design Review Committee. Ms. MeLynda Rinker nominated Mr. Bruce Anderson. Ms. Lynn Dennis seconded the motion and it passed 7—0.

V. Adjourn for Design Review Committee.

The meeting adjourned at 8:37 a.m.

Chair, Historic Preservation Board

Senior Planner, Historic Preservation



AGENDA
DESIGN REVIEW COMMITTEE
September 28, 2023

immediately following the Historic Preservation Board Meeting

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- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the August 24, 2023 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
 - A. Oath Administration for Public Testimony by Assistant City Attorney.
 - B. [HPB23-163 – 1115 Josephine Street](#) – Final Approval requested for the new construction of a single-family house on the vacant subject property. Owner/Applicant: Joseph and Patricia Magee.
 - C. [HPB23-169 – 527 W. Park Street](#) – Final Approval requested for the new construction of a single-family house on the vacant subject property. Owner/Applicant: Brian Waller, Consult 1 LLC.
 - D. [HPB23-172 – 317 E. Belmar Street](#) – Final Approval requested for the new construction of a single-family house on the vacant subject property. Owner: AA 86 Homes LLC. Applicant: Ben Becton.
 - E. [HPB21-243 – 128 W. Patterson Street](#) – Amendment to Approved Certificate of Review requesting approval to retain windows installed without exterior-mounted muntins/grids. Original request was for the new construction of a single-family house on the vacant subject property. Owner/Applicant: Hulbert Homes, Inc.
- V. Other Business: NONE
- VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE
City Commission Chambers

Thursday, August 24, 2023

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee met in Regular Session; Bruce Anderson, Lynn Dennis, Natalie Oldenkamp, Chris Olson, Michael Porter and MeLynda Rinker were present. Historic Preservation Board member Britney Wilson was also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair MeLynda Rinker at 8:38 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the July 27, 2023 meeting minutes. Mr. Chris Olson seconded the motion. The motion passed 6—0.

III. Review of Certificates of Review administratively approved.

A list of nineteen (19) administratively approved Certificate of Review projects covering the period 7/19/23-8/17/23 was included with the agenda packet. There were no additional questions or comments about these projects.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Assistant City Attorney Alex Landback.

B. **HPB23-150 – 837 S. Ingraham Avenue** – Final Approval requested for the replacement of wood siding on the house on the subject property. Owner: Albert and Patricia Wright. Applicant: Henkelman Construction, Inc.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of one lot that is 0.20 acres in size. On the property is a one-story, single-family house built circa 1946, which is a contributing building in the South Lake Morton Historic District. Architecturally, the house exhibits simple elements and form of both the Frame Vernacular and Ranch (or Ranchette) styles. The house is clad in wood lap siding with corner boards. The lap siding is a 7" board with a 6.75" reveal/exposure. Due to extensive rot and deterioration, the Applicant requests to remove the existing wood siding and replace with wood lap siding in the same profile and exposure as the original. Wood trim will also be used to replace the 1" X 4" and 1" X 6" corner boards matching these sizes. Window and door trim will be maintained as-is. A new Hardie ventilated soffit is proposed to replace the existing soffit. The house will be repainted.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #2, #5, #6, #9, #10 and Chapter 6 of the Design Guidelines for Historic Properties. The request proposes an in-kind replacement of existing wood siding using new wood siding and trim matching the dimension and profile of the original siding, which is consistent with the Design Guidelines and Standards. The requested Hardie soffit replacement is an acceptable material according to

the Design Guidelines. Ms. Foster stated staff recommends final approval of the request as submitted.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Rob Hennessey was present in support of the request.

There were no public comments.

MOTION: Final approval of the request as submitted. (L. Dennis/N. Oldenkamp).

- C. HPB23-159 – 915 E. Lime Street** – Final Approval requested for the reconstruction of the front porch of the house on the subject property. Owner: Altman Rentals LLC. Applicant: Mr. Norman Altman.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of one lot of record, which is 0.13 acres in size. On the property is a one-story, single-family house built circa 1924, which is a contributing building in the East Lake Morton Historic District. The Craftsman Bungalow architectural styling of this house is expressed by a front facing gable roof, triangular knee brackets, exposed rafter tails, drop siding, and double-hung sash windows with a 3-over-1 lite configuration. The front porch and integrated porte cochere features a hipped roof supported by tapered columns on block plinths with a painted stucco finish. Earlier this year, the front porch and porte cochere was destroyed by the impact of a vehicle collision. Subsequently, the remaining front porch and porte cochere was demolished and in-kind repairs to the front of the house were made to protect the house and allow the tenants to safely enter. Earlier this year, the front porch and porte cochere was destroyed by the impact of a vehicle collision. Subsequently, the remaining front porch and porte cochere was demolished and in-kind repairs to the front of the house were made to protect the house and allow the tenants to safely enter.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #2, #5, #6, #9, #10 and Chapter 6 of the Design Guidelines for Historic Properties. Staff finds that the request proposes a sensitive reconstruction of the front porch using appropriate replacement materials and a design similar to the destroyed porch, which is consistent with the Design Guidelines and Standards. As the original porte cochere was integrated into the hipped roof structure of the front porch, as well as featured two columns in the same design as the columns of the front porch, the porte cochere should also be rebuilt with the same design and dimension that historically existed. Both the front porch and porte cochere are features that define the Craftsman Bungalow architectural style of the subject house and should be rebuilt to retain its architectural and historic integrity. Ms. Foster stated staff recommends approval of the request with c in the same design and dimension that historically existed.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Norman Altman was present in support of the request. He stated that he preferred to only rebuild the front porch and not the porte cochere as the tenants were not able to park their vehicle fully in the carport due to the smaller size of the porte cochere. Not building the porte cochere will allow the tenants to park their larger vehicle in the carport at the rear of the property. Ms. Bonnie Altman Irvine was also present in support of the request. She stated the tenants were previously using the porte cochere as storage, which caused Code Enforcement to issue a violation. Ms. Altman Irvine stated it is preferred that the tenants use the area for parking rather than storage.

Discussion ensued.

There were no public comments.

MOTION: Final approval of the request as submitted without the condition that the porte cochere also be rebuilt. (L. Dennis/C. Olson, 5—1. M. Rinker voted against the motion.)

V. Other Business: NONE

VI. Adjournment: There being no further business, the meeting was adjourned at 9:22 a.m.

Chair, Design Review Committee

Senior Planner, Historic Preservation

**Certificates of Review Administratively Approved
Between 8/18/2023 and 9/18/2023**

1. 809 E LIME ST (Contributing Building) - Installation of a flat panel standing seam metal roof (FL#33818), dark bronze in color.
Subject to the following conditions: (HPB23-166)

2. 109 N KENTUCKY AV (Contributing Building) - Window restoration and repair to include replacing any damaged or rotten wood on the windows in-kind, cleaning the glass and reglazing, and repainting.
Subject to the following conditions: (HPB23-167)

3. 950 RUBY ST (Non-Contributing Building) - Construction of a gable-roofed accessory building in the rear yard of the subject property. Size of structure under roof is 14' X 23'; enclosed building size is 14' X 14'. Building will have Hardie lap siding, fiberglass roofing shingles, three entry doors, and two windows.
Subject to the following conditions: (HPB23-168)

4. 1059 S LINCOLN AV (Contributing Building) - Repairs using in-kind materials, matching profile and dimension of original features to include portions of siding, repairs to front and back porch members, window repairs and glass replacement, and back door glass replacement.
Subject to the following conditions: (HPB23-170)

5. 922 E ORANGE ST (Contributing Building) - Converted existing accessory storage building into a pool house. Replaced metal roofing (5V crimp) and repaired existing siding in-kind.
Subject to the following conditions: (HPB23-171)

**Certificates of Review Administratively Approved
Between 8/18/2023 and 9/18/2023**

6. 1225 KING AV (Non-Contributing Building) - Replace 10 vinyl single-hung sash windows on side and rear elevations of the subject house with M/I vinyl single-hung sash windows. (FL#17676)

Subject to the following conditions: CONDITIONS:

1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS "SANDWICHED" BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-173)

7. 711 COLLEGE AV (Contributing Building) - Approximately 91 feet of 6-foot tall TAN PVC vinyl privacy fencing within the rear yard of the subject property

Subject to the following conditions: (HPB23-174)

8. 415 W HIGHLAND ST (Non-Contributing Building) - Installation of a 5V crimp, flat panel metal roof (FL#8393.4).

Subject to the following conditions: (HPB23-175)

**Certificates of Review Administratively Approved
Between 8/18/2023 and 9/18/2023**

9. 1126 SUCCESS AV (Contributing Building) - Replacing one window on the ground floor, north side elevation with an AMI 3004 vinyl fixed window (FL#9909.19) and one window on the second floor, north side elevation, with an AMI 3001 vinyl double-hung sash window (FL#11720.9).

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**Certificates of Review Administratively Approved
Between 8/18/2023 and 9/18/2023**

10. 1026 E WALNUT ST (Contributing Building) - Replacing 14 aluminum windows with 14 AMI 3001 vinyl double-hung sash windows (FL#11720.9).
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
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**Certificates of Review Administratively Approved
Between 8/18/2023 and 9/18/2023**

11. 1924 SHAWNEE TR (Contributing Building) - Replacing 13 double-hung sash windows with 13 Pella 250 Series vinyl double-hung sash windows (FL#16813.3) and two fixed windows with 2 Pella 250 Series vinyl fixed windows (16811.2). The living room fixed window will also have horizontal slider vinyl windows (Pella 250 Series vinyl, FL#16809.12) on either side, matching lite configuration of original window. Subject to the following conditions: CONDITIONS:
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**Certificates of Review Administratively Approved
Between 8/18/2023 and 9/18/2023**

12. 1908 CHEROKEE TR (Contributing Building) - Replace 19 non-historic double-hung sash windows with 17 Renewal by Andersen DG Series Double Hung composite window (FL#27970.1) and 2 Renewal by Andersen Glider composite window (FL#19563.1) (glider windows are at rear of house).

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**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
September 28, 2023**

Project #	HPB23-163
Project Type	New Construction of a Single-Family House
Property Address; Historic Name	1115 Josephine Street N/A
Historic District; FMSF#	Lake Hunter Terrace Historic District; N/A
Owner/Applicant	Joseph and Patricia Magee
Zoning; Context District; Future Land Use; SPI	RA-3; Urban Neighborhood; Residential Medium; N/A
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	N/A

REQUEST

The Applicant requests approval to build a one-story, single-family house with a detached garage on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property an interior lot of record (Lake Hunter Terrace Subdivision, Block L, Lot 4) and consists of 0.15 acres (50 feet wide by 134.8 feet deep); this lot is currently vacant and has alley access at the rear (north side) of the property. This lot is currently combined with the lot to the west (Lake Hunter Terrace Subdivision, Block L, Lot 5); the applicant has been instructed to split the subject lot from the combined parcel through the Polk County Property Appraiser’s office before applying for a building permit.

