



AGENDA
HISTORIC PRESERVATION BOARD
City Commission Chambers
May 25, 2023 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Jenny Sykes, no later than 48 hours prior to the proceeding, at **(863) 834-8444**, Email: **Jennifer.Sykes@lakelandgov.net**. If hearing impaired, please contact the TDD numbers: Local - **(863) 834-8333** or **1-800-955-8771** (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number **1-800-955-8770 (VOICE)**, for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the April 27, 2023 Historic Preservation Board meeting minutes.
- III. Old Business:
 - A. REMINDER: Lakeland Historic District Resurvey Project, Phase 1 Results and Recommendations workshop to be held immediately following the June 22, 2023 Historic Preservation Board and Design Review Committee meetings (City Commission Chamber).
- IV. New Business:
 - A. Recognition of May as Historic Preservation Month
 - B. Historic Preservation Board Annual Review has been postponed to June 22, 2023 Historic Preservation Meeting.
- V. Adjourn for Design Review Committee.

MINUTES

HISTORIC PRESERVATION BOARD
City Commission Chambers
Thursday, April 27, 2023
8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Bruce Anderson, Lynn Dennis, Landis Fleming, Michael Porter, Natalie Oldenkamp, Chris Olson, MeLynda Rinker and Britney Wilson were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Chair Chris Olson called the April 27, 2023 meeting of the Historic Preservation Board (“Board”) to order at 8:30 a.m. A quorum was reached, as eight Board members were present.

II. Review and Approval of Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the March 23, 2023 meeting minutes as presented. Mr. Landis Fleming seconded the motion. The motion passed 6—0.

III. Old Business:

A. Lakeland Historic Districts Resurvey Phase 1: Final Report and Recommendations for East and South Lake Morton Historic Districts Resurvey. Staff proposes a separate workshop in June for HPB members to discuss report recommendations in depth, following public outreach to the Lake Morton Neighborhood Association and Historic Lakeland, Inc. Ms. Foster stated that an executive summary was included in the agenda packet. There will be further discussion at the workshop scheduled for June 22nd after the Historic Preservation Board meeting.

IV. New Business:

- A. Welcome new Board Member Britney Wilson. Staff and the Board welcomed Ms. Wilson.
- B. Slate of preliminary Nominees for 2023 Historic Preservation Awards. Awards presentation will be May 22, 2023 at the historic Polk Theatre. Final slate of Nominees to be emailed to HPB after the April 30, 2023 nomination deadline.
- C. REMINDER: May 25, 2023 HPB/DRC Meetings will take place in the Lakeland Electric Building, Conference Rooms 1A & 1B on the first floor.
- D. Request from Historic Lakeland, Inc. Board of Directors seeking feedback from HPB on procedures for communicating ‘Watch List’ properties in order to better protect historic structures. Ms. Foster referred to a letter from Historic Lakeland, Inc. President Ann

Hilliard that was included in the agenda packet for discussion. Discussion ensued. Chair Olson provided a map showing areas of Lakeland that contained the potential for historic buildings for a preliminary look at prioritizing areas for future study. This topic will be discussed further during the Historic Preservation Board's Annual Review to be held in May.

- V. Adjourn for Design Review Committee.**
The meeting adjourned at 8:59 a.m.

Chair, Historic Preservation Board

Senior Planner, Historic Preservation



AGENDA
DESIGN REVIEW COMMITTEE
May 25, 2023

immediately following the Historic Preservation Board Meeting

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Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the April 27, 2023 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
 - A. Oath Administration for Public Testimony by Assistant City Attorney.
 - B. [HPB23-092 – 538 Hunter Street](#) – Final Approval requested for the construction of a gabled overhang onto the front porch of the house on the subject property. Owner/Applicant: Ms. Kate Shaw.
 - C. [HPB23-093 – 345 Cannon Street](#) – Final Approval requested for the construction of a building addition onto the rear elevation of the house on the subject property. Owner: Collin and Kelsey Thomas. Applicant: Derek Morton, Morton Builders Inc.
 - D. [HPB23-096 – 221 E. Main Street](#) – Final Approval requested for the installation of new exterior signage on the Deen-Bryant Building located on the subject property. Owner: Crews Banking Corporation. Applicant: SignCorp Inc.
 - E. [HPB23-098 – 1518 S. Dakota Avenue](#) – Final Approval requested for the construction of a building addition onto the rear elevation of the house on the subject property. OwnerApplicant: Marc and Laura Serio.
- V. Other Business: NONE
- VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE
City Commission Chambers

Thursday, April 27, 2023

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee met in Regular Session; Lynn Dennis, Landis Fleming, Natalie Oldenkamp, Chris Olson, Michael Porter and MeLynda Rinker were present. Historic Preservation Board members Bruce Anderson and Britney Wilson were also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair MeLynda Rinker at 8:59 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the March 23, 2023 meeting minutes. Mr. Chris Olson seconded the motion. The motion passed 6—0.

III. Review of Certificates of Review administratively approved.

A list of twenty-one (21) administratively approved Certificate of Review projects covering the period 3/16/23-4/13/23 was included with the agenda packet. There were no additional questions or comments about these projects.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Assistant City Attorney Alex Landback.

B. HPB23-066 – 601 E. Main Street – Final Approval requested for the installation of a detached garage on the subject property. Owner/Applicant: Ms. Lynn McCoy.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of an interior lot of record with a total area of 0.17 acres. On the subject property is a one-story Bungalow house built circa 1925, which is a non-contributing building in the South Lake Morton Historic District. The Applicant requests to build a new accessory structure for use as a detached garage. The size of the garage is proposed to be 16 feet by 25 feet (400 square feet) with a mean height of 12.42 feet, and will be located in the rear yard, in the southwest corner of the subject property. The structure will be a pre-manufactured structure with a 2:12 pitch gable roof with dimensional shingles, as well as LP SmartSide vertical siding. The garage will also feature a vinyl window, a metal garage door, and a metal 9-lite entry door. The site plan submitted with the Application shows accessory building setback dimensions meet the Land Development Code's Urban Form Standards.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, Staff finds that the proposed detached garage does not disturb the spatial relationships of the principal house, and its setting and integrity is maintained. New but similar materials will be used on the garage, which will be complementary in nature to the design of the house. In evaluating the request with the Design Guidelines, staff finds the materials of the

proposed detached garage are consistent with the Design Guidelines. Staff finds the style of the garage to be simple and compatible in design and subordinate to the subject house, as well as placed appropriately at the rear of the subject property. Finally, the setbacks of the detached garage meet the requirements of the Land Development Code for accessory structures. Ms. Foster stated staff recommends final approval of the request as submitted.

Chair Rinker asked if the Applicant had any additional comments or questions. Ms. Lynn McCoy was present in support of the request.

There were no public comments.

MOTION: Final approval of the request as submitted. (L. Dennis/N. Oldenkamp, 6—0)

- C. HPB23-076 – 957 Cumberland Street** – Final Approval requested for the new construction of a two-story multi-family building on the subject property. Owner: Mr. Andrew Ericson. Applicant: Mr. Everett Atwell, Manager, Tiggertink, LLC.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is located in the South Lake Morton Historic District and consists of two platted lots of record with a total area of 0.30 acres, which are vacant. These lots are currently combined with three lots immediately adjacent to the east of the subject property; the Applicant intends to legally split the subject property from the combined parcel. The property is zoned for multi-family use, at 12 dwelling units per acre. The request proposes to construct a new two-story building containing four separate townhouse (single-family attached) units. The units vary in living area size from 1,666 square feet to 1,782 square feet. Aesthetically, the building will feature a neo-traditional style reflecting Craftsman architectural elements, including a hipped and gabled roofline, exposed rafter tails, decorative knee brackets, porches supported by pairs of tapered columns, windows with simulated divided lite upper sashes, and glazed front doors with transoms. Each unit will have a different exterior paint color palette, and similar but varied architectural features. Additionally, each unit will have an elevated back porch and small fenced backyard area. Ms. Foster stated materials for the proposed building will consist of:

- Concrete stem wall foundation with a painted, sand finish cementitious coating.
- Painted fiber cement lap siding with a 4" reveal, with fiber cement staggered shingle siding in the gables
- Painted fiber cement trim and painted fiber cement mullions
- White vinyl single-hung sash and fixed windows
- Glazed painted smooth vinyl doors
- Brick veneer porch foundation and column bases; concrete floor; painted fiber cement columns; 40" high painted wood railings; and cast-in-place concrete steps.
- Dimensional asphalt shingles; painted wood rafter tails; painted wood knee brackets
- Painted wood fascia; painted beadboard fiber cement panel on exposed eave.
- The exterior paint colors will vary by unit and were listed on the presentation slide.

Ms. Foster stated the site plan for the proposed project includes a varied front setback of approximately 13 feet from the property line, with interior side and rear setbacks that meet the City's Land Development Code requirements. Eight paved parking spaces are provided at the rear of the subject property, accessible from a 12 feet wide driveway connecting to Cumberland Street on the east side of the property. An enclosure for garbage and recycling bins is also proposed at the rear of the property. The request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Ms Foster stated staff finds that the proposed townhouse building meets the Standards and Design Guidelines in terms of scale, massing, orientation, setbacks, fenestration size and alignment,

materials, and compatible neo-traditional design. The proposed building's recesses and projections, cohesive mix of architectural features, and varied rooflines due to the topography of the site help soften the massing of the building and avoid a monolithic appearance. Each unit's front façade and primary door faces Cumberland Street with an appropriate front porch. Each unit is also articulated by traditional architectural features and different but complementary exterior paint palettes. The architectural ornamentation and details of the building are a contemporary interpretation of the Craftsman Bungalow architectural style widely found within the South Lake Morton Historic District and compatible with the historic buildings immediately adjacent to the subject property. The overall height of the building is also consistent with the Design Guidelines and compatible with adjacent buildings. Finally, the building setbacks and height, as well as the location of the parking area behind the building, are compatible with adjacent structures and are appropriate and consistent with the Design Guidelines. Ms. Foster stated staff recommends Final Approval of the request as submitted.

Chair Rinker asked if the Applicant had any additional comments or questions. Ms. Brooklynne Muscatello was present in support of the request.

Discussion ensued.

There were no public comments.

MOTION: Final approval of the request as submitted. (L. Fleming/ L. Dennis, 6—0)

- D. HPB23-077 – 716 Mississippi Avenue** – Final Approval requested for the demolition of the house on the subject property and the construction of a new single-family house. Owner/Applicant: Wes and Michelle Graham.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot of record consisting of 0.19 acres. This property contains a one-story, single-family residence built circa 1925 in the Frame Vernacular architectural style, which is a contributing building in the South Lake Morton Historic District. The Frame Vernacular styling of this house is expressed by its gabled roof, rectangular plan, double-hung sash wood windows with a one-over-one lite configuration, and weatherboard siding. Alterations include modifications to the front porch, and small rear additions. Historically, the subject property was combined with the adjacent property to its south, 718 Mississippi Avenue. In 2010, the subject property was split from 718 Mississippi Avenue. In 2016, the accessory building at the rear of 716 Mississippi Avenue was re-combined with 718 Mississippi Avenue, as this accessory building was built on the shared property line and encroaches into both properties. The Applicants purchased the subject property in 2017. In December 2022, approval was obtained for major renovations to the subject house, which included partial demolition and front addition. Since this time, the Applicants and their design professional/general contractor have been working to finalize the construction and engineering plans for the project. Based on new information discovered about the house, as well as the advice from three separate contractors, a local builder, and the City's Building Inspection Division, the Applicants now request a full demolition of the subject house for the following reasons:

- The condition of the house, which has water and termite damage, wood rot, and foundation pier deterioration, makes the reuse of existing walls difficult. This was especially concerning to Building Inspection, which questioned whether it would be feasible to marry the old wall sections and foundation, with the new. In fact, the south wall is literally resting in the dirt.

- The complexity of a partial demolition versus a full demolition will result in additional time, risk, and cost, with only minimal value to the project in keeping a small portion of the structure's historic fabric.
- The walls that were originally planned to remain make up only a small portion of the entire structure. All other exterior walls, interior walls, flooring, windows, foundation, plumbing, electrical, mechanical and the entire roof structure have already been approved to be replaced.