The Applicant requests to build a one-story, single-family house on the subject property consisting of approximately 2,017 square feet of living area. The home will feature a neo-traditional aesthetic reflecting elements of the Bungalow and Frame Vernacular architectural styles, such as a gabled roof and hipped-roof front porch supported by simple square columns, windows with a simulated divided lite configuration, and a front entry consisting of a three quarter-lite door. A detached garage with a gabled roof is proposed at the rear of the property with a driveway connecting the garage to Josephine Street along the west side of the subject property. Also proposed is a swimming pool at the rear of the property.

Materials proposed for the new house and garage include:

Scope	Material
Foundation	Concrete stem wall foundation with a 32-inch height at the finished floor for house; concrete slab foundation for garage. Front porch foundation will be clad in brick; the foundation of the house will be clad with a sand stucco finish.
Exterior Cladding*	Hardie board-and-batten siding with Hardie shingle siding in the gables. The garage will be clad in sand finish stucco with Hardie shingle siding in the gables.
Trim/Casing	Hardie material trim and casing
Windows*	Vinyl single-hung sash windows with 4-over-1 lite configuration with exterior muntins/grid

Doors	Composite three-quarter lite front door and full lite rear door; Composite entry door on garage and aluminum garage door.
Roof	Standing seam metal panels on the 6/12 pitch main roof and 4/12 pitch front porch roof. Garage will also have a standing seam metal roof (6/12 pitch).
Fascia/Soffit	Hardie fascia and soffit
Porch	Pine tongue-and-groove floor and brick steps; Hardie-wrapped square columns
Exterior Paint Colors	Body: Sherwin Williams Alabaster (HGSW7008); Trim: Sherwin William Tricorn Black (HGSW6258); Accent: Sherwin Williams Favorite Jeans (HGSW9147).

****The siding material and window lite configurations shown on the elevation drawings submitted by the Applicant will be revised to reflect the materials listed above.***

The site plan proposed for the proposed new construction shows orientation of the home’s front façade towards Josephine Street. The proposed building setbacks for the house and garage meet the Land Development Code’s Urban Neighborhood Standards.

APPLICABLE GUIDELINES:

The Secretary of Interior’s Standards for Rehabilitation (“Standards”) and the City of Lakeland’s Design Guidelines for Historic Properties (“Design Guidelines”) are the basis for review per the City of Lakeland Land Development Code (“LDC”), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction
Sub-Chapter 4.6: New Residential/Infill Construction.

- The scale and massing of the new building, including its fenestration, roof height and shape, and elevation should be consistent with surrounding contributing buildings.
- Building Form – the front façade of buildings should be closely aligned with other buildings on the block to maintain a uniform setback; consistent spacing of buildings maintains rhythm of historic neighborhood development pattern; the height-to-width ratio of street facing façade should be compatible with adjacent buildings.
- Orientation of new buildings should be toward the primary road and building setbacks should reflect traditional siting dimensions.
- Materials should respect adjacent historic buildings.
- Details and ornamentation should reflect those of surrounding buildings.
- Window material, style, size, and trim should be consistent with historic windows and include dimensional mullions and exterior muntins, if applicable.
- Doors should be of an appropriate design reflective of the architectural style of the building.
- Roof design and details should reflect those of surrounding buildings

- Colors should complement surrounding buildings.

ANALYSIS:

Adjacent to the subject property along Josephine Street exist several one-story houses that exhibit the Bungalow, Frame Vernacular, and Modern Masonry Vernacular styles. Staff finds that the proposed new house is compatible in massing and scale to contributing houses in the Lake Hunter Terrace Historic District. The scale and proportion of the architectural elements of the house, including roof pitch and floor-to-ceiling heights, is also compatible with contributing structures.

Staff finds that the proposed materials for the house and garage are consistent with residences in the surrounding neighborhood and the Design Guidelines. The design of the house displays a neo-traditional style that is compatible with the architectural character of the District. Features such as the hipped-roof front porch supported by square columns with simple capitals and bases, board-and batten siding, windows with simulated divided lite configuration and a three-quarter lite front door are consistent with Frame Vernacular and Bungalow houses found in the neighborhood, as well as the Design Guidelines. The design of the garage reflects the design of the house, and is simple and subordinate to the house.

Finally, the proposed placement of the house on the lot is consistent with the Design Guidelines and Urban Neighborhood Standards in terms of orientation, building setbacks, and porch depth. The front yard building setback, at 15 feet, is the minimum required by the Code and is compatible with the houses on either side of the subject property; 1119 Josephine Street to the west of the subject property is setback approximately 19 feet from the property line, 1121 Josephine Street is setback approximately 15 feet, and 1111 Josephine Street to the east of the subject property is setback approximately 17 feet from the property line. The garage is located appropriately to the rear of the subject property. While this property has access to an alley at the rear, driveways connecting to the street are an established feature along this block of Josephine Street.

STAFF RECOMMENDATION:

Final approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Use a straight eave return on the gabled roof instead of the “pork chop” eave return shown on the plans.
2. Windows shall comply with the following requirements:
 - a. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface.
 - b. Muntins or “grids” must be mounted to the exterior glass, in addition to any grids between the glass.
 - c. Windows also must include historically appropriate trim, including header, sill, and apron.
3. The standing seam metal roof panels must have a flat appearance in between seams with no striations.
4. Submittal of an exterior paint palette.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



ADJOINING PROPERTIES
TO THE WEST



PROPERTY



ADJOINING PROPERTY TO THE EAST



MODEL S251 CARRIAGE, STEEL DOOR WITH WINDOWS
STRAPS AND HANDLES

ALABASTER
HGSW7008

RF01



EXT. BODY COLOR

TRICORN BLACK
HGSW6258

IR02



FASCIA COLOR &
ROOF COLOR



FRONT DOOR STYLE



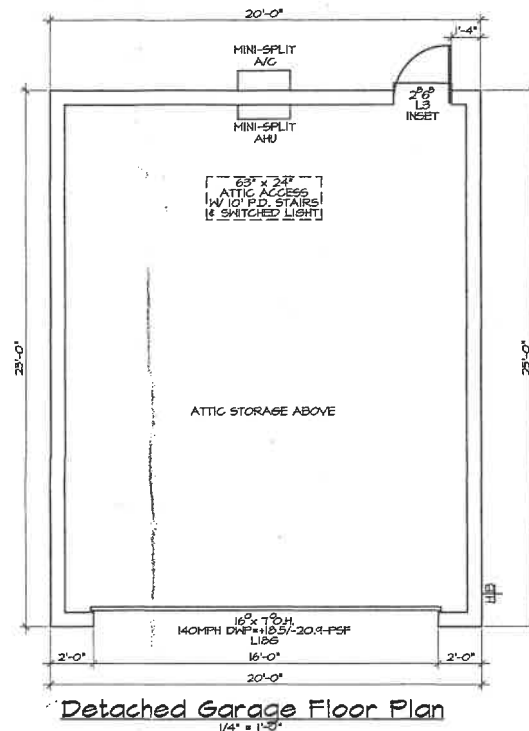
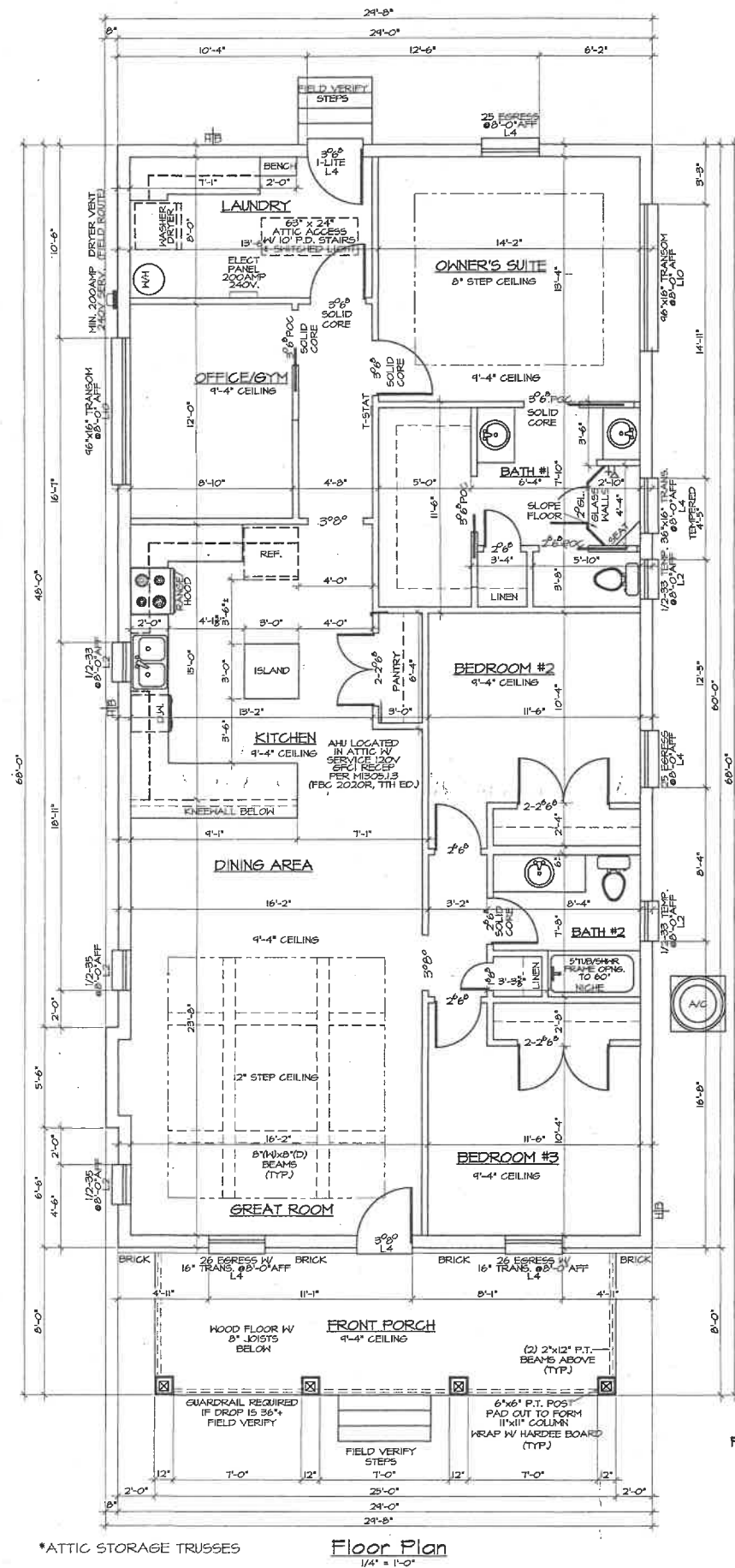
HS47-2