The Applicants are committed to maintaining the architectural style and character of this house through the previously approved design. If demolition is granted approval, the Applicants propose to construct a new house with the same design, materials and site plan as approved in December 2022. The house features a cross-gabled roof with a gabled front porch supported by paired square columns on plinths and a knee wall. The left (north) side elevation will have a gabled, projecting bay, similar to that on the historical structure. The rear elevation will have an integrated back porch. Materials for the addition include:

- Concrete slab with elevation appropriate to the design previously presented and approved. Splayed foundation walls at front of structure with lapped Hardie siding; painted concrete foundation at front porch.
- Hardie lap siding; window trim to match existing.
- Vinyl windows with a one-over-one lite configuration.
- Front door will be fiberglass with a Craftsman quarter-lite appearance.
- Asphalt or fiberglass shingles; 6/12 pitch
- Hardie fascia; vinyl soffit
- Hardie wrapped columns, brick finish on column plinths and knee wall

Ms. Foster stated that the request was evaluated using Article 11 of the Land Development Code, Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Regarding the considerations for demolition, the subject building is considered a contributing building in the South Lake Morton Historic District as it represents the Frame Vernacular architectural style, was built during the District's period of significance, and for its association with the Florida Land Boom historic context in Lakeland. The architectural details of this house are relatively simple and common; several similar examples exist in the East and South Lake Morton Historic Districts, as well as the Dixieland Historic District. Aside from its historical link to the Florida Land Boom, which many homes constructed between 1919 and 1929 share, the house has no known associations with persons or events of importance in Lakeland's history. While the building retains architectural integrity, the project as previously approved in December 2022 would remove much of the original historic fabric of this house. Staff finds that this building would not be eligible for an individual listing on the National Register of Historic Places based on its architectural or historical merits. While the Historic Preservation Standards (LDC, Article 11) are silent on financial and economic reasons for rehabilitating or demolishing a historic building, the Committee has considered these reasons as additional facts for informing their decision in the past. The Applicants' assessment suggests a building that has been compromised by deferred maintenance that would preclude a reasonable effort and expense to repair. Additionally, the Applicant has demonstrated good faith in exploring practical solutions for reusing the existing house and is committed to rebuilding a compatibly designed house. Staff finds that the future utilization of the site proposes a new single-family house is appropriate and continues the historic use of this property. As previously approved, staff finds the neo-traditional style and design of the proposed new house to be compatible with the contributing houses adjacent to the subject property and will not adversely affect the architectural integrity of the neighborhood or Historic District. Architectural details such as the paired square columns and plinths, gabled front porch, splayed foundation walls, and lapped siding convey the Frame Vernacular style and are consistent with the Design Guidelines. Staff also finds that the proposed building's scale and

massing, as well as materials, are consistent with residences in the Lake Morton neighborhood and the Design Guidelines. Finally, the proposed placement of the house on the lot is consistent with the Design Guidelines and Urban Form Standards in terms of orientation, building setbacks, foundation height, and porch depth.

Ms. Foster stated staff recommends Final Approval of the request with the following conditions:

1. New siding must match the exposure dimension of the original siding. All trim and casing should be similar to that of the historic structure and include corner boards and frieze boards.
2. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface. Windows also must include historically appropriate trim, including header, sill, and apron.
3. Ensure that the front porch columns are properly aligned with the entablature beam, and that a frieze board of appropriate width covers the entablature beam.
4. Front door must feature full-lite, half-lite, or quarter-lite glazing.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Wes Graham was present in support of the request.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff. (L. Dennis/L. Fleming, 6—0)

V. Other Business: NONE

VI. Adjournment: There being no further business, the meeting was adjourned at 9:40 a.m.

Chair, Design Review Committee

Senior Planner, Historic Preservation

**Certificates of Review Administratively Approved
Between 4/14/2023 and 5/10/2023**

1. 315 HUNTER ST (Contributing Building) - Remove front porch enclosure and windows to restore porch to "open" state. Install new concrete footer and wood picket handrail. Subject to the following conditions: (HPB23-029)

2. 1307 S NEW YORK AV (Contributing Building) - Replacing shingle roof with UNION CORRUGATING COMPANY 29 ga., 24" wide 5V crimp flat panel metal roofing (FL#: FL7271.3). Subject to the following conditions: (HPB23-082)

3. 953 MISSISSIPPI AV (Contributing Building) - Installation of 35 linear feet of 4 ft. tall black aluminum fence and 5 ft. walk gate on the north side of the subject property. Subject to the following conditions: (HPB23-083)

4. 601 E CHARLES ST (Contributing Building) - Replacing 3 existing metal double-hung sash windows (non-historic windows) with 3 AMI model 0601 Extruded Vinyl Double Hung Window (FL#11720.4).
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-084)

5. 1812 COMANCHE TR (Non-Contributing Building) - Installation of 82 linear feet of 6 ft. tall white vinyl privacy fence along the interior north side property line. Due to a mature hedge and location of oak trees along this side of the property, the vinyl fence will not be highly visible from the street and is permitted for this reason only. Subject to the following conditions: (HPB23-085)

**Certificates of Review Administratively Approved
Between 4/14/2023 and 5/10/2023**

6. 715 PARK HILL AV (Contributing Building) - Installation of 218 linear feet of 6 ft. tall wood privacy fence at side and rear of subject property, and 38 linear feet of 6 ft. tall white PVC fence at rear of property, joining to existing 6 ft. tall PVC fence. Subject to the following conditions: (HPB23-087)
7. 721 COLLEGE AV (Contributing Building) - Replacement of four double-hung windows with a one-over-one lite configuration (2 on rear, 2 on side of house) with Renewal by Andersen double-hung windows with a one-over-one lite configuration (FL#27970.1). Subject to the following conditions: CONDITIONS:
1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
 2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
 3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS "SANDWICHED" BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
 4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-088)

8. 609 W BELMAR ST (Contributing Building) - Replace rear porch decking with wood 2" X 6" planks. Install aluminum pan roof over rear porch with aluminum supports and screening to provide an enclosure. Subject to the following conditions: (HPB23-089)

**Certificates of Review Administratively Approved
Between 4/14/2023 and 5/10/2023**

9. 715 PARK HILL AV (Contributing Building) - Replace 7 metal awning windows at rear of home with 6 ViWinTech SL 2150 Single Hung PVC windows (FL#17134.2 and FL#17134.5). One window opening on rear elevation will be converted to a door opening and a new fiberglass double unit full lite door will be installed. Subject to the following conditions:
1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
 2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
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WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-090)

**Certificates of Review Administratively Approved
Between 4/14/2023 and 5/10/2023**

10. 127 E PATTERSON ST (Contributing Building) - Replace all non-historic apartment windows and doors with Silver Line Building Products Corp. single hung windows (FL#14911) and Masonite International wood-edge steel side-hinged doors (FL#22513.6).
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
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11. 206 W HANCOCK ST (Non-Contributing Building) - Installation of 78 linear feet of 6 feet tall tan PVC privacy fence along east and west sides of property (total of 156 linear feet).
Subject to the following conditions: (HPB23-094)
12. 127 LAKE MORTON DR (Non-Contributing Building) - Construction of an in-ground swimming pool in the rear yard of the subject property.
Subject to the following conditions: (HPB23-095)
13. 1303 S LINCOLN AV (Non-Contributing Building) - Existing shingle roof to be replaced by a flat panel standing seam metal roof (FL#33818-R2) as verified by Contractor.
Subject to the following conditions: (HPB23-097)



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 25, 2023**

Project #	HPB23-092
Owner/Applicant	Ms. Kate Shaw
Address; Historic Name	538 Hunter Street; N/A
Requested Action	Minor Exterior Alteration
Historic District; FMSF#	Dixieland Historic District; N/A
Future Land Use; Zoning; Context District	Residential Medium; RA-4; Urban Neighborhood; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	N/A

REQUEST

The Applicant requests approval to build a new gabled overhang supported by columns at the entrance to the screened-in front porch on the front elevation of the house at this address.

SUMMARY OF BACKGROUND INFORMATION

The subject property consists of two platted lots (Dixieland subdivision Block CC, Lots 9 and 10) with a total area of 0.33 acres, which contains a two-story, frame vernacular house built circa 1925, which is a non-contributing building in the Dixieland Historic District. The house features a gabled roof with a shed-roofed front porch, which has been screened in. Although the construction date of this house makes it eligible for historic designation, several alterations, including replacement siding and windows, likely resulted in its status as a non-contributing building.

The request proposes to add a small gable overhang to the shed roofed front porch that will extend approximately 5 feet from the porch to provide protection from rain when entering the porch. Materials for the proposed stoop will consist of open wood framing in the gable, 6-inch square columns matching the front porch, roofing shingles to match the roof of the house, and concrete footers under the columns. The existing concrete stairs will remain. The Applicant notes that a purely cosmetic gable sat on the porch roof when the home was purchased 43 years ago, but was removed.

The site plan submitted by the Applicant shows building setbacks for the proposed overhang that comply with the City’s Land Development Code, Urban Form Standards.

APPLICABLE GUIDELINES:

The *Secretary of Interior’s Standards for Rehabilitation* (“Standards”) and the City of Lakeland’s *Design Guidelines for Historic Properties* (“Design Guidelines”) are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the

old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure architecturally important details and materials of the primary structure or other resources on the site. Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of construction while respecting the historic context and architectural style of the original structure. Avoid using architectural details for additions that are more ornate than those found on the original structure or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction.
- Additions that minimize the loss of any architectural details or features.
- Additions that are subordinate to and compatible with the style and scale of the host structure.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street.
- Additions that are designed with some distinction between the historic house and non-historic features.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece.

ANALYSIS:

The Dixieland Historic District exhibits a variety of architectural styles, including Craftsman Bungalow, Mediterranean Revival, Minimal Traditional, and Frame and Masonry Vernacular. Entrance features for houses in this area are guided typically by the style and size of a house, and both minimal stoops and modest porches exist.

While additions to the front of a contributing house are typically not recommended by the Design Guidelines, given non-contributing status of the subject house, the small footprint and simple design of the proposed overhang, compatible materials, as well as reversibility of this alteration without damaging historic building material, staff finds the proposed overhang to meet the intent of the Standards and Design Guidelines. Further justification is the previous existence of a gable feature on the shed roof of the front porch.

The design submitted by the Applicant is conceptual and does not provide construction details; however, because this is a minor exterior alteration to a non-contributing house, staff is comfortable recommending approval of this request as an additional staff-level historical review will be required at the time of building permit application.

STAFF RECOMMENDATION:

Final approval of the request.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

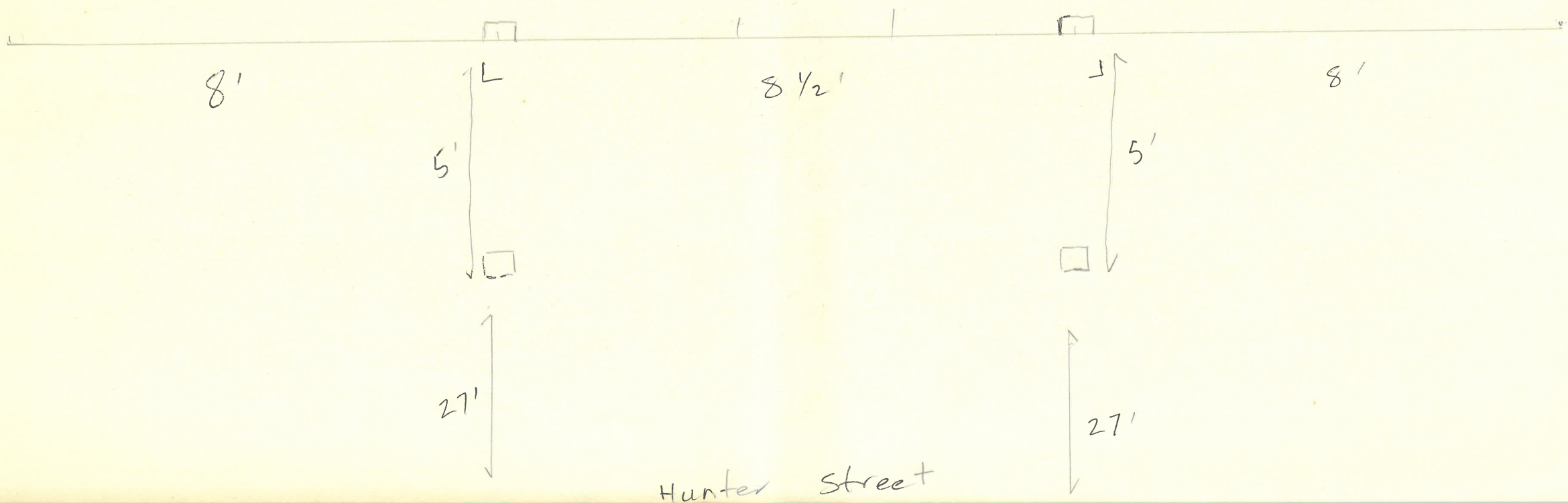


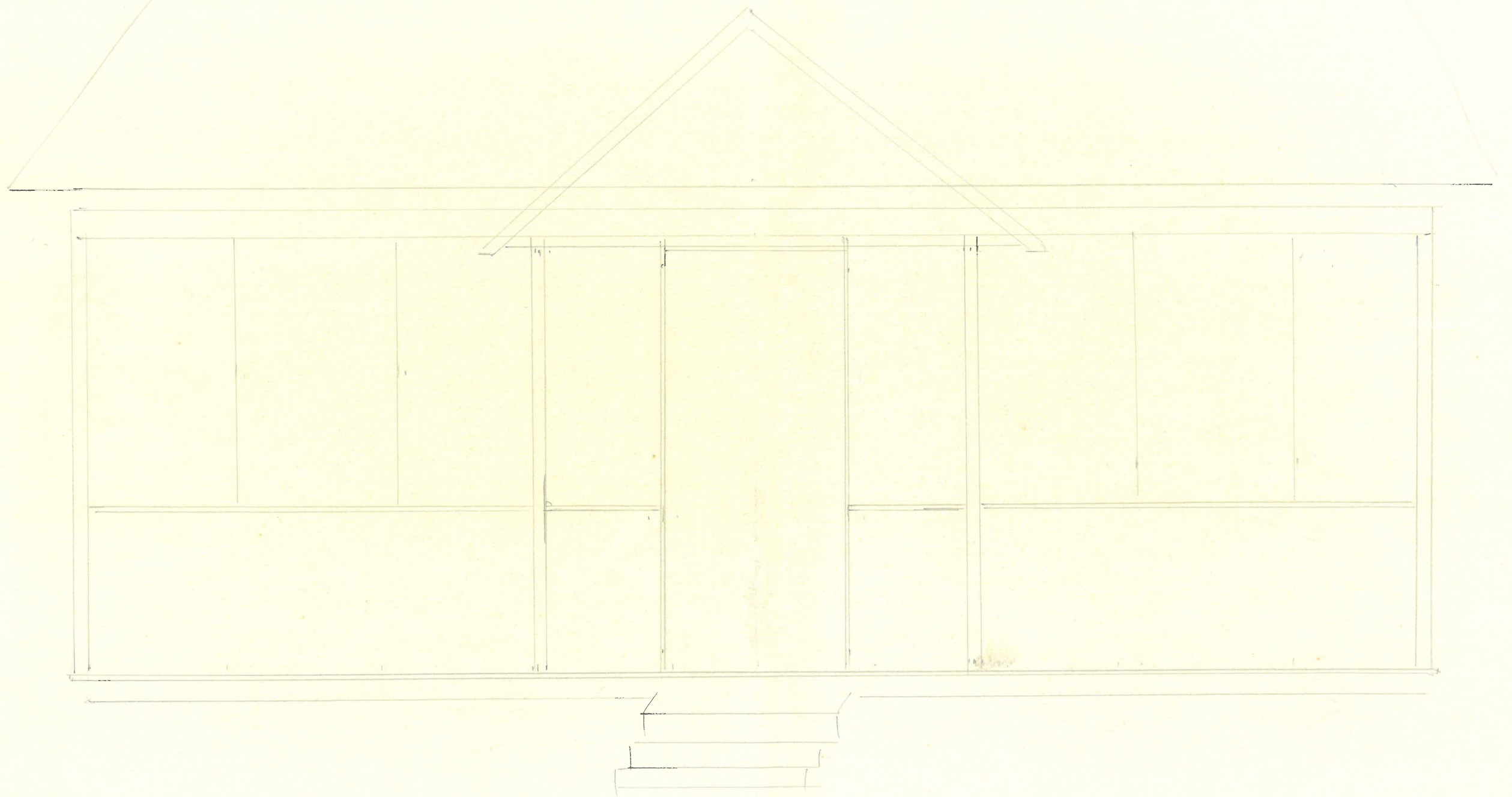
538





House







**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 25, 2023**

Project #	HPB23-093
Address; Historic Name	345 Cannon Street; N/A
Owner/Applicant	Collin and Kelsey Thomas / Derek Morton, Morton Builders Inc.
Project Type	Building Addition
Historic District; FMSF#	Dixieland Historic District; N/A
Zoning; Future Land Use; Context District; SPI	RA-4; Residential Medium Urban Neighborhood; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	Window and Door Replacements, 8/29/2020 (HPB20-137);

REQUEST

The Applicant requests Final Approval to construct an addition onto the rear elevation of the house.

SUMMARY OF BACKGROUND INFORMATION

The subject property is an interior lot (Kiblers Second Addition, Block A Lot 16 east 49 feet and west 34 Feet of Lot 17) consisting of 0.26 acres. On this property is a one-story, single-family, masonry vernacular house built circa 1955 in the Ranch architectural style, which is a non-contributing building in the Dixieland Historic District. The Ranch styling of this house is expressed by a low-pitched hip roof, brick veneer siding over concrete block, integrated front stoop, attached carport with breeze block knee wall, and decorative shutters at the front windows only.

The Applicant’s request proposes to construct an addition measuring 17 feet by 13 feet (221 square feet) onto the rear elevation of the home. The addition will consist of a master bathroom, laundry area, and closet. The design and materials for the addition are intended to match the existing house, and include:

Scope	Material
Foundation	Concrete block stem wall tied into existing concrete slab, matching elevation.
Exterior Cladding	Painted stucco brick over concrete block walls
Windows	Vinyl single-hung windows
Roof	Shingles to match existing roofing
Fascia/Soffit	Aluminum fascia and vinyl soffit to match existing

The site plan for the proposed addition shows building setbacks that comply with the Urban Form Standards in the Land Development Code.

APPLICABLE GUIDELINES:

The Secretary of Interior’s Standards for Rehabilitation (“Standards”) and the City of Lakeland’s *Design Guidelines for Historic Properties* (“Design Guidelines”) are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure architecturally important details and materials of the primary structure or other resources on the site. Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of construction while respecting the historic context and architectural style of the original structure. Avoid using architectural details for additions that are more ornate than those found on the original structure or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction.
- Additions that minimize the loss of any architectural details or features.
- Additions that are subordinate to and compatible with the style and scale of the host structure.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street.
- Additions that are designed with some distinction between the historic house and non-historic features.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece.

ANALYSIS:

In evaluating the request with the Standards, staff finds the requested addition does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house is maintained.

In evaluating the request with the Design Guidelines, the materials of the proposed addition reflect the original materials of the house and are compatible with the Guidelines. The design of the proposed addition's windows, cladding, enclosed soffit, and roof pitch and form is consistent with the Ranch style of the subject house and Design Guidelines. Furthermore, the addition is appropriately placed on the rear elevation of the house.

Finally, the building setbacks for the new addition meet the requirements of the Land Development Code's Urban Form Standards.

STAFF RECOMMENDATION:

Final Approval of the request as submitted.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



345 Cannon St
Existing Front Elevation



345 Cannon St
Existing Rear Elevation



345 Cannon St
Existing Left Side Elevation



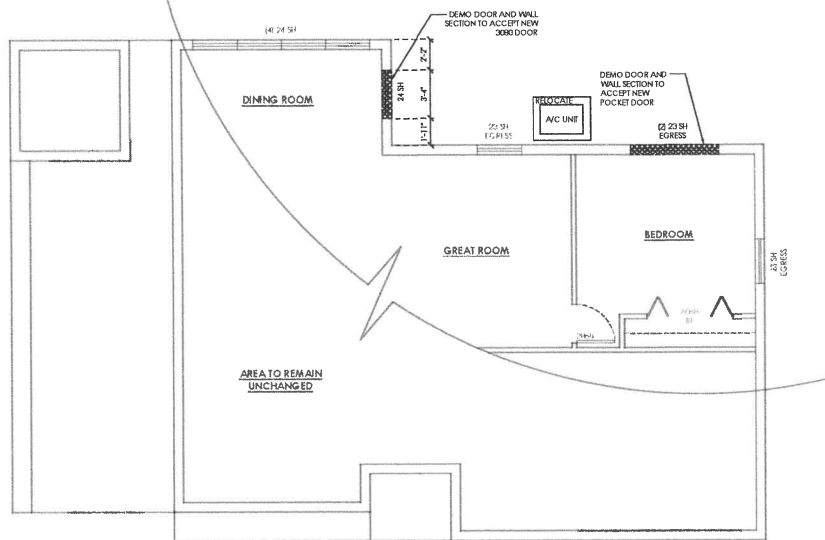
345 Cannon St
Existing Right Elevation



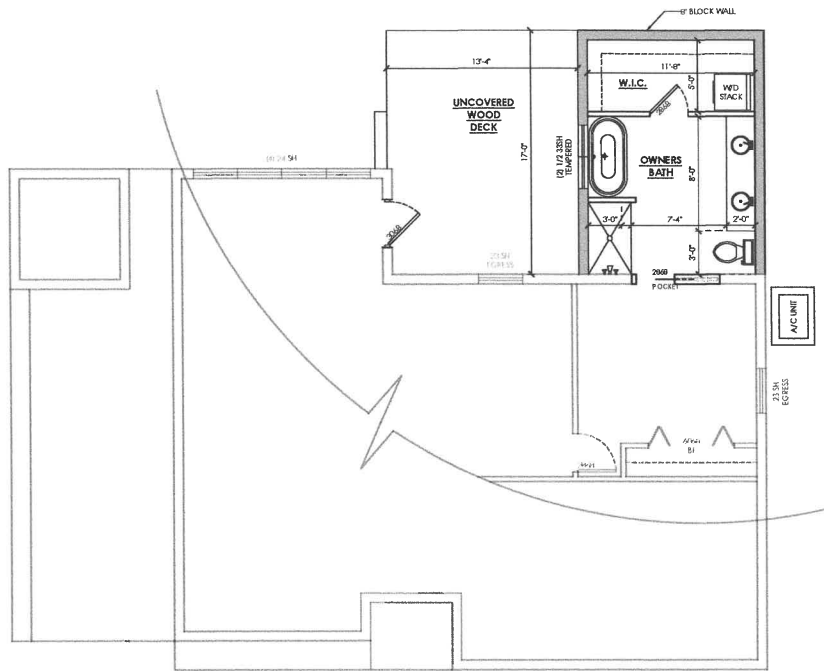
401 Cannon St
Left Side Neighbor



313 Cannon St
Right Side Neighbor



EXISTING/DEMO FLOOR PLAN



PROPOSED FLOOR PLAN

SHEET INDEX	
ADDED LIVING AREA	221
ADDED UNCOVERED DECK	222
TOTAL ADDED	444

THE CLIENT UNDERSTANDS THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREES TO HOLD HARMLESS, INDemnIFY, AND DEFEND (INCLUDING REASONABLE ATTORNEY FEES) ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS, BUT IN THE EVENT THERE IS OR OUR DESIGNER WILL NOT BE LIABLE FOR COST OF REPAIRS OR DELAY TO THE CONSTRUCTION, AND NOT AN ARCHITECT, SHE A DRAFTSMAN WORKING UNDER THE DIRECT SUPERVISION OF THE DESIGNER'S PROJECT.

I HEREBY CERTIFY THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE ENHANCED 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (WIND CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

THE CLIENT UNDERSTANDS THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREES TO HOLD HARMLESS, INDemnIFY, AND DEFEND (INCLUDING REASONABLE ATTORNEY FEES) ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS, BUT IN THE EVENT THERE IS OR OUR DESIGNER WILL NOT BE LIABLE FOR COST OF REPAIRS OR DELAY TO THE CONSTRUCTION, AND NOT AN ARCHITECT, SHE A DRAFTSMAN WORKING UNDER THE DIRECT SUPERVISION OF THE DESIGNER'S PROJECT.

REGISTERED PROFESSIONAL ARCHITECT
ARKAY ENGINEERING
 1908 E. EDGEWOOD DRIVE, LAKELAND, FLORIDA, 33803
 PHONE: (888) 888-0000 FAX: (888) 888-0000
 STATE OF FLORIDA LICENSE # 38347
 RICHARD L. LEDBETTER, P.E. - FLORIDA LICENSE # 33776

REGISTERED PROFESSIONAL ARCHITECT
SCOTT SMITH
 1908 E. EDGEWOOD DRIVE, LAKELAND, FLORIDA, 33803
 PHONE: (888) 888-0000 FAX: (888) 888-0000
 STATE OF FLORIDA LICENSE # 38347
 RICHARD L. LEDBETTER, P.E. - FLORIDA LICENSE # 33776

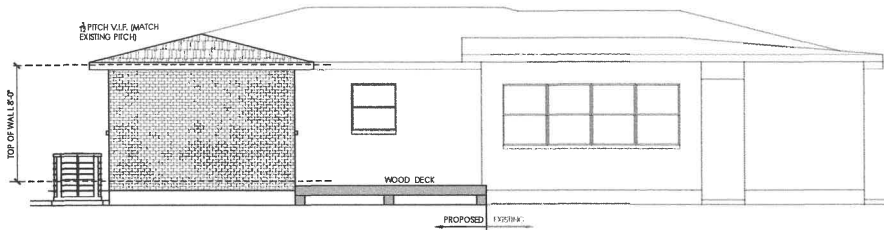


345 CANNON ST ADDITION

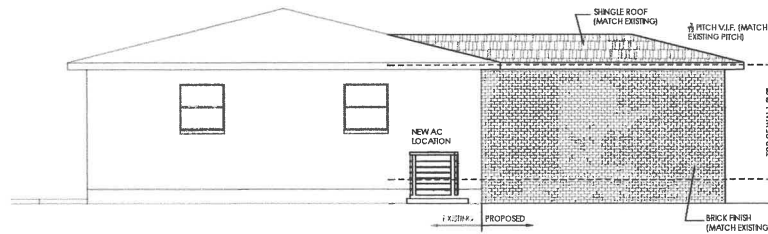
DATE: 4/21/2023
 REVISION:

SCALE: 1/4"=1'-0"
 SDI # 20221-67
 ARKAY # 18D

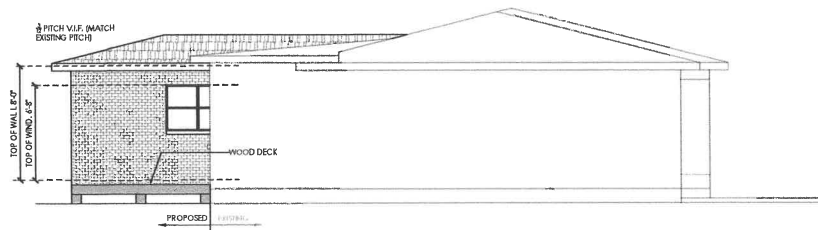
SHEET
1
 PERMIE SET



PROPOSED REAR ELEVATION



PROPOSED RIGHT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION

THE CLIENT UNDERSTANDS THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREES TO HOLD MATERIALS, WORKMANSHIP, AND EXPENSES INCLUDING REASONABLE ATTORNEY FEES ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS. NOTWITHSTANDING THE ABOVE, THE DESIGNER WILL NOT BE LIABLE FOR COSTS OF REPAIR OR DELAY TO THE CONSTRUCTION (AND NOT AN ARCHITECT) USE A BATHROOM WORKING UNDER THE DIRECT SUPERVISION OF THE ENGINEER REVISED.