HS47-2

FAVORITE JEANS
HGSW9147



FRONT DOOR AND SHUTTERS
COLOR



- DESIGN LOADS:**
- Design conforms with Florida Bldg. Code 7th Edition (2022) (Building & Residential) Design Criteria for 140MPH Wind Forces Per ASCE/SEI 7-16 Minimum Design Loads For Buildings & Other Structures
 - Hood: No. 2 Grade Southern Pine Or Better
 - Risk Category II
 - MFERS Chapters 26 Thru 28
 - Chap. 30, Components/Cladding (C4 C) Excl. Low Rise Building Doors & Windows 341 psf
 - Garage Door 40.5/420.4
 - Internal Pressure Coefficients + 0.18
 - Exposure "B"
 - Residential Category R3

AREAS:

LIVING	1,744
FRONT PORCH	200
DETACHED GARAGE	500
TOTAL:	2,444

WINDOW SCHEDULE

Plan Call Out	Width	Height	Sq. Ft.
12	11"	26"	3
13	11"	38"	5
14	11"	50"	7
15	11"	63"	8
16	11"	72"	10
17	11"	40"	11
12-32	26"	26"	5
12-33	26"	38"	7
12-34	26"	50"	9
12-35	26"	63"	11
12-36	26"	72"	13
12-37	26"	40"	16
22	37"	26"	7
23	37"	38"	10
24	37"	50"	13
25	37"	63"	16
26	37"	72"	19
27	37"	40"	22
32	33"	26"	10
33	33"	38"	14
34	33"	50"	18
35	33"	63"	23
36	33"	72"	27
37	33"	40"	32

* MEETS MIN. EGRESS SIZE REQUIREMENTS PER IRC 2020 7th Ed. RES. R310.1

Concrete Lintel Schedule

Tag Nos.	Clear Span	Lintel Size	Rebar
L1	1'-0"	2'-0"	2#4
L2	2'-0"	2'-0"	2#4
L3	2'-0"	4'-0"	2#4
L4	3'-2"	4'-0"	2#4
L5	4'-0"	2'-0"	2#4
L6	4'-0"	4'-0"	2#4
L7	5'-2"	2'-0"	2#4
L8	6'-2"	2'-0"	2#4
L9	7'-0"	2'-0"	NOT AVAILABLE
L10	8'-0"	4'-4"	2#4
L11	8'-2"	10'-4"	2#4
L12	10'-0"	11'-4"	2#4
L13	11'-0"	12'-4"	2#4
L14	12'-0"	13'-4"	2#4
L15	12'-0"	14'-0"	2#4
L16	13'-4"	14'-0"	2#4
L17	14'-0"	15'-4"	2#4
L18	15'-0"	17'-4"	2#4
L19	15'-0"	18'-4"	2#4
L20	15'-0"	20'-0"	2#4
L21	20'-0"	22'-0"	2#4
L22	22'-0"	24'-0"	2#4

Garage Door Lintels

L23	18'-0"	11'-4"	2#4
L24	18'-0"	11'-4"	2#4

Garage Door W/Bonus Room Above

L25	18'-0"	11'-4"	2#4
L26	18'-0"	11'-4"	2#4

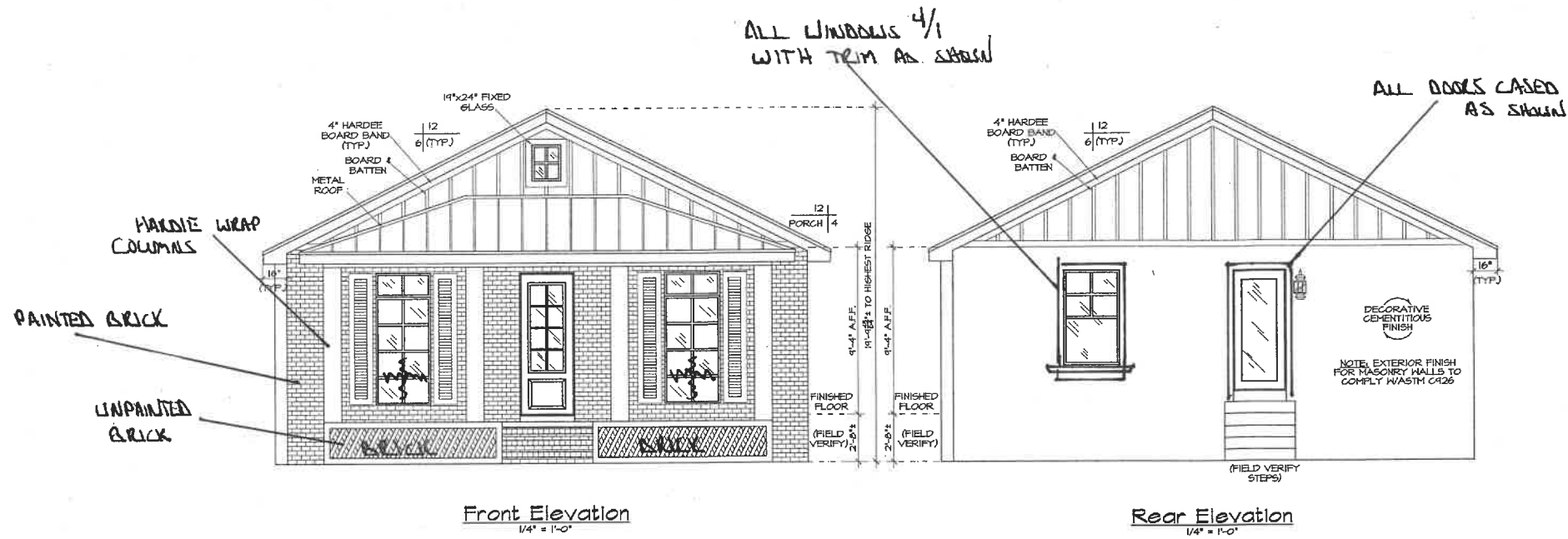
REVISIONS	BY

ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1805 E. REDWOOD DR. WILMINGTON, FLORIDA 33603
STATE OF FLORIDA CERT. OF AUTHORIZATION # 888491
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 37246

The Olivia Lynn
Joey Magee
1119 Josephine St. Lakeland, FL
Floor Plans

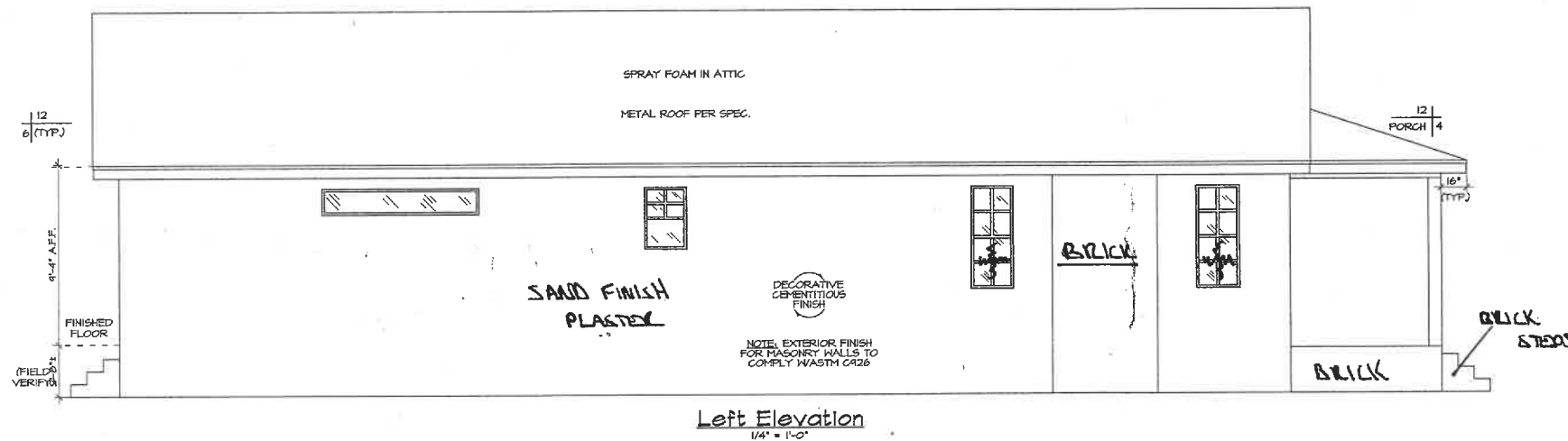
Hulbert Homes, Inc.
PROJ. # 863-847-8615
PAX 844-1120

DRAWN BY
SDF
DATE CHECKED
10 MAY 2023
SCALE
AS NOTED
SHEET
OF 6 SHEETS
PAPER SIZE
24"x36"

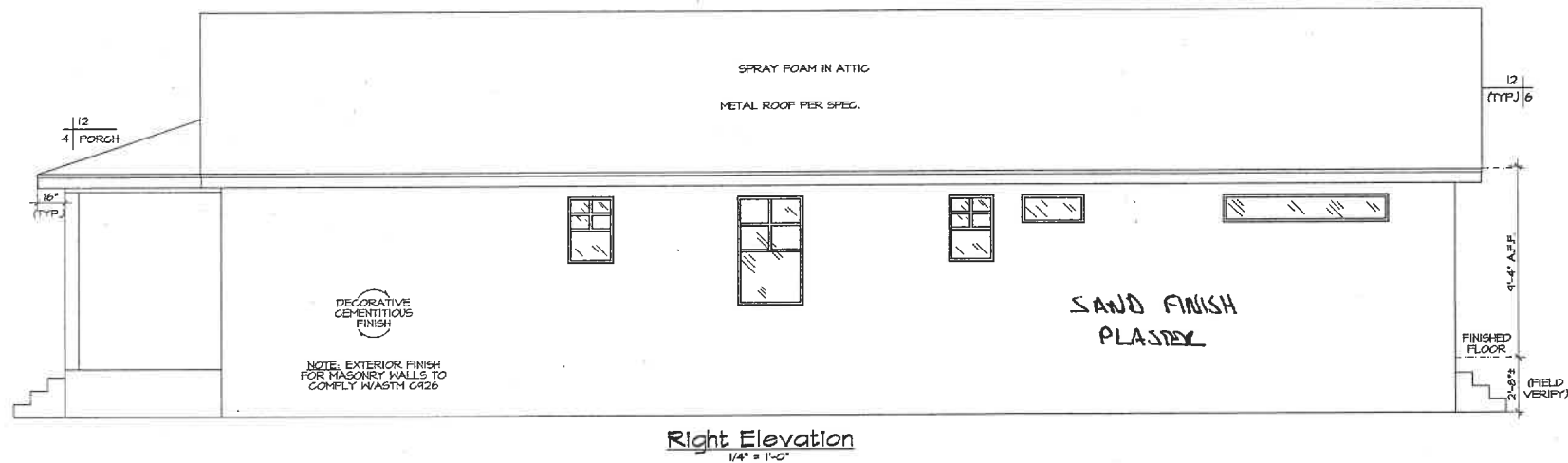


Front Elevation
1/4" = 1'-0"

Rear Elevation
1/4" = 1'-0"



Left Elevation
1/4" = 1'-0"



Right Elevation
1/4" = 1'-0"

EXTERIOR LATH, KEEP, & WATER RESISTIVE BARRIER NOTES:

1. EXTERIOR PLASTER: INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE W/ ASTM C 926 & ASTM C 1063 & THEIR PROVISIONS OF THIS CODE.
2. LATH: ALL LATH & LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED W/ 1-1/2-INCH-LONG (38 MM), 16 GAGE NAILS HAVING A 7/8-INCH (19MM) HEAD, OR 1/2-INCH LONG (22.2MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6" (152 MM), OR AS OTHERWISE APPROVED.
3. PLASTER: PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN 5 COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH & SHALL BE NOT LESS THAN 2 COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R0111 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY 2 COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R102.10. THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE.
4. KEEP SCREENS: A MIN. 0.011-INCH (0.5 MM) NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT KEEP SCREED OR PLASTIC KEEP SCREED, WITH A MIN. VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (94 MM) SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE W/ ASTM C 926. THE KEEP SCREED SHALL BE PLACED A MIN. OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS & SHALL BE OF A TYPE OF THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER & TERMINATE ON THE ATTACHMENT FLANGE OF THE KEEP SCREED.
5. WATER-RESISTIVE BARRIERS: WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R103.2 & WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER W/ A PERFORMANCE AT LEAST EQUIVALENT TO 2 LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS FLANGE & ANY FLASHING INSTALLED IN ACCORDANCE W/ SECTION R103.2) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS. EXCEPTION: WHERE THE WATER-RESISTIVE BARRIER THAT IS APPLIED OVER WOOD-BASED SHEATHING HAS A WATER RESISTANCE EQUAL TO OR GREATER THAN THAT OF 60-MINUTE GRADE D PAPER & IS SEPARATED FROM THE STUCCO BY AN INTERVENING, SUBSTANTIALLY NON-WATER-ABSORBING LAYER OR DESIGNED DRAINAGE SPACE.

PRELIMINARY No. 1 NOT FOR CONSTRUCTION
11 MAY 2023

REVISIONS	BY

ENGINEER OF RECORD
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERING
1830 S. BOGARD ROAD, LAKELAND, FLORIDA 33809
P.O. BOX 1000, LAKELAND, FLORIDA 33809
STATE OF FLORIDA CERT. OF AUTHORIZATION # BR0347
RICHARD L. KIDDIEY, P.E. - FLORIDA LICENSE # 97246

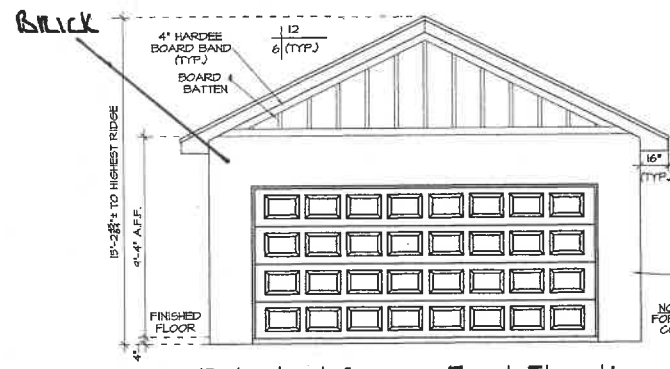
The Olivia Lynn
Joey Magee
1119 Josephine St. Lakeland, FL
Elevations

Hulbert Homes, Inc.
PHONE: 883-647-5815
FAX: 844-1125

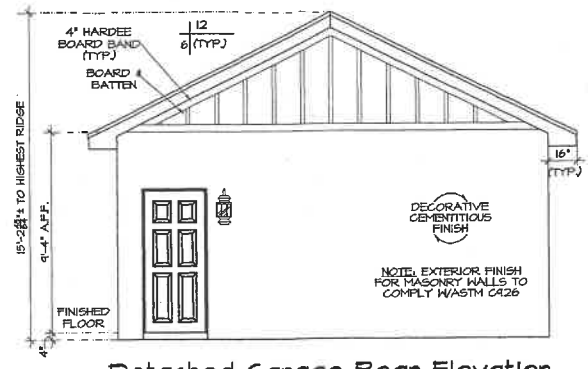
DRAWN BY
SDF
DATE CHECKED
DATE
10 MAY 2023
SCALE
AS NOTED
SHEET
3
OF 6 SHEETS
PAPER SIZE
24" x 36"

- DESIGN LOADS:**
1. Design conforms with Florida Bldg. Code 17th Edition (2020) (Building & Residential) Design Criteria for 140-MPH Wind Forces For ASCE/SEI 7-16 Minimum Design Loads For Buildings & Other Structures.
 2. Wind: No. 2 Grade Southern Pine Or Better
 3. Risk Category II
 4. HRRS chapters 26 Thru 29
 5. Chap. 30 Components/Cloaking (CA C) Part I, Low Rise Building Doors & Windows 247 PSF Storage Room 418-1/20 ft Internal Pressure Coefficient: ± 0.18 Exposure "B"
 6. Residential Category R3

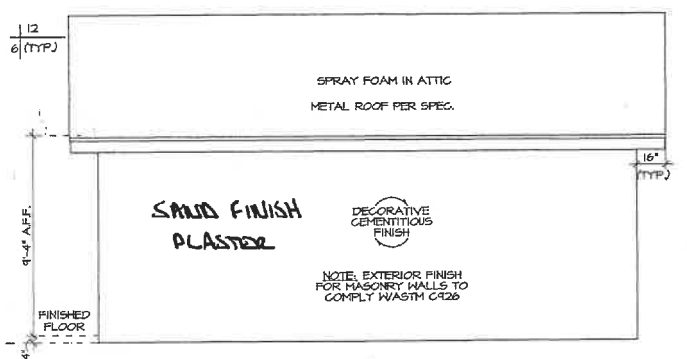
NOTED: PRELIMINARY. THESE ELEVATIONS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND FINISHES ARE AS NOTED IN DIMENSIONS. ALL DIMENSIONS SHALL BE AS NOTED IN DIMENSIONS. ALL DIMENSIONS SHALL BE AS NOTED IN DIMENSIONS.



Detached Garage Front Elevation
1/4" = 1'-0"



Detached Garage Rear Elevation
1/4" = 1'-0"



Detached Garage Left/Right Elevation
1/4" = 1'-0"

EXTERIOR LATH, WEEP, & WATER RESISTIVE BARRIER NOTES:

- EXTERIOR PLASTER, INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE W/ ASTM C 426 & ASTM C 1063 & THEIR PROVISIONS OF THIS CODE.
- LATH, ALL LATH & LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS, EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED W/ 1-1/2-INCH-LONG (38 MM), 16 GAGE NAILS HAVING A 7/16-INCH (11MM) HEAD, OR 7/8-INCH LONG (22.2MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6" (152 MM), OR AS OTHERWISE APPROVED.
- PLASTER, PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN 3 COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH & SHALL BE NOT LESS THAN 2 COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESERVE PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R0111 OR GYPSUM BACKING IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY 2 COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R102.1(1). THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE.
- WEEP SCREEDS, A MIN. 0.019-INCH (0.5 MM) NO. 26 GALVANIZED SHEET (GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MIN. VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE W/ ASTM C 1026. THE WEEP SCREED SHALL BE PLACED A MIN. OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS & SHALL BE OF A TYPE OF THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE, THE EXTERIOR LATH SHALL COVER & TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- WATER-RESISTIVE BARRIERS, WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R1403.2 & WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER W/ A PERFORMANCE AT LEAST EQUIVALENT TO 2 LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS FLANG & ANY FLASHING (INSTALLED IN ACCORDANCE W/ SECTION R103.3) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS. EXCEPTION WHERE THE WATER-RESISTIVE BARRIER THAT IS APPLIED OVER WOOD-BASED SHEATHING HAS A WATER RESISTANCE EQUAL TO OR GREATER THAN THAT OF 60-MINUTE GRADE D PAPER & IS SEPARATED FROM THE STUCCO BY AN INTERVENING, SUBSTANTIALLY NON-WATER-ABSORBING LAYER OR DESIGNED DRAINAGE SPACE.

PRELIMINARY No. 1 NOT FOR CONSTRUCTION
11 MAY 2023

REVISIONS	BY

ENGINEER OF RECORD:

ARKAY ENGINEERING INC.
1105 W. UNIVERSITY BLVD., SUITE 100
LAKELAND, FLORIDA 33809
PHONE: 883-668-6500 FAX: 883-668-6587
STATE OF FLORIDA CERT. OF AUTHORIZATION # 080847
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 91266

Detached Garage
Joey Magee
1119 Josephine St, Lakeland, FL
Elevations

Hulbert Homes, Inc.
PHONE: 883-647-8816
FAX: 844-1125

DRAWN BY
SDF
DATE CHECKED

DATE
11 MAY 2023
SCALE
AS NOTED
SHEET
4
OF 6 SHEETS
PAPER SIZE
24"x36"

- DESIGN LOADS:**
- Design conforms with Florida Bldg. Code 7th Edition (2020) (Building & Residential Design Criteria for HURR-1 Wind Forces Per ASCE/SEI 7-16 Minimum Design Loads For Buildings & Other Structures.
 - Wind No. 2 Grade Southern Pine Or Better
 - Risk Category II
 - HURR-1 Categories 26 Thru 28
 - Chap. 501 Components/Cladding (C1-C)
 - Exterior Low Rise Building
 - Roof & Sides +F1 psf
 - Garage Door +10.5/-20.9
 - Internal Pressure Coefficient: ± 0.18
 - Exposure: 1
 - Residential Category R3

NOTE: ALL DIMENSIONS ARE APPROXIMATE. DIMENSIONS ON THIS PLAN, SECTION, AND ELEVATION, PROVIDED AS TO THE ACCURACY OF THE ORIGINAL DRAWING. DIMENSIONS ON THIS PLAN, SECTION, AND ELEVATION, PROVIDED AS TO THE ACCURACY OF THE ORIGINAL DRAWING. DIMENSIONS ON THIS PLAN, SECTION, AND ELEVATION, PROVIDED AS TO THE ACCURACY OF THE ORIGINAL DRAWING.