I HEREBY CERTIFY THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE ENTIRE 7TH EDITION OF THE 2020 FLORIDA BUILDING CODE FOR 1-40 AMF.H, ULTIMATE DESIGN WIND SPEED, RISK CATEGORY II, ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

THE CLIENT UNDERSTANDS THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREES TO HOLD MATERIALS, WORKMANSHIP, AND EXPENSES INCLUDING REASONABLE ATTORNEY FEES ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS. NOTWITHSTANDING THE ABOVE, THE DESIGNER WILL NOT BE LIABLE FOR COSTS OF REPAIR OR DELAY TO THE CONSTRUCTION (AND NOT AN ARCHITECT) USE A BATHROOM WORKING UNDER THE DIRECT SUPERVISION OF THE ENGINEER REVISED.

ENGINEER OF RECORD:
ARKAY ENGINEERING
 STRUCTURAL ENGINEERS
 11816 BRIDGE BLVD SUITE 2000
 FT. PINE BLANCH, FLORIDA 33800
 PHONE: (888) 868-4000 FAX: (888) 868-4000
 WWW.ARKAYENGINEERING.COM
 SCOTT SMITH, LICENSE # 12717

SCOTT SMITH
 ARCHITECT
 scott@arkayeng.com
 11816 BRIDGE BLVD SUITE 2000
 FT. PINE BLANCH, FLORIDA 33800
 PHONE: (888) 868-4000 FAX: (888) 868-4000
 WWW.ARKAYENGINEERING.COM
 "WHERE DREAMS MEET DESIGN"

345 CANNON ST ADDITION

DATE: 4/21/2023
 REVISION:

SCALE: 1/4" = 1'-0"
 SET # 2023-07
 ARKAY # TBD

SHEET
2
 PERMIT SET

**PERIOD PLEASE FEEL FREE TO CONTACT US AGAIN. THANKS
FOR YOUR COOPERATION.**

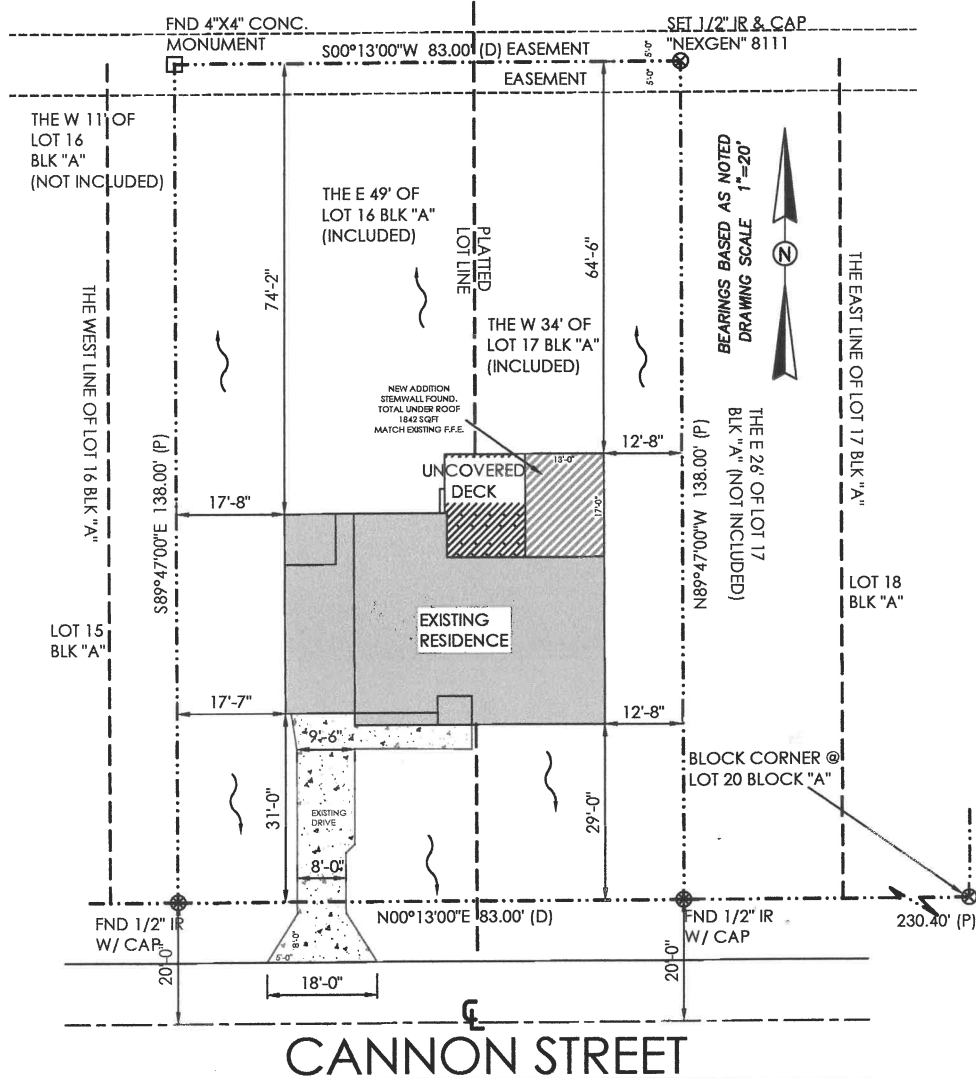




202349 - 3...4.21.23.pdf

111 KB

PARCEL ID: 232824109500001161
 Property Description:
 KIBLERS SECOND ADD PB 9 PG 46 BLK A LOT 16 E 49 FT &
 W 34 FT OF 17



PERVIOUS/ IMPERVIOUS:	
TOTAL SITE:	11458 Sq. Ft.
HOUSE/GARAGE =	1482
DRIVEWAY/SIDEWALK =	360
TOTAL IMPERVIOUS =	1842
16.0% OF SITE IMPERVIOUS	

SHEET 1 SITE PLAN	DATE: 4/24/2023
	SCALE: 1"=20'
	SDI#: 202349

THOMAS RESIDENCE
 345 CANNON STREET
 LAKELAND, FL 33803

SDI DRAFTING
 SCOTT SMITH
 DRAFTSMAN
 REG. PROFESSIONAL ENGINEER (FL 12482)

THE CLIENT UNDERSTANDS THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND AND PAY ALL REASONABLE ATTORNEY FEES ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE SERVICE FREE OF CHARGE IN CONNECTION WITH THIS PROJECT, BUT IN THE EVENT ERRORS OCCUR THE DESIGNER WILL NOT BE LIABLE FOR COST OF REPAIRS OR DELAY TO THE CONSTRUCTION.

"WHERE DREAMS MEET DESIGN"



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 25, 2023**

Project #	HPB23-096
Project Type	Installation of Exterior Signs
Property Address Historic Name(s)	211 E. Main Street Deen-Bryant Building
Historic District; FMSF#	Munn Park Historic District; #43 (12E)
Owner Applicant	Crews Banking Corporation SignCorp, Inc., on behalf of Wauchula State Bank
Zoning; Future Land Use; Context District; SPI	C-7; Regional Activity Center; Urban Center; N/A
Existing Use	Commercial
Adjacent Properties	Commercial and Civic
Previous Approvals	Side Entrance Repair, HPB14-160 (HPB14-160); Minor Exterior Alterations, 3/25/2001 (HPB21-057); Wall sign and Directional Sign, 10/12/2021 (HPB21-212), Wall Sign and Projecting Sign, 11/18/21 (HPB21-227).

REQUEST

The Applicant requests Final Approval for an internally illuminated projecting sign installed on the subject building’s northeast corner, an externally illuminated wall sign installed on the front (north) elevation wall of the building.

SUMMARY OF BACKGROUND INFORMATION

The subject property is located at the southwest corner of S. Kentucky Avenue and E. Main Street, and consists of two lots of record (Munn’s Survey, Block 18, Lots A & B) with a total area of 0.21 acres. On the property is a two-story commercial building, built circa 1912, which is a contributing structure in the Munn Park Historic District. Known as the Deen-Bryant Building, it is a two-part commercial structure with Mediterranean Revival architectural elements, expressed in its brick cladding, horizontal brick banding, and wood canopy covered in terracotta barrel tiles and supported by paired knee brackets.

This request is a part of an overall signage package for the rebranding of Wauchula State Bank to Crews State Bank, which occupies most of the ground floor of the Deen-Bryant Building. Additionally, the small, non-lighted projecting sign for the ATM will be given new faces and vinyl lettering will be applied to the north facing front doors. While staff is able to approve the projecting ATM directional sign, the Applicant is including it in this request for efficiency. The vinyl lettering does not require a Certificate of Review or Sign Permit.

The current request seeks approval for the installation of the following exterior signs:

1. One internally illuminated projecting sign, installed on the building's northeast corner, facing the intersection of East Main Street & South Kentucky Avenue. The projecting sign is a 4-sided cuboid structure with copy reading "LAKELAND" and is topped with a round finial fashioned after Crews State Bank’s logo. This sign is comprised of aluminum framing, flat aluminum panels, and push through letters. The aluminum panels on the four sides of the assembly will have routed openings with dimensional acrylic letters pushed through the flat panels, which will be back-lit with white LED

lighting. Aluminum is an opaque material, and as such, the blue flat panels will not emit light. The overall height of the sign is 6 feet, and projects approximately 15 inches from the corner of the building. The sign's predominant message promotes Lakeland and comprises 2.8 square feet per panel. The sign has an area of 1.4 SF per side. This sign has a clearance dimension of 9.5 feet from the sidewalk to the bottom of the sign.

2. One wall sign, externally illuminated by an existing light fixture, to be installed on the north building elevation facing Main Street. This wall sign is 27.8 square feet (2 feet by 13 feet 11 inches) in overall area. The wall sign consists of aluminum reverse channel letters pin mounted with 1-inch standoffs.
3. One projecting sign, not illuminated, on the north building elevation facing Main Street to replace existing projecting "ATM" sign. This sign will be a fabricated aluminum directional ATM sign, with quarter-inch acrylic copy applied to face and will be attached with a custom painted aluminum bracket. This projecting sign is 22 inches by 33 inches, for a total area of 5 square feet.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code (LDC), Article 11: Historic Preservation Standards. In addition to these standards, the *Dixieland CRA Commercial Corridor Design Guidelines* ("Sign Guidelines") are used to review signage design in commercial areas within the City's Historic Districts.

The following *Standards* apply to this request:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.12.9 Signage and Awnings

- Retention and maintenance of original signage and awnings.
- Replace original signage, awnings and canopies that are deteriorated with similar features that are compatible with the host structure.
- Signage, awnings and canopies that create contrasting conditions or incompatible with the requirements in the Land Development Code are not acceptable.

The following *Dixieland CRA Commercial Corridor Design Guidelines* apply to this request:

Chapter VI. Miscellaneous Standards, Section C. Sign Standards

- Both projecting and wall signs are permitted sign types.

- Cabinet signs are prohibited.
- Signs shall be positioned so that they appear as a design feature of the overall façade of a particular building.
- Signs shall relate to, and help define and enhance, the architectural features of the building, rather than cover or disturb design features, and shall be placed to establish façade rhythm, relative to the architecture of a building.
- The scale of signs shall be appropriate for the building on or near which they are placed and the area in which they are located. The size and shape on a sign shall be proportional with the scale of the structure. Small storefronts shall have smaller signs than larger storefronts.
- Signs shall be designed so that they are integrated with the design of the building and the building's use. A well-designed building façade or storefront is created by the careful coordination of sign design, architectural design, and color scheme.
- Pedestrian-oriented signs are encouraged. These signs shall be read easily and comfortably from the sidewalk or street.
- Creative design is strongly encouraged; colors shall be selected which contribute to legibility and design integrity.
- Graphics on all signs shall be dimensional in nature.
- Wall Signs: Each business or tenant shall have no more than one (1) wall sign per building. The allowable area for wall signs shall be one square foot of sign for each linear foot of primary building facade, not to exceed 50% of the maximum total building sign area calculation. Sign copy may not exceed two (2) feet in height.
- Projecting Signs: Each business or tenant shall have no more than one (1) projecting sign per building. Projecting signs mounted at a height of fifteen (15) foot or lower from the finished sidewalk to the bottom of the sign shall not exceed eight (8) square feet. Projecting signs mounted higher than fifteen (15) foot from the finished sidewalk to the bottom of the sign shall not exceed twenty-five (25) square feet in sign area. Projecting Signs shall be located adjacent to the building entrance or tenant space. Projecting signs may only project forty-two (42) inches from the building wall. Projecting signs shall maintain an eight (8) foot clearance, between the finished sidewalk and the bottom of the sign, in all pedestrian walkways. Projecting signs shall not extend over public or private streets, parking lots, or street accesses.