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
September 28, 2023**

Project #	HPB23-169
Project Type	New Construction of a Single-Family House
Property Address; Historic Name	527 W. Park Street N/A
Historic District; FMSF#	Dixieland Historic District; N/A
Owner/Applicant	Brian Waller, Consult 1 LLC
Zoning; Context District; Future Land Use; SPI	RA-4; Urban Neighborhood; Residential Medium; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	N/A

REQUEST

The Applicant requests approval to build a one-story, single-family house with a detached garage on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property an interior lot of record (Dixieland, Block E, Lot 18) and consists of 0.17 acres (50 feet wide by 145 feet deep); this lot is currently vacant and has alley access at the rear (north side) of the property.

The Applicant requests to build a one-story, single-family house consisting of approximately 1,953 square feet of living area. The home will feature a neo-traditional aesthetic reflecting elements of the Frame Vernacular architectural styles, such as a gabled roof and hipped roof front porch supported by simple square columns, windows with a Colonial-style lite configuration, and a front entry consisting of a three-quarter lite door. A detached garage is proposed at the rear of the property, which will be accessed from the alley.

Materials proposed for the new house include:

Scope	Material
Foundation	Raised concrete foundation
Exterior Cladding	Hardie board-and-batten siding and Hardie lap siding with a 6-inch exposure in the gables
Trim/Casing	Hardie trim and casing
Windows	Vinyl single-hung sash windows with dimensional muntins on the exterior glass
Doors	Fiberglass three-quarter lite front door; fiberglass half-lite rear door
Roof	Asphalt architectural shingles on 6/12 pitch roof; 5V crimp metal roofing (bronze or mill finish) on 3/12 pitch front porch roof; decorative wood barge board in front gable
Fascia/Soffit	Hardie fascia with Hardie vented soffit
Porch	Concrete floor and steps, floor will be covered in pavers; Hardie-wrapped columns
Exterior Paint Colors	TBD

The site plan proposed for the proposed new construction shows orientation of the home's front façade towards West Park Street. The proposed building setbacks and porch depth for the house, as well as building setbacks and placement for the garage, meet the Land Development Code's Urban Neighborhood Standards.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties ("Design Guidelines")* are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.6: New Residential/Infill Construction.

- The scale and massing of the new building, including its fenestration, roof height and shape, and elevation should be consistent with surrounding contributing buildings.
- Building Form – the front façade of buildings should be closely aligned with other buildings on the block to maintain a uniform setback; consistent spacing of buildings maintains rhythm of historic neighborhood development pattern; the height-to-width ratio of street facing façade should be compatible with adjacent buildings.
- Orientation of new buildings should be toward the primary road and building setbacks should reflect traditional siting dimensions.
- Materials should respect adjacent historic buildings.
- Details and ornamentation should reflect those of surrounding buildings.
- Window material, style, size, and trim should be consistent with historic windows and include dimensional mullions and exterior muntins, if applicable.
- Doors should be of an appropriate design reflective of the architectural style of the building.
- Roof design and details should reflect those of surrounding buildings
- Colors should complement surrounding buildings.

ANALYSIS:

Adjacent to the subject property along West Park Street exist several one-story houses that exhibit the Bungalow, Frame Vernacular, and Mediterranean Revival styles. Staff finds that the proposed new house is compatible in massing and scale to contributing houses found throughout the Dixieland Historic District. The scale and proportion of the architectural elements of the house, including roof pitch and floor-to-ceiling heights, is also compatible with adjacent structures.

Staff finds that the proposed materials are consistent with residences in the surrounding neighborhood and the Design Guidelines. The design of the house displays a neo-traditional style that is compatible with the

architectural character of the District. Features such as the hipped roof front porch supported by square columns with simple capitals and bases, board-and batten siding with lap siding in gables, windows with simulated divided lite configuration and a three-quarter lite front door are consistent with historical architectural styles found in the neighborhood, as well as the Design Guidelines.

Finally, the proposed placement of the house on the lot is consistent with the Design Guidelines and Urban Neighborhood Standards in terms of orientation, and porch depth. The front yard building setback, at 15 feet, is the minimum required by the Code, but is dissimilar with the front setbacks of houses on either side of the subject property; 531 W. Park Street to the west of the subject property is setback approximately 25 feet from the property line and 523 W. Park Street to the east of the subject property is setback approximately 24 feet from the property line. Staff suggests a front yard setback of no less than 20 feet for compatibility with adjacent houses.

STAFF RECOMMENDATION:

Final approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Use a front yard setback of 20 to 25 feet.
2. Windows shall comply with the following requirements:
 - a. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface.
 - b. Windows also must include historically appropriate trim, including header, sill, and apron.
3. Submittal of an exterior paint palette.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



1 1-IMG_2889 Date Taken: 8/17/2023
neighbor on same side of the street to the west



2 2-IMG_2890 Date Taken: 8/17/2023
neighbor on same side of the street further west



3 3-IMG_2891 Date Taken: 8/17/2023
neighbor on same side of street to the east



4 4-IMG_2892
neighbor across the street to the east

Date Taken: 8/17/2023



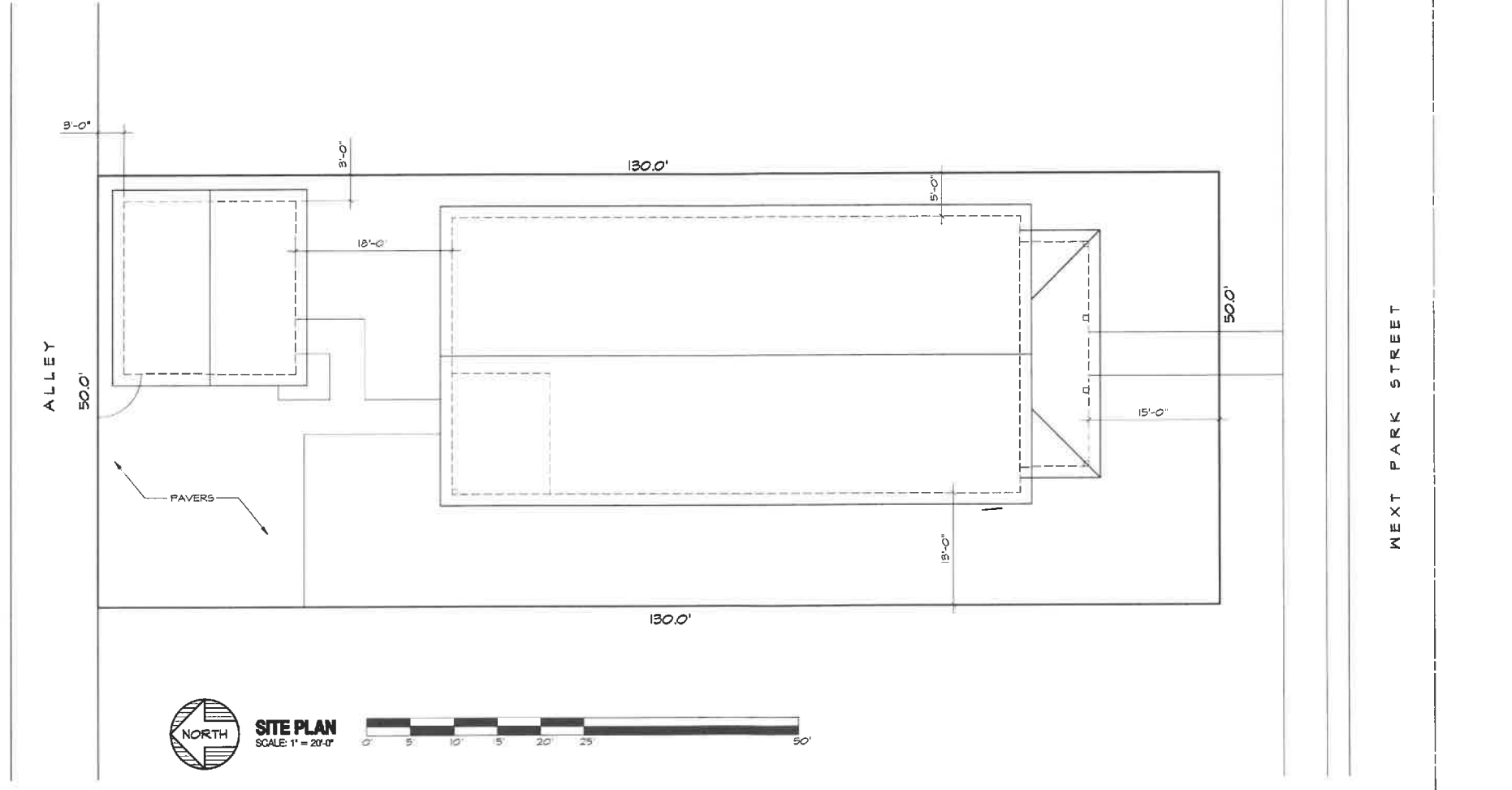
5 5-IMG_2893
neighbor across the street

Date Taken: 8/17/2023



6 6-IMG_2894
neighbor across the street to the west

Date Taken: 8/17/2023



SITE PLAN
SCALE: 1" = 20'-0"



WALLER
RESIDENTIAL • COMMERCIAL • RESTORATION
1065 SOUTH FLORIDA AVENUE
LAKELAND, FLORIDA 33803
PHONE: 863-488-8670



PRELIMINARY
NOT FOR CONSTRUCTION

NEW SPECULATION HOUSE FOR
WALLER CONSTRUCTION, INC.
527 WEST PARK STREET
LAKELAND, FLORIDA 33803

DATE: 8/17/23
REVISED: 8/18/23
DRAWN BY: LAP
CHECKED BY:
FILE: PS-3
SHEET NUMBER

3
OF 3 SHEETS

WALLER
 RESIDENTIAL COMMERCIAL RESTORATION
 1065 SOUTH FLORIDA AVENUE
 LAKELAND, FLORIDA 33803
 PHONE: 863-688-8670



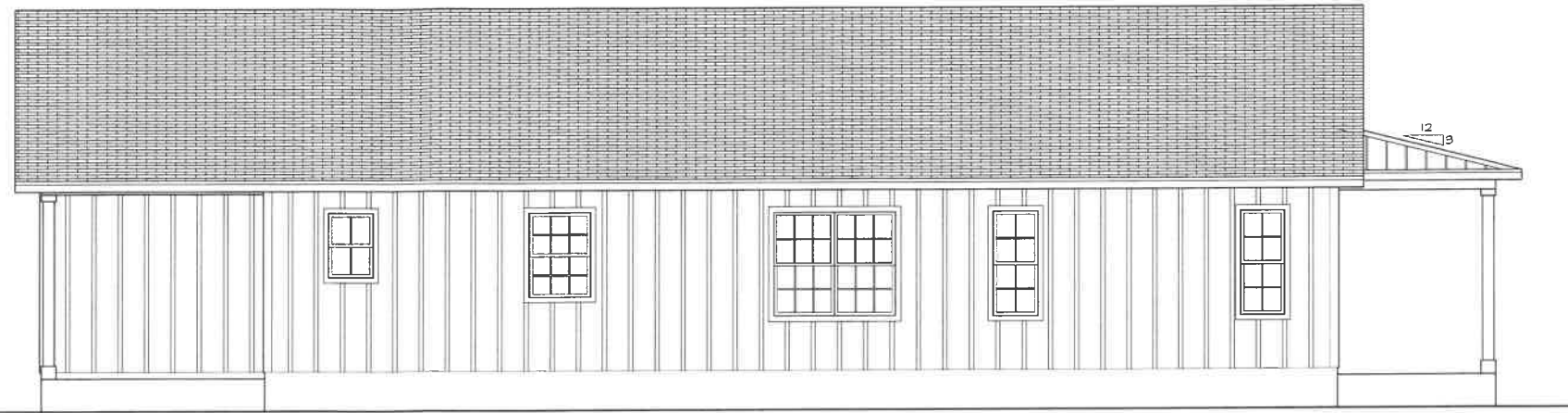
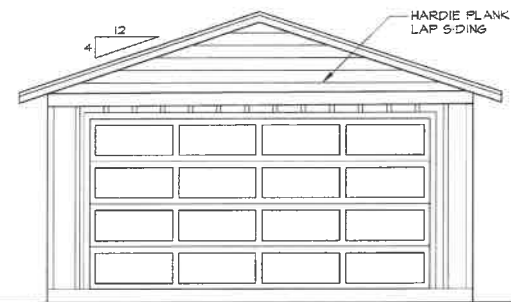
PRELIMINARY
 NOT FOR CONSTRUCTION

NEW SPECULATION HOUSE FOR
WALLER CONSTRUCTION, INC.
 527 WEST PARK STREET
 LAKELAND, FLORIDA 33803

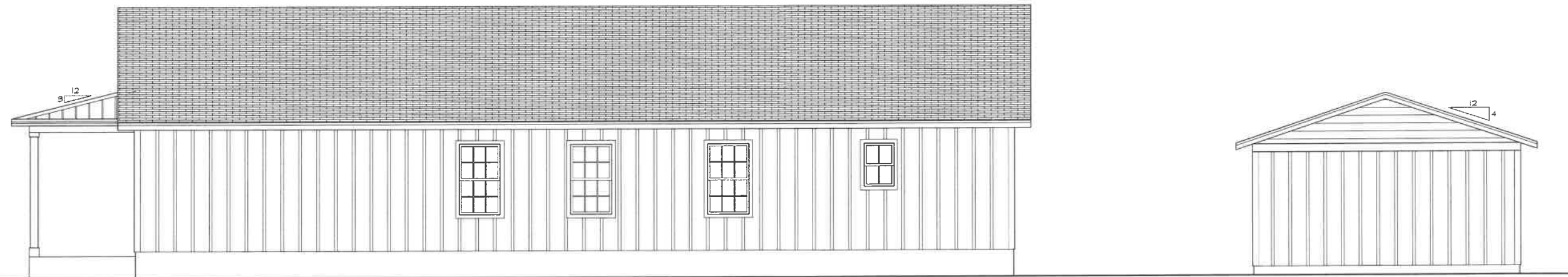
DATE: 8/17/23
 REVISED:
 DRAWN BY: LAP
 CHECKED BY:
 FILE: PS-2

SHEET NUMBER

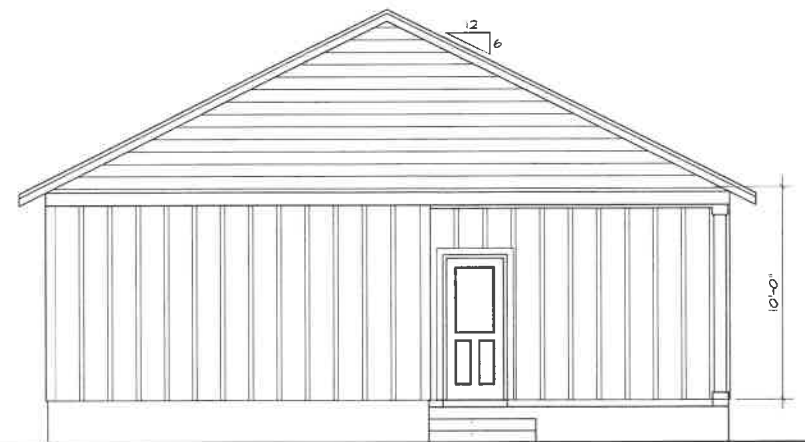
2
 OF 3 SHEETS



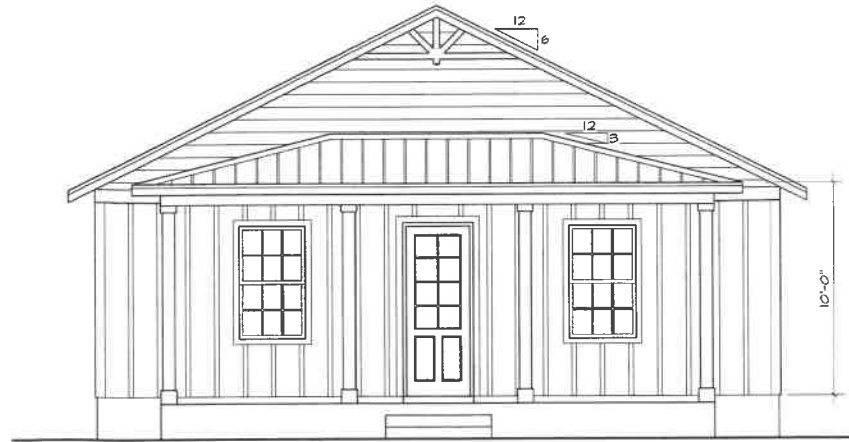
LEFT (WEST) ELEVATION
 SCALE: 1/4" = 1'-0"



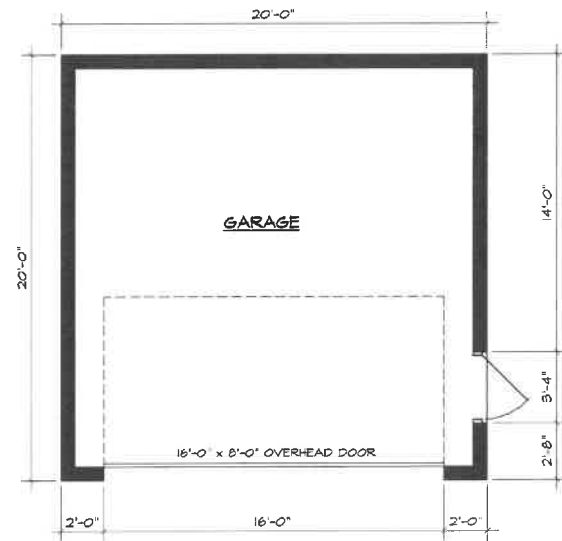
RIGHT SIDE (EAST) ELEVATION
 SCALE: 1/4" = 1'-0"



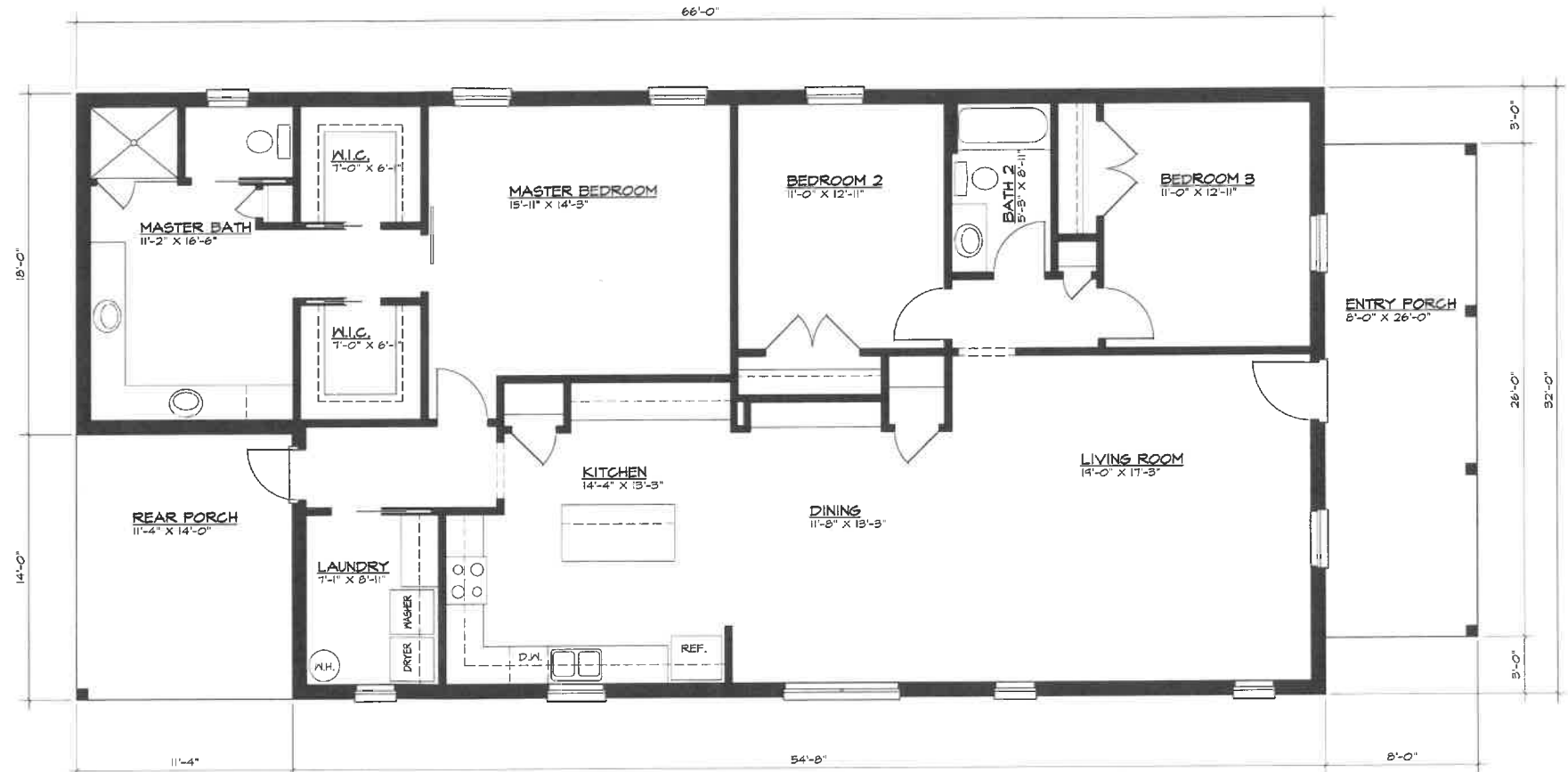
REAR (NORTH) ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT (SOUTH) ELEVATION
 SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA IN SQUARE FEET	
CONDITIONED AREA	1953
FRONT PORCH	208
REAR PORCH	158
GARAGE	400
TOTAL UNDER ROOF	2720

WALLER
RESIDENTIAL • COMMERCIAL • RESTORATION
1065 SOUTH FLORIDA AVENUE
LAKELAND, FLORIDA 33803
PHONE: 863-488-9870

PRELIMINARY
NOT FOR CONSTRUCTION

NEW SPECULATION HOUSE FOR
WALLER CONSTRUCTION, INC.
527 WEST PARK STREET
LAKELAND, FLORIDA 33803

DATE: 8/17/23
REVISED: 8/18/23
DRAWN BY: LAP
CHECKED BY:
FILE: PS-1

SHEET NUMBER

1

OF 3 SHEETS



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
September 28, 2023**

Project #	HPB23-172
Project Type	New Construction of a Single-Family House
Property Address; Historic Name	317 E. Belmar Street N/A
Historic District; FMSF#	South Lake Morton Historic District; N/A
Owner/Applicant	AA 86 Homes LLC / Ben Becton
Zoning; Context District; Future Land Use; SPI	RA-4; Urban Neighborhood; Residential Medium; South Lake Morton SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	N/A

REQUEST

The Applicant requests approval to build a one-story, single-family house with an attached garage on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property an interior lot of record (South Lakeland Addition, Block B, Lot 17) and consists of 0.16 acres (50 feet wide by 135.58 feet deep); this lot is currently vacant and has alley access at the rear of the property.