ANALYSIS:

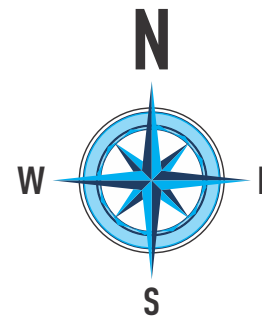
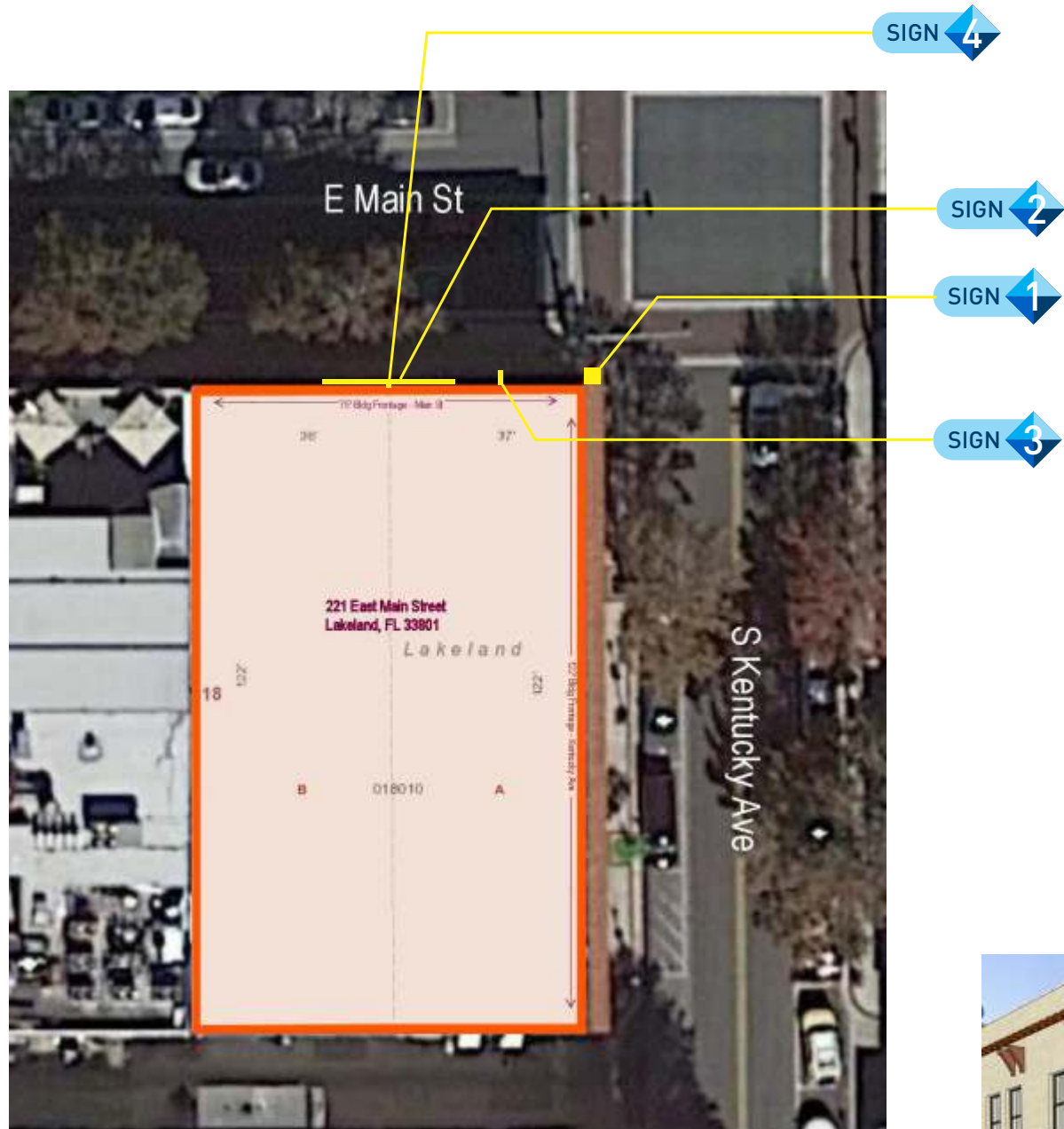
The proposed signage is similar in scale and design to the Wauchula State Bank signage approved by the Design Review Committee in 2021. Staff finds that the proposed new signage for Crews State Bank complies with the Sign Guidelines in terms of design, materials, projection dimension, size, and clearance dimension. Internal illumination of the projecting sign and external illumination of the wall sign are also found to meet the intent of the Sign Guidelines.

STAFF RECOMMENDATION:

Final Approval of the request as submitted.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

AERIAL VIEW



PROJECTING SIGN
NORTHEAST CORNER ELEVATION

SIGN 1



WALL SIGN
MAIN ST - NORTH ELEVATION

SIGN 2



DIRECTIONAL SIGN
MAIN ST - NORTH ELEVATION

SIGN 3



VINYL HOURS
MAIN ST - NORTH ELEVATION

SIGN 4

BUILDING FRONTAGE
 MAIN ST = 75' KENTUCKY AVE = 122'
AGGREGATE TOTAL BUILDING SIGN AREA
 PRIMARY FACADE (MAIN ST): 75' X 15' X 12.5% = 140.625 Sq Ft
 SECONDARY FACADE (KENTUCKY AVE): 122' x 15' X 12.5% = 228.75 Sq Ft



512 6th ST. NW
 Winter Haven FL, 33881
 Ph: 863-268-2825
 FL LICENSE #ES12000111



Address:
 221 EAST MAIN STREET
 LAKELAND, FL 33801

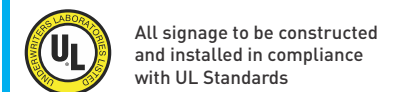
Sales Representative: OREN DOWDY
 Customer Approval Date
 Landlord's Approval Date

Date: 04/27/23 Scale : NOTED
 Filename: CREWS B & T-LAKELAND
 DOWNTOWN_R1_05_03_2023
 Designer: SM

Revision Number and Date:

1	05/03/23	4	7
2		5	8
3		6	9

This drawing is the sole property of SignCorp, Inc. (with the exception of registered trademarks) and is submitted for the sole purpose of conveying design intent. By accepting this document from SignCorp, Inc. the recipient agrees that they will not copy or reproduce it in any part nor shall it be revealed in any manner to any person except in the purpose for which it was delivered without prior permission from SignCorp, Inc. Violation of these terms may result in SignCorp, Inc. implementing its right to charge for the drawing / design / and / or may result in court action.

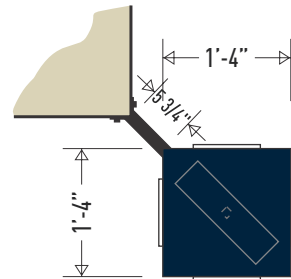


All signage to be installed in compliance with National Electrical Code NEC 2020

All signage to be constructed and installed in compliance with UL Standards

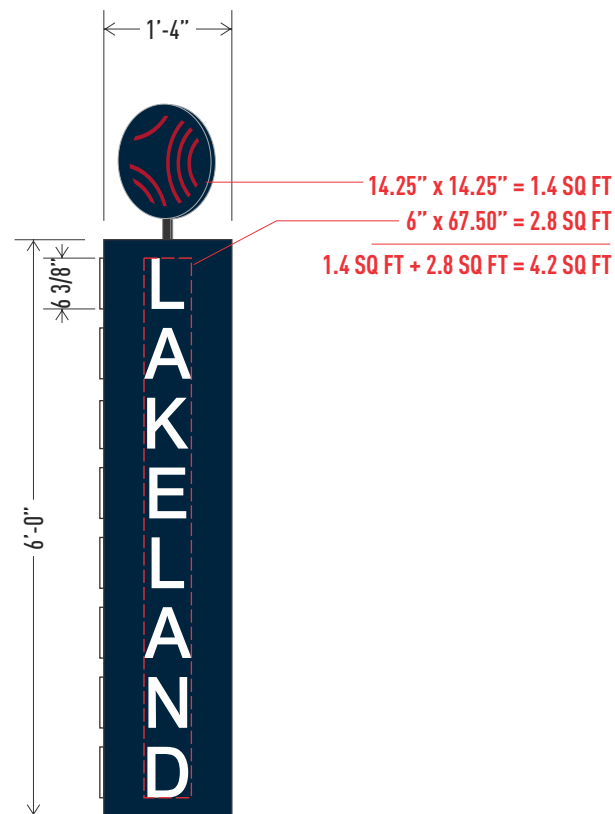


1. MANUFACTURE AND INSTALL (1) PROJECTING BLADE SIGN INTERNALLY ILLUMINATED WITH LEDS.
2. MAIN CABINET TO HAVE ALUMINUM CONSTRUCTION.
3. COPY TO BE PUSH THRU ACRYLIC ON ALL (4) SIDES ONLY.
4. MANUFACTURE AND INSTALL (1) CIRCLE LOGO TO BE FABRICATED ALUMINUM CHANNEL WITH ALUMINUM BACK. LOGO TO HAVE EXTERNAL ILLUMINATION WITH UPLIGHTING FROM TOP OF BLADE CABINET.
5. MOUNT CABINET TO CORNER OF BUILDING WITH (3) ALUMINUM SQUARE TUBE ARM SUPPORTS AND MOUNTING PLATES PER ENGINEERING SPECIFICATIONS. SUPPORTS PRIMED AND PAINTED SATIN BLACK. ALL FASTENERS STAINLESS STEEL.



PLAN VIEW : Scale 1/2" = 1'-0"

COLOR SCHEME			
WHITE	3M VINYL CARDINAL RED 3630-53 (PMS 187C)	PAINT (PMS 289C) SATIN FINISH	BLACK PAINT SATIN FINISH



OPTION A: FRONT ELEVATION : Scale 1/2" = 1'-0"



OPTION A: ISOMETRIC VIEW : Scale 1/2" = 1'-0"



OPTION B : Scale 1/2" = 1'-0"



512 6th ST. NW
Winter Haven FL, 33881
Ph: 863-268-2825
FL LICENSE #ES12000111

Created For
 CREWS
BANK & TRUST
Address:
221 EAST MAIN STREET
LAKE LAND, FL 33801

Sales Representative: OREN DOWDY
Customer Approval _____ Date _____
Landlord's Approval _____ Date _____

Date: 04/27/23 Scale : NOTED
Filename: CREWS B & T-LAKE LAND
DOWNTOWN_R1_05_03_2023

Designer: SM
Revision Number and Date:
1 05/03/23 4
2 5 7
3 6 8
5 9

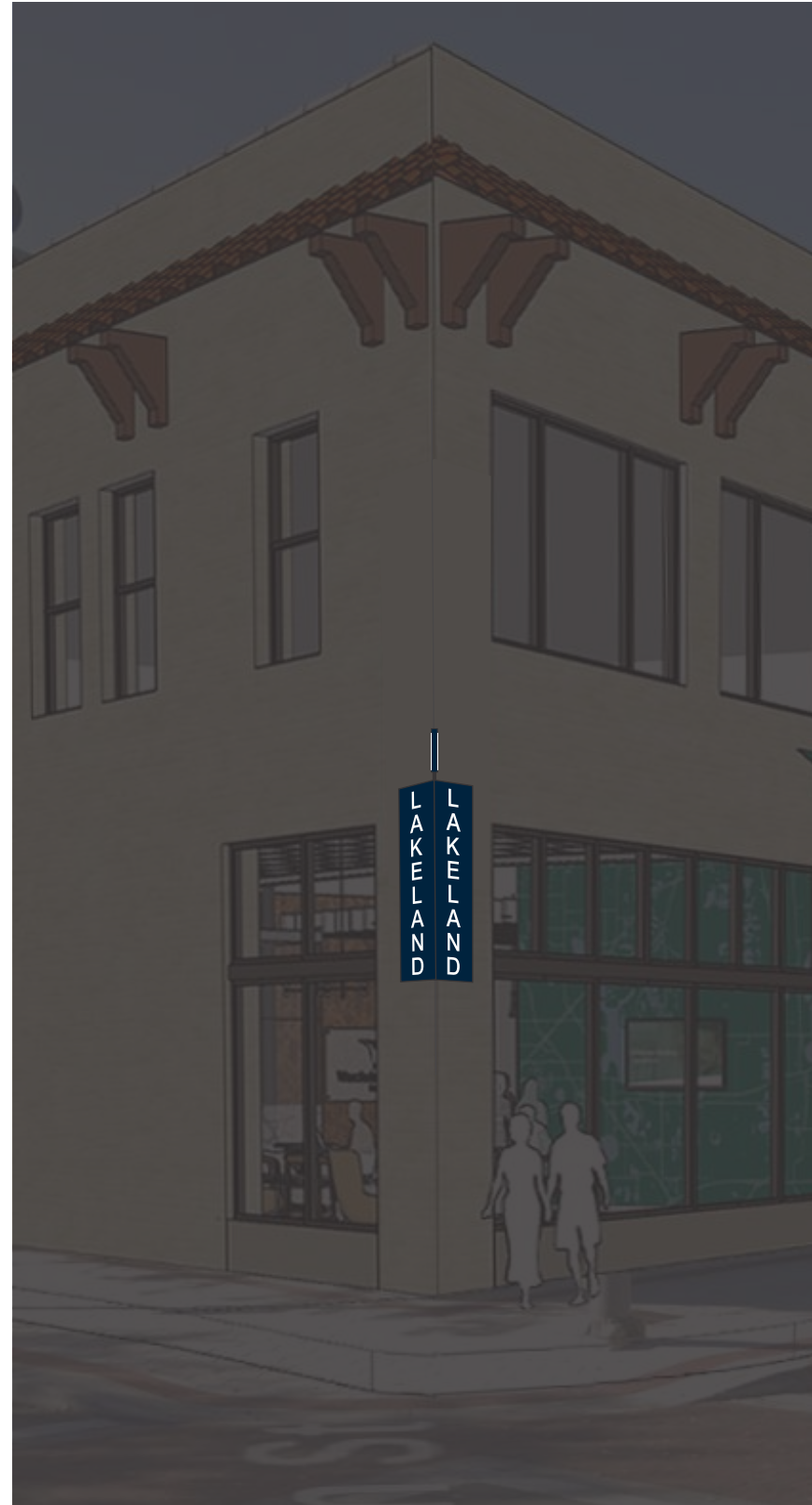
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All signage to be installed in compliance with National Electrical Code NEC 2020