The Applicant requests to build a one-story, single-family house consisting of approximately 2,042 square feet of living area. The home will feature a neo-traditional aesthetic reflecting elements of the Bungalow and Frame Vernacular architectural styles, such as a gabled front porch supported by tapered columns on brick plinths, windows with a one-over-one lite configuration, and a front entry consisting of a Craftsman style quarter-lite door. An attached garage is proposed at the rear elevation of the house, which will be accessed from the alley, and an integrated rear porch will be located on the south elevation of the house.

Materials proposed for the new house include:

Scope	Material
Foundation	Concrete stem wall foundation raised at least 21 inches above grade; painted block foundation on side and rear elevations
Exterior Cladding	Hardie lap siding; Hardie board-and-batten siding in the porch gable
Trim/Casing	Hardie trim and casing
Windows	Vinyl single-hung sash windows
Doors	Fiberglass or steel quarter lite front door and full-lite doors in rear porch; steel garage door
Roof	Asphalt architectural shingles on 5/12 pitch roof; decorative triangular gable vent in front gable (material TBD)
Fascia/Soffit	Material TBD
Porch	Materials TBD

Exterior Paint Colors	TBD
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The site plan proposed for the proposed new construction shows orientation of the home's front façade towards East Belmar Street. The proposed building setbacks and front porch depth meet the Land Development Code's Urban Neighborhood Standards.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.6: New Residential/Infill Construction.

- The scale and massing of the new building, including its fenestration, roof height and shape, and elevation should be consistent with surrounding contributing buildings.
- Building Form – the front façade of buildings should be closely aligned with other buildings on the block to maintain a uniform setback; consistent spacing of buildings maintains rhythm of historic neighborhood development pattern; the height-to-width ratio of street facing façade should be compatible with adjacent buildings.
- Orientation of new buildings should be toward the primary road and building setbacks should reflect traditional siting dimensions.
- Materials should respect adjacent historic buildings.
- Details and ornamentation should reflect those of surrounding buildings.
- Window material, style, size, and trim should be consistent with historic windows and include dimensional mullions and exterior muntins, if applicable.
- Doors should be of an appropriate design reflective of the architectural style of the building.
- Roof design and details should reflect those of surrounding buildings
- Colors should complement surrounding buildings.

ANALYSIS:

Adjacent to the subject property along East Belmar Street exist several one-story houses that exhibit the Mediterranean Revival, Bungalow, and Frame Vernacular styles. Staff finds that the proposed new house is compatible in massing and scale to contributing Bungalow houses found throughout the South Lake Morton Historic District. The scale and proportion of the architectural elements of the house, including roof pitch and floor-to-ceiling heights, is also compatible with historic structures. At 36 feet, 8 inches wide, this house is slightly wider than the maximum width of 34 feet staff typically recommends for new residential construction on a 50-

feet lot. However, given the front porch depth at 9 feet and the front yard setback of 17 feet, 7 inches; the dimensions of the home will not adversely affect the historic development pattern established along East Belmar Street.

Staff finds that the proposed materials are consistent with residences in the surrounding neighborhood and the Design Guidelines. The design of the house displays a neo-traditional style that is compatible with the architectural character of the District. Features such as the front-gabled porch supported by tapered columns on brick plinths, lap siding with board-and batten siding in gable, windows with a one-over-one lite configuration and a quarter-lite front door are consistent with historical architectural styles found in the neighborhood, as well as the Design Guidelines.

Finally, the proposed placement of the house on the lot is consistent with the Design Guidelines and Urban Neighborhood Standards in terms of orientation, building setbacks, and porch depth. The front yard building setback, at 17 feet, 7 inches, is compatible with the houses on either side of the subject property; 311 E. Belmar Street to the west of the subject property is setback approximately 14 feet from the property line and 319 E. Belmar Street to the east of the subject property is setback approximately 15 feet from the property line.

STAFF RECOMMENDATION:

Final approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Windows shall comply with the following requirements:
 - a. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface.
 - b. Windows also must include historically appropriate trim, including header, sill, and apron.
2. Submittal of materials list for fascia, soffit, front porch floor, steps, and columns.
3. Submittal of an exterior paint palette.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



FRONT OF LOT



BACK OF LOT



LEFT OF LOT #1



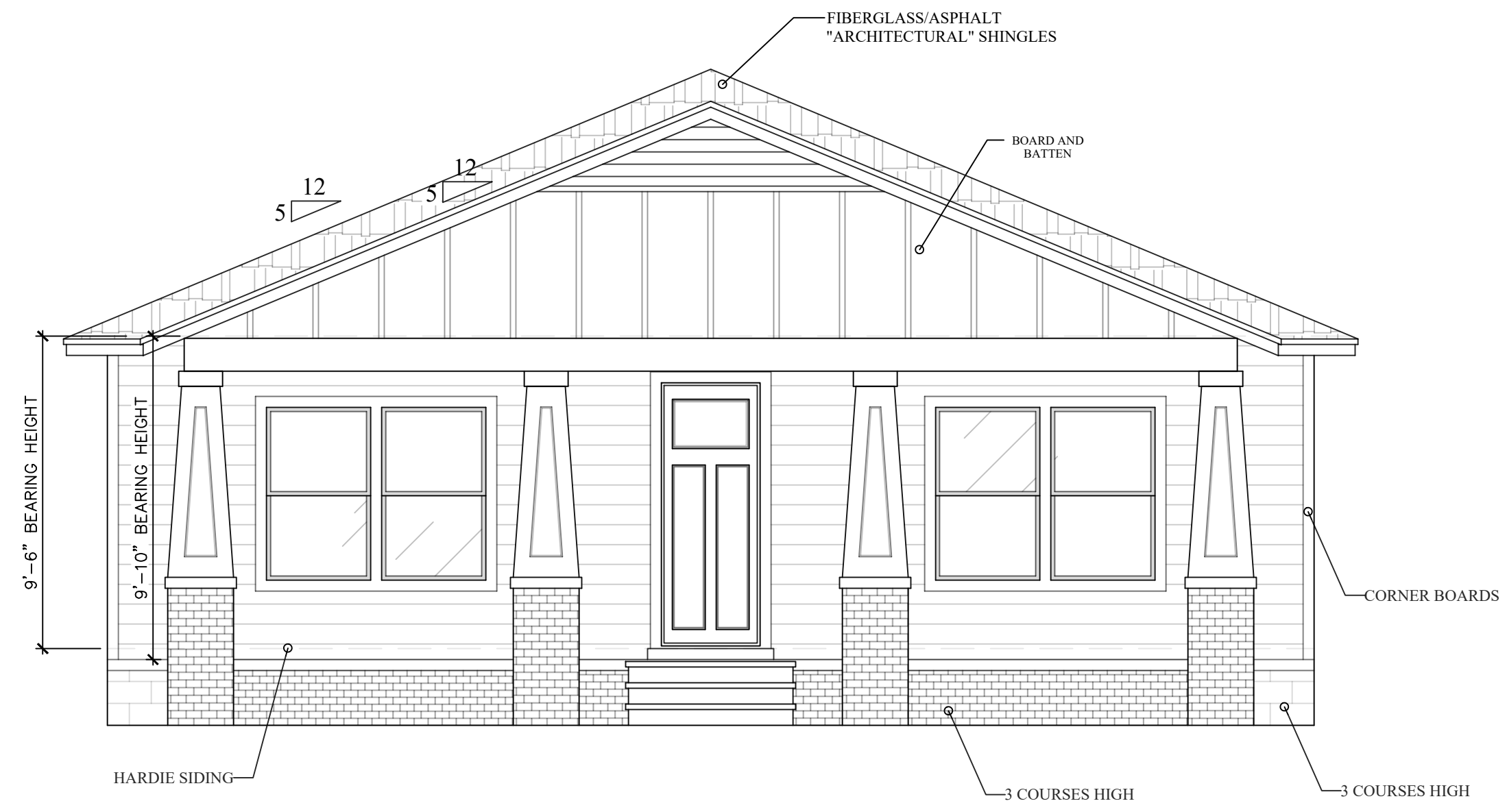
LEFT OF LOT #2



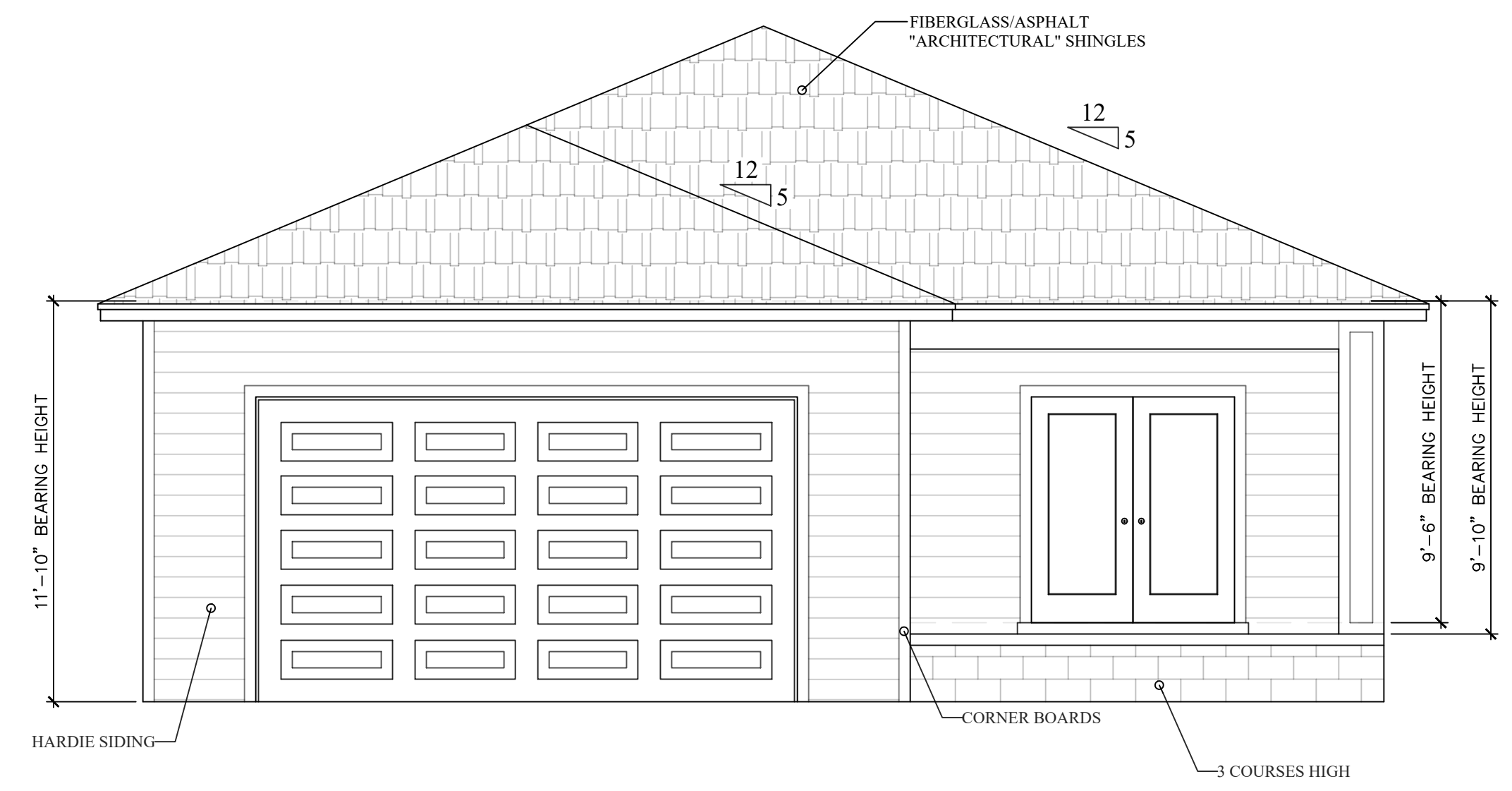
RIGHT OF LOT #1



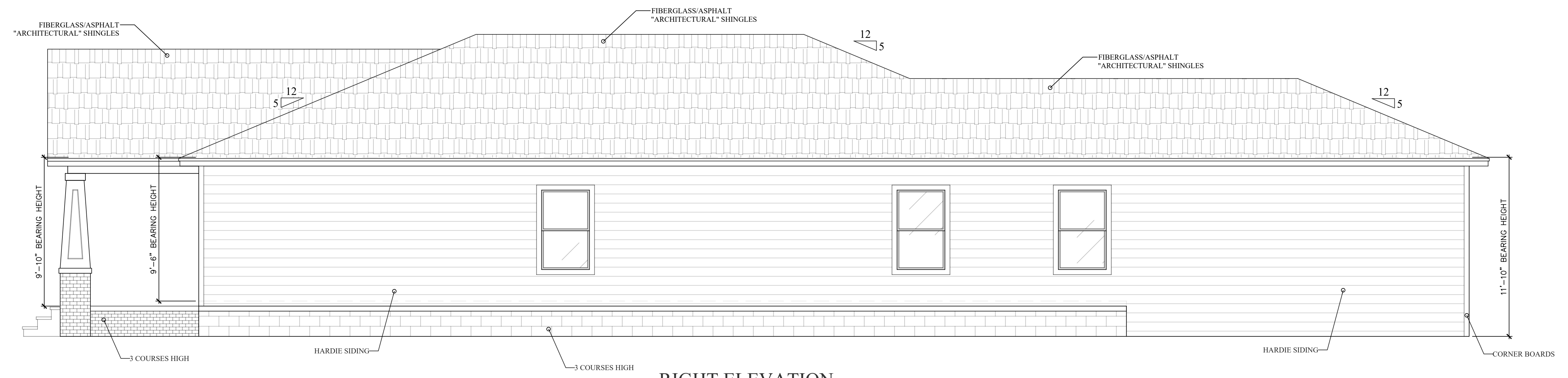
RIGHT OF LOT #2



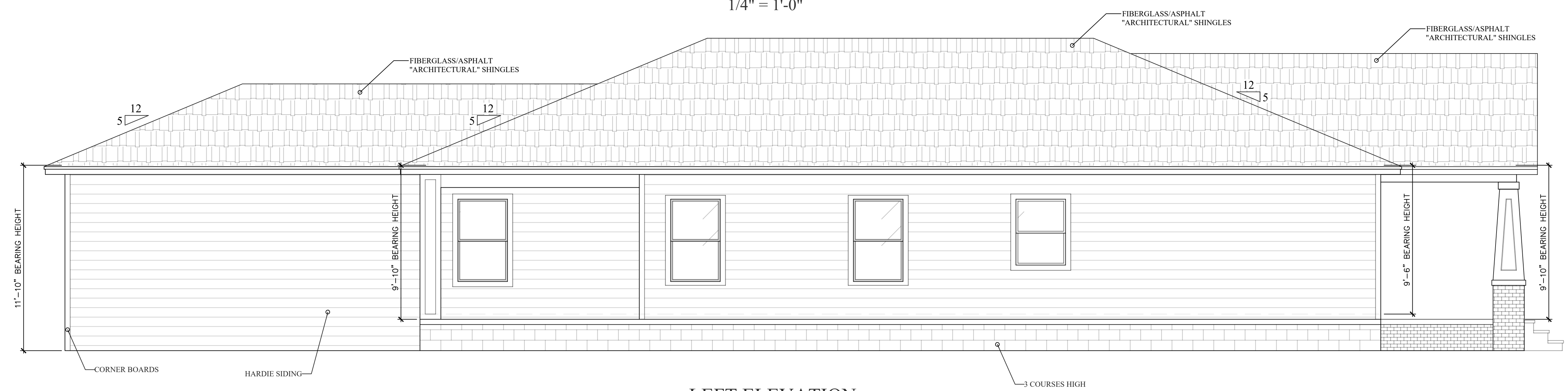
FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

REVISIONS #	DISCRIPTION	DATE

ENGINEER OF RECORD:	CONTRACTOR:
4-D ENGINEERING LLC	
1074 SOUTH FL. AVE SUITE 201	
LAKELAND, FL 33803	
PHONE: (865) 308-6625	
FL CERTIFICATE OF AUTHORIZATION # 31557	
CAREY L. WILKINSON, P.E. - FL # 80472	

PROJECT:	BELMAR HOUSE
DATE:	09-13-2023
JOB #	
SCALE:	AS NOTED
SHEET	3



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
September 28, 2023**

Project #	HPB21-243
Project Type	Amendment to Previously Approved Certificate of Review; New Construction of a Single-Family House
Property Address	128 W. Patterson Street
Historic District; FMSF#	Dixieland Historic District; N/A
Owner/Applicant	KMH Holdings of Lakeland LLC
Design Professional	Hulbert Homes, Inc. / Ms. Megan Ray
Zoning; Context District; Future Land Use; SPI	RA-4; Urban Neighborhood; Residential Medium; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	New Single-Family House (HPB21-243), 12/16/2021

REQUEST

The Applicant requests approval to remove the condition of approval on Certificate of Review HPB21-243 requiring exterior-mounted muntins (grid) on windows with a simulated divided lite appearance.

SUMMARY OF BACKGROUND INFORMATION

The subject property an interior lot of record (Dixieland Subdivision, Block C, Lot 7) and consists of 0.15 acres.

The Applicant received approval with conditions by the Design Review Committee in December 2021 to build a two-story, single-family house consisting of 2,432 square feet of living space. The design of the house features a neo-traditional aesthetic reflecting Bungalow stylistic elements, such as a gable-front roof and front porch supported by tapered columns on brick plinths, lapped siding and corner boards with shingle siding in gables, and windows with a three-over-one and two-over-one lite configuration.

Construction of this house has recently been completed, and the completed design is mostly consistent with Certificate of Review and its stated conditions. However, the condition requiring exterior-mounted muntins on the windows has not been met, and therefore, staff disapproved the Historic Final inspection on Building Permit BLD22-01273. The Applicant has stated that exterior window muntins were not an option with their window supplier because of supply chain issues at the time of ordering the windows for this house, and are not available now. As a result, the Applicant requests that this condition be waived and removed from Certificate of Review HPB21-243 so that the Historical Final inspection can be approved and the building permit finalized.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's Design Guidelines for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Design Guidelines* apply to this project:
Chapter 4: Historical Development Patterns and New Construction
Sub-Chapter 4.6: New Residential/Infill Construction.

- The scale and massing of the new building, including its fenestration, roof height and shape, and elevation should be consistent with surrounding contributing buildings.
- Building Form – the front façade of buildings should be closely aligned with other buildings on the block to maintain a uniform setback; consistent spacing of buildings maintains rhythm of historic neighborhood development pattern; the height-to-width ratio of street facing façade should be compatible with adjacent buildings.
- Orientation of new buildings should be toward the primary road and building setbacks should reflect traditional siting dimensions.
- Materials should respect adjacent historic buildings.
- Details and ornamentation should reflect those of surrounding buildings.
- Window material, style, size, and trim should be consistent with historic windows and include dimensional mullions and **exterior muntins**, if applicable.
- Doors should be of an appropriate design reflective of the architectural style of the building.
- Roof design and details should reflect those of surrounding buildings
- Colors should complement surrounding buildings.

ANALYSIS:

Staff finds that the requirement for exterior window muntins for simulated divided lite windows in new construction has existed since 2006. This requirement has been communicated repeatedly to applicants and has been successfully implemented in several new construction projects within the City's Historic Districts. This requirement was a condition of approval for this project as well.

Upon receipt of the Certificate of Review in December 2021, the Applicant confirmed with staff via email that all conditions of approval would be followed. In November 2022, while the house was under construction, staff communicated to the Applicant via email exterior muntins were required for all windows with a simulated divided lite appearance, and again when approving the Historic Rough inspection in August 2023. Comments provided with the Historic Rough inspection stated the Historic Final inspection would not be approved until exterior muntins were applied to the windows.

STAFF RECOMMENDATION:

As the request is inconsistent with the Design Guidelines, staff recommends denial of the request.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



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