All signage to be constructed and installed in compliance with UL Standards



PROPOSED



NIGHT VIEW



512 6th ST. NW
 Winter Haven FL, 33881
 Ph: 863-268-2825
 FL LICENSE #ES12000111

Created For



Address:

221 EAST MAIN STREET
 LAKELAND, FL 33801

Sales Representative: OREN DOWDY

Customer Approval	Date
-------------------	------

Landlord's Approval	Date
---------------------	------

Date: 04/27/23 Scale : NOTED

Filename: CREWS B & T-LAKELAND
 DOWNTOWN_R1_05_03_2023

Designer: SM

Revision Number and Date:

1	05/03/23	4	7
2		5	8
3		6	9

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All signage to be constructed and installed in compliance with UL Standards

WALL SIGN

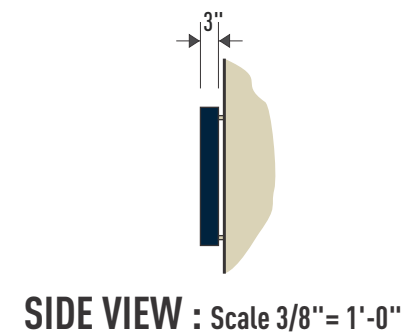
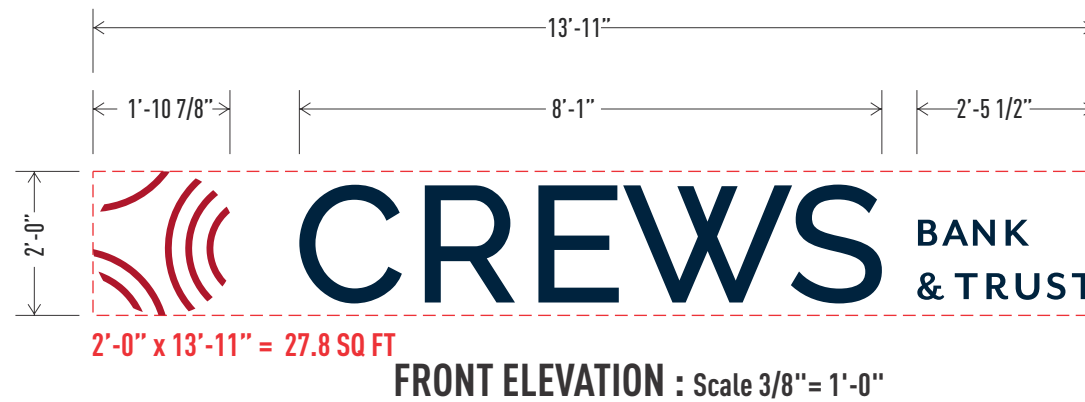
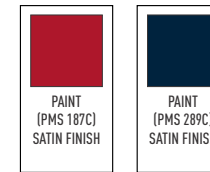
27.8 SQ FT



SCOPE OF WORK:

1. MANUFACTURE AND INSTALL 3" DEEP FABRICATED REVERSE ALUMINUM CHANNEL LETTERS. PIN MOUNTED WITH 1" STANDOFFS.
2. ALL FASTENERS STAINLESS STEEL.
3. EXTERNAL ILLUMINATION BY OTHERS.

COLOR SCHEME



WALL SIGN AREA:

WALL SIGN AREA NTE 50% OF MAX AGGREGATE TOTAL BUILDING SIGN AREA (MAIN ST)
 140.625 SF X 50% = 70.3125 SQ FT MAX



NORTH ELEVATION - MAIN STREET

PROPOSED



NIGHT VIEW



512 6th ST. NW
 Winter Haven FL, 33881
 Ph: 863-268-2825
 FL LICENSE #ES12000111

Created For



Address:

221 EAST MAIN STREET
 LAKELAND, FL 33801

Sales Representative: OREN DOWDY

Customer Approval _____ Date _____

Landlord's Approval _____ Date _____

Date: 04/27/23 Scale : NOTED

Filename: CREWS B & T-LAKELAND
 DOWNTOWN_R1_05_03_2023

Designer: SM

Revision Number and Date:

- 1 05/03/23
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

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All signage to be installed in compliance with National Electrical Code NEC 2020



All signage to be constructed and installed in compliance with UL Standards

Sheet:

5 of 7

DIRECTIONAL SIGN

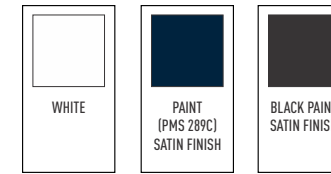
5 SQ FT



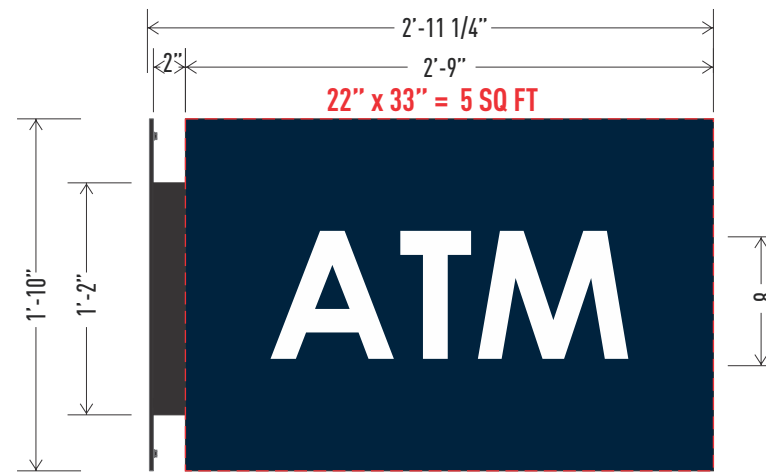
SCOPE OF WORK:

1. MANUFACTURE AND INSTALL 4" DEEP FABRICATED ALUMINUM DIRECTIONAL ATM SIGN. NON-ILLUMINATED.
2. .25" FLAT CUT OUT ACRYLIC COPY APPLIED TO FACE.
3. FABRICATED ALUMINUM CUSTOM BRACKET WITH HORIZONTAL INTERNAL SQUARE TUBE ARMS WELDED TO .25" THK. ALUMINUM MOUNTING PLATE. PRIMED AND PAINTED SATIN BLACK. SECURE TO WALL WITH FASTENERS PER ENGINEER SPECIFICATIONS. ALL FASTENERS STAINLESS STEEL.

COLOR SCHEME



PLAN VIEW : Scale 1" = 1'-0"



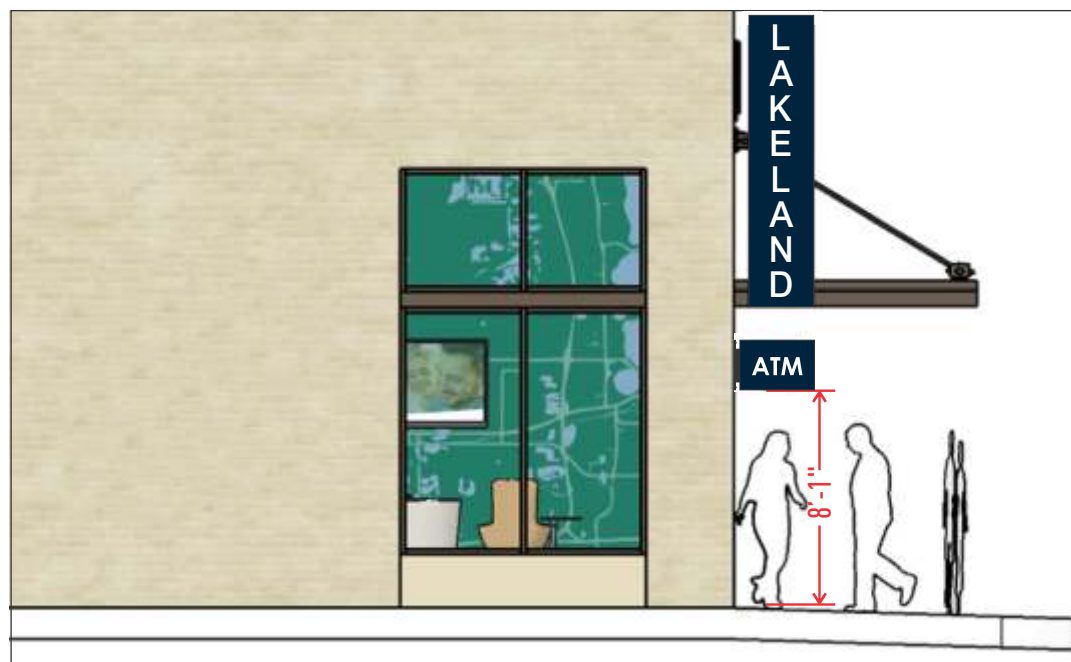
LEFT SIDE VIEW : Scale 1" = 1'-0"



FRONT ELEVATION : Scale 1" = 1'-0"



RIGHT SIDE VIEW : Scale 1" = 1'-0"



EAST ELEVATION - View from Kentucky Avenue

PROPOSED



512 6th ST. NW
Winter Haven FL, 33881
Ph: 863-268-2825
FL LICENSE #ES12000111

Created For
CREWS
BANK & TRUST
Address:
221 EAST MAIN STREET
LAKELAND, FL 33801

Sales Representative: OREN DOWDY
Customer Approval _____ Date _____
Landlord's Approval _____ Date _____

Date: 04/27/23 Scale : NOTED
Filename: CREWS B & T-LAKELAND
DOWNTOWN_R1_05_03_2023
Designer: SM
Revision Number and Date:
1 05/03/23 4 7
2 5 8
3 6 9

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All signage to be installed in compliance with National Electrical Code NEC 2020

All signage to be constructed and installed in compliance with UL Standards

VINYL HOURS

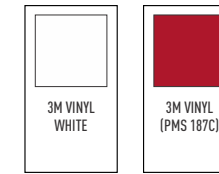
1.8 SQ FT



SCOPE OF WORK:

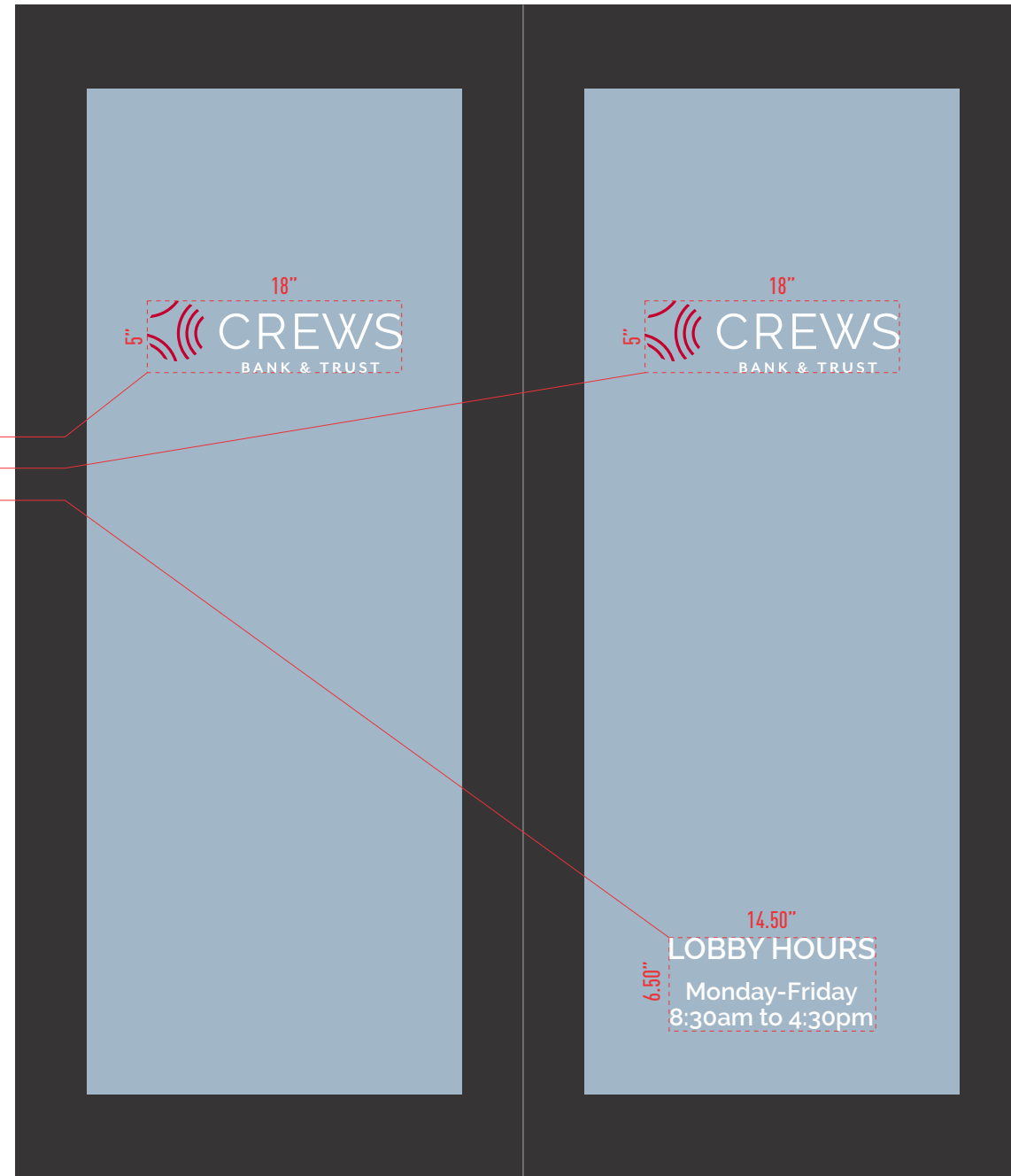
1. VINYL APPLIED TO EXISTING GLASS DOORS.

COLOR SCHEME



EXISTING

5" x 18" = .6 SQ FT
 5" x 18" = .6 SQ FT
 6.5" x 14.5" = .6 SQ FT
 .6 SQ FT + .6 SQ FT + .6 SQ FT = 1.8 SQ FT



NOTE: SURVEY NEEDED FOR FINAL SIZING

PROPOSED



512 6th ST. NW
 Winter Haven FL, 33881
 Ph: 863-268-2825
 FL LICENSE #ES12000111



Address: 221 EAST MAIN STREET
 LAKELAND, FL 33801

Sales Representative: OREN DOWDY
 Customer Approval Date
 Landlord's Approval Date

Date: 04/27/23 Scale: NOTED
 Filename: CREWS B & T-LAKELAND
 DOWNTOWN_R1_05_03_2023
 Designer: SM

Revision Number and Date:

1	05/03/23	4	7
2		5	8
3		6	9

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All signage to be installed in compliance with National Electrical Code NEC 2020

All signage to be constructed and installed in compliance with UL Standards



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 25, 2023**

Project #	HPB23-098
Address; Historic Name	1518 S. Dakota Avenue; N/A
Owner/Applicant	Marc and Laura Serio
Project Type	Building Addition
Historic District; FMSF#	Dixieland Historic District; N/A
Zoning; Future Land Use; Context District; SPI	RA-4; Residential Medium Urban Neighborhood; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	Fence, 9/9/2022 (HPB22-185); Fence, 3/29/23 (HPB23-071)

REQUEST

The Applicant requests Final Approval to construct an addition onto the rear elevation of the house.

SUMMARY OF BACKGROUND INFORMATION

The subject property is an interior lot (Lenox Place, Block B, Lot 8) consisting of 0.18 acres. On this property is a one-story, single-family, masonry vernacular house built in 2000 in a modern masonry vernacular style, which is a non-contributing building in the Dixieland Historic District. The house has a gable-on-hip roof with typical roofing shingles along with a vinyl soffit and fascia. The exterior walls of the house are painted concrete block; textured stucco and applied quoins exist on the front elevation and gables only. T1-11 vertical siding exists on the rear gable.

The Applicant’s request proposes to construct an addition measuring 10 feet by 20 feet (200 square feet) onto the rear elevation of the home. The addition will consist of an additional bedroom and bathroom. The design and materials for the addition are intended to match the existing house, and include:

Scope	Material
Foundation	Concrete slab tied into existing foundation.
Exterior Cladding	Painted concrete block walls
Windows	Vinyl single-hung windows
Door	Metal 9-lite door
Roof	Asphalt shingles to match existing roofing; T1-11 vertical siding in gable
Fascia/Soffit	Vinyl fascia and soffit to match existing

The site plan for the proposed addition shows building setbacks that comply with the Urban Form Standards in the Land Development Code.

APPLICABLE GUIDELINES:

The Secretary of Interior’s Standards for Rehabilitation (“Standards”) and the City of Lakeland’s *Design Guidelines for Historic Properties* (“Design Guidelines”) are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure architecturally important details and materials of the primary structure or other resources on the site. Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of construction while respecting the historic context and architectural style of the original structure. Avoid using architectural details for additions that are more ornate than those found on the original structure or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction.
- Additions that minimize the loss of any architectural details or features.
- Additions that are subordinate to and compatible with the style and scale of the host structure.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street.
- Additions that are designed with some distinction between the historic house and non-historic features.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece.

ANALYSIS:

In evaluating the request with the Standards, staff finds the requested addition does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house is maintained.

In evaluating the request with the Design Guidelines, the materials of the proposed addition reflect the materials of the existing house and meet the intend of the Design Guidelines. The design of the proposed addition's windows, door, cladding, enclosed soffit, and roof pitch and form is consistent with the modern masonry vernacular style of the subject house. Furthermore, the addition is appropriately placed on the rear elevation of the house.

Finally, the building setbacks for the new addition meet the requirements of the Land Development Code's Urban Form Standards.

STAFF RECOMMENDATION:

Final Approval of the request as submitted.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



1518

124 OPP
FLORIDA
POLY

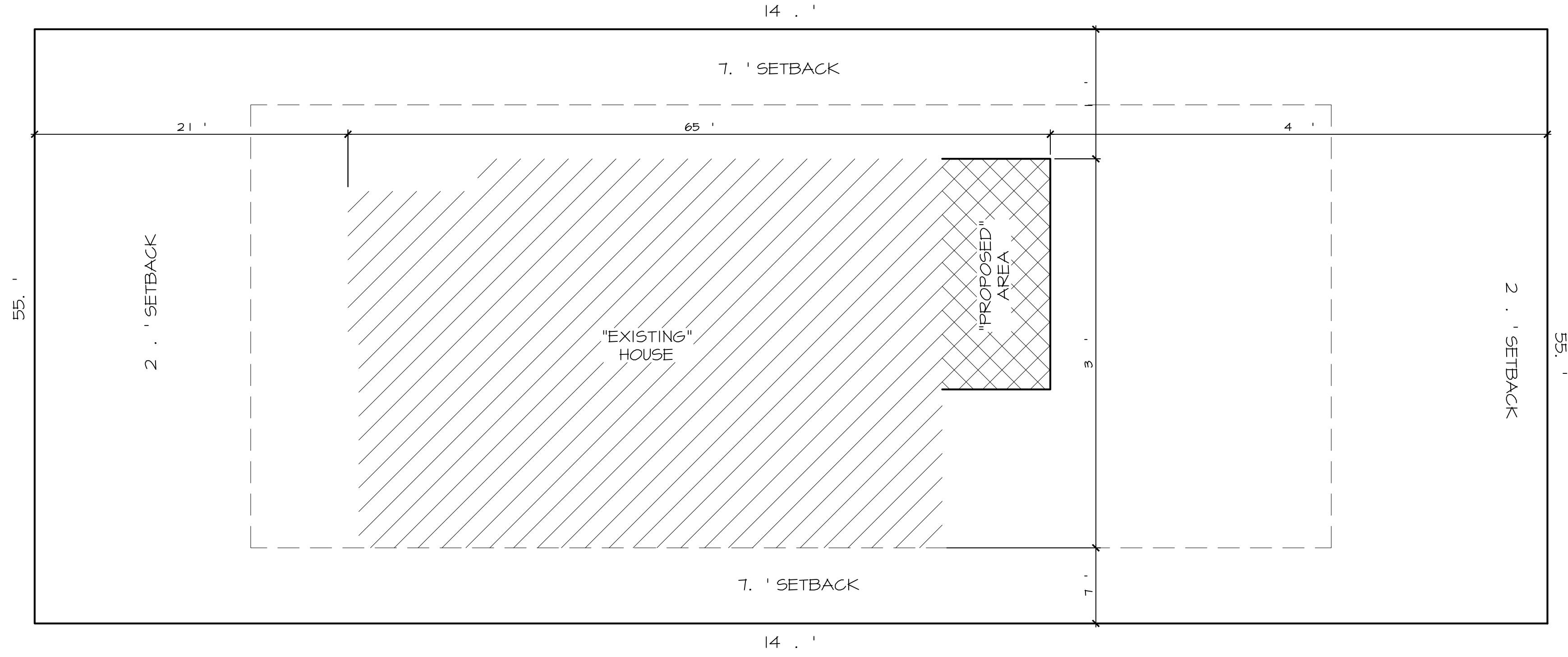




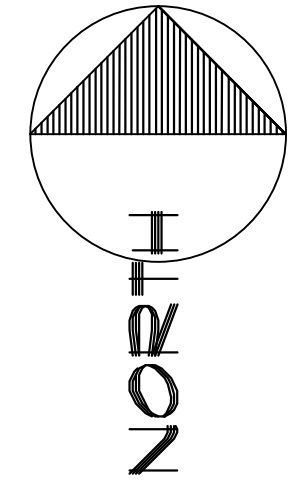




DAKOTA AVE S



PROPOSED SITE PLAN
1/4" = 1'-0"



I HEREBY CERTIFY:
 THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH
 CHAPTER 16, SECTION 1604 OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION FOR
 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH
 THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION.

THIS RENOVATION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA
 BUILDING CODE - EXISTING BUILDING - 7TH EDITION FOR ALTERATION LEVEL .
 CHAPTER II ADDITIONS

DATE: 1-16-23
 SCALE: AS NOTED
 JOB # 20283

SHEET
 S

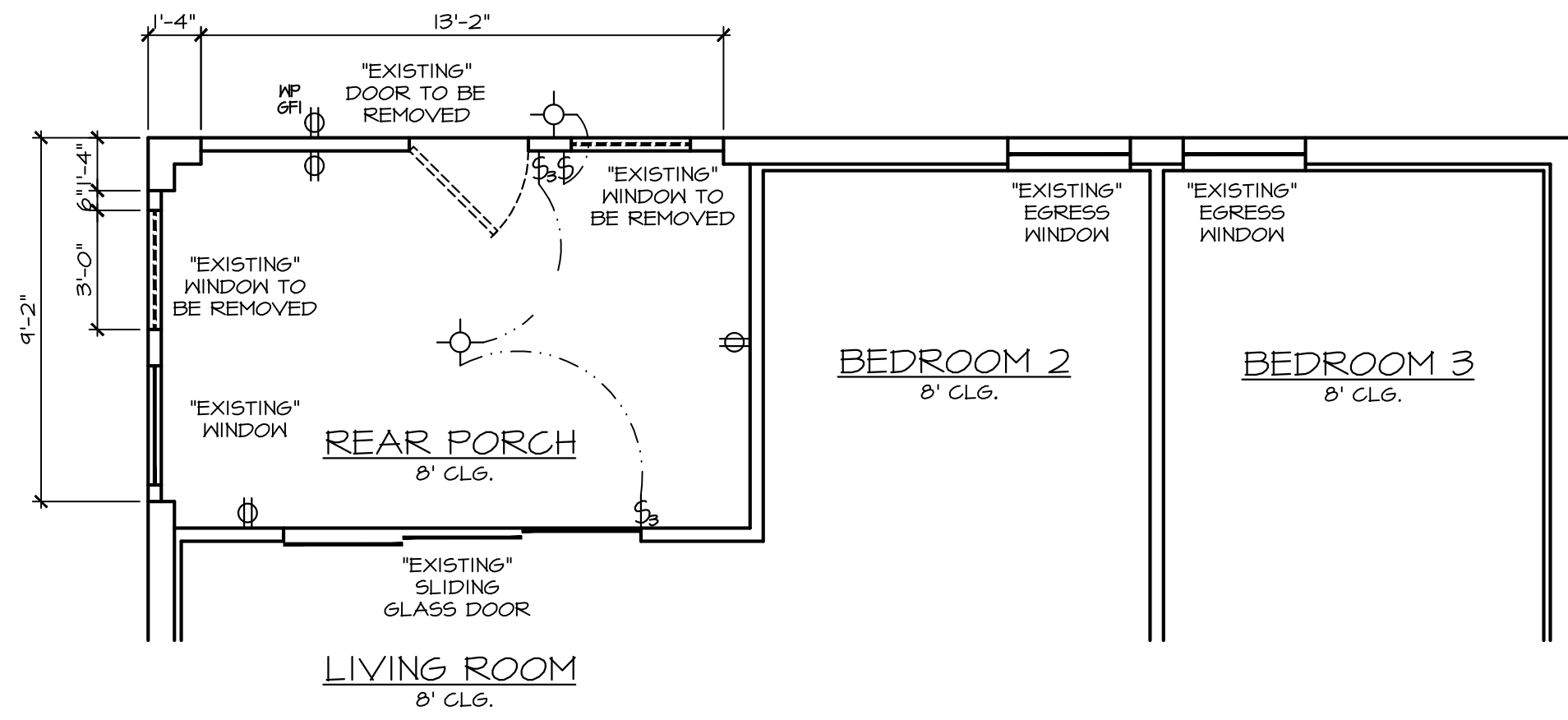
PERMIT SET

PROJECT:

ERIO RESIDENCE
 1518 S DAKOTA AVE
 LAKELAND, FL

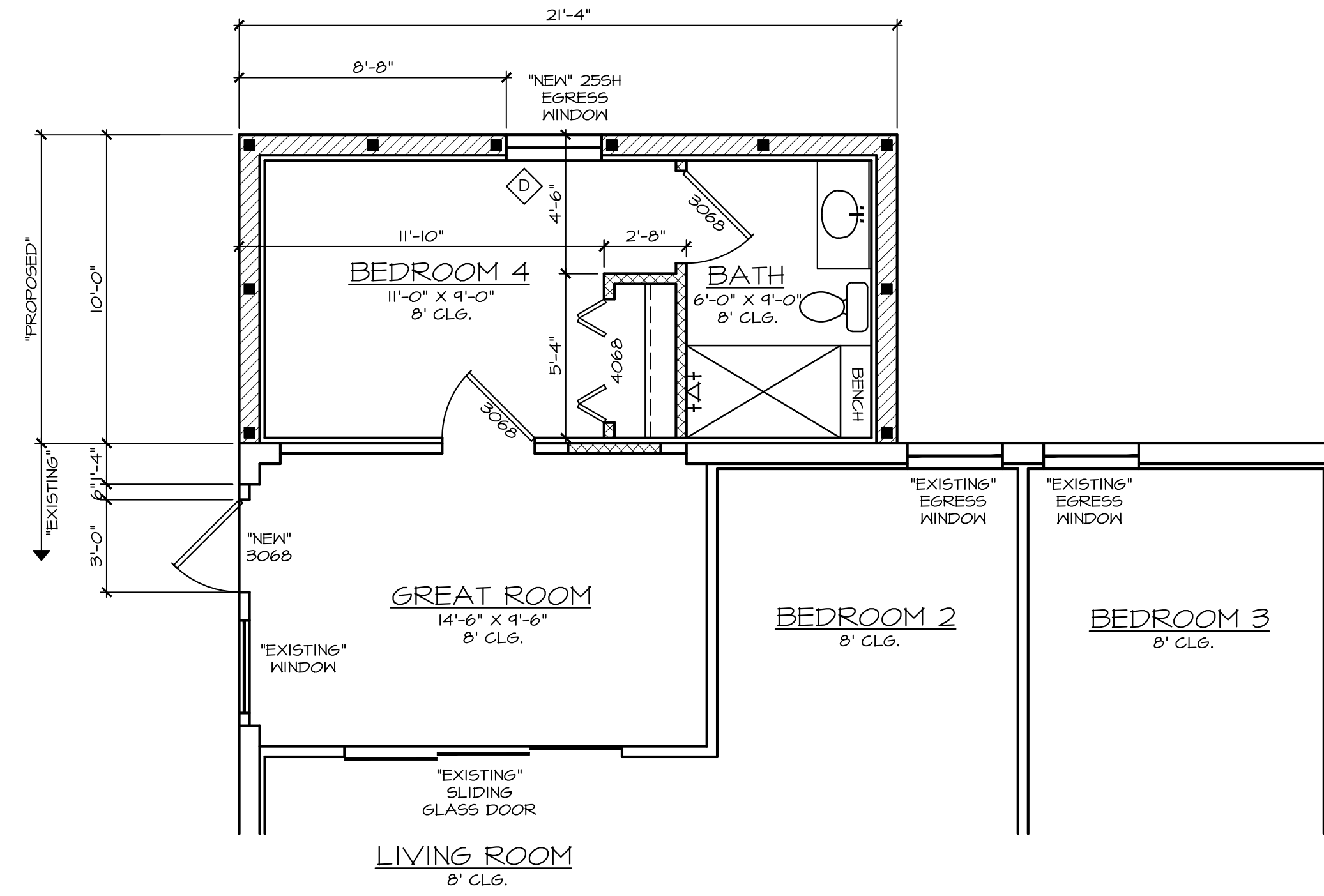
ENGINEER OF RECORD:

ARKAY ENGINEERING INC.
 STRUCTURAL ENGINEERS
 1488 E. EDGEWOOD DRIVE LAKELAND, FLORIDA 33809
 PHONE: 888-6600 FAX: 888-6551
 STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB6847
 RICHARD L. KIDDET, P.E. - FLORIDA LICENSE # 51246



EXISTING FLOOR PLAN
1/4" = 1'-0"

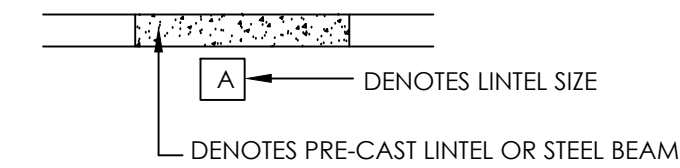
EXISTING AREA	SQ.FT.
LIVING AREA	1,361
FRONT PORCH	33
REAR PORCH	149
GARAGE	380
TOTAL AREA	1,923



PROPOSED FLOOR PLAN
1/4" = 1'-0"

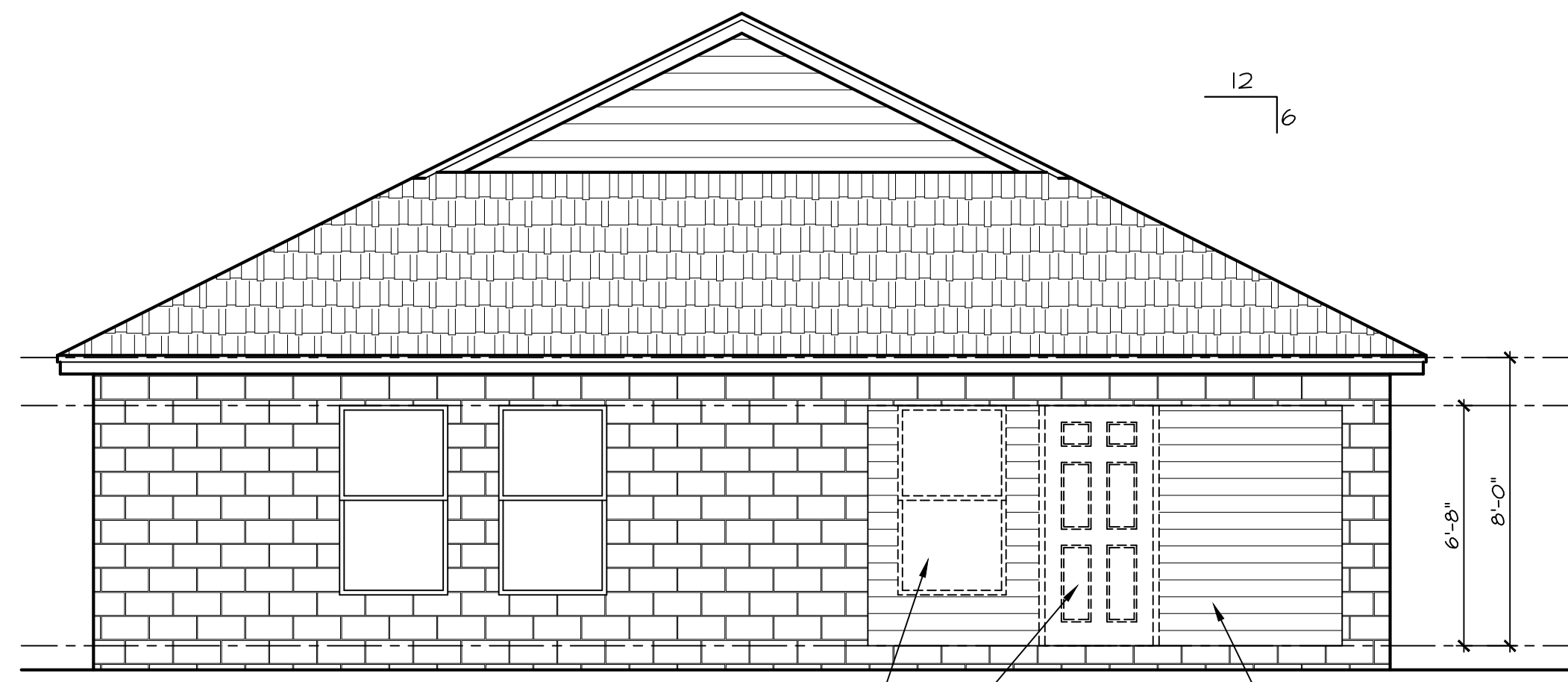
EXISTING AREA	SQ.FT.
LIVING AREA	1,724
FRONT PORCH	33
GARAGE	380
TOTAL AREA	2,137

LINTEL BEAM NOTE:
WHERE SHOWN ON THE PLANS, THE LINTEL CAN BE CONSTRUCTED AS A DOUBLE 2" X 12" (#2 YELLOW PINE) WOOD BEAM ANCHORED TO TOP OF COLUMNS WITH (2) USP "ETA20" OR SIMPSON "HETA20" STRAPS



LINTEL LOAD CHART (16" DEEP SECTION)			
CLEAR SPAN	CONCRETE U-LINTEL	"POWER" STEEL	"POWER" STEEL BOX LINTEL
A 1'-6"	4987 PLF (UNFILLED)	7070 PLF L-2	9865 PLF
B 2'-2"	3435 PLF (UNFILLED)	6262 PLF L-2	6830 PLF
C 2'-8"	2777 PLF (UNFILLED)	5296 PLF L-2	5549 PLF
D 3'-2"	2332 PLF (UNFILLED)	4508 PLF L-2	4673 PLF
E 4'-0"	1835 PLF (UNFILLED)	3535 PLF L-2	3699 PLF
F 4'-6"	1624 PLF (UNFILLED)	3154 PLF L-2	3288 PLF
G 5'-2"	2739 PLF **	2746 PLF L-2 **	2864 PLF**
H 6'-2"	2271 PLF **	2298 PLF L-2 **	2400 PLF**
I 7'-0"	1987 PLF **	2025 PLF L-2 **	2114 PLF**
J 8'-0"	1723 PLF **	1768 PLF L-2**	2273 PLF**
K 9'-2"	1489 PLF **	1545 PLF L-2**	1984 PLF**
L 10'-0"	1354 PLF **	1414 PLF L-2**	1819 PLF**
M 10'-8"	1277 PLF **	1325 PLF L-2**	1710 PLF**
N 11'-2"	1200 PLF **	1230 PLF L-2**	1629 PLF**
O 12'-0"	1109 PLF **	1176 PLF L-2**	1515 PLF**
P 12'-8"	1044 PLF **	1116 PLF L-2**	1436 PLF**
Q 13'-4"	1398 PLF ** P	1387 PLF ** S L-1	1364 PLF**
R 14'-0"	1327 PLF ** P	1321 PLF ** S L-1	1299 PLF**
S 16'-0"	1152 PLF ** P	1048 PLF ** S L-1	1137 PLF **
T 18'-0"	1016 PLF ** P	828 PLF ** S L-1	960 PLF **
U 18'-8"	977 PLF ** P	770 PLF ** S L-1	893 PLF **
V 20'-0"	876 PLF ** P	629 PLF ** S L-1	784 PLF **
W 22'-8"	789 PLF ** P	523 PLF ** S L-1	606 PLF **

** - DENOTES #5 REBAR X CONT. PLACED IN BOTTOM COURSE AND 16" DEEP BEAM POURED SOLID WITH 2,500 PSI CONCRETE.
** P - DENOTES PRE-STRESSED U-LINTEL WITH #5 REBAR X CONT. PLACED IN BOTTOM COURSE & 16" DEEP BEAM POURED SOLID WITH 2,500 PSI CONCRETE.
** S - DENOTES "POWER" STEEL L-1 LINTEL WITH #5 REBAR X CONT. PLACED IN BOTTOM COURSE & (6)-5/16" SMOOTH STIRRUPS AT 8" O.C. AT EACH END IN A 16" DEEP BEAM POURED SOLID WITH 2,500 PSI CONCRETE.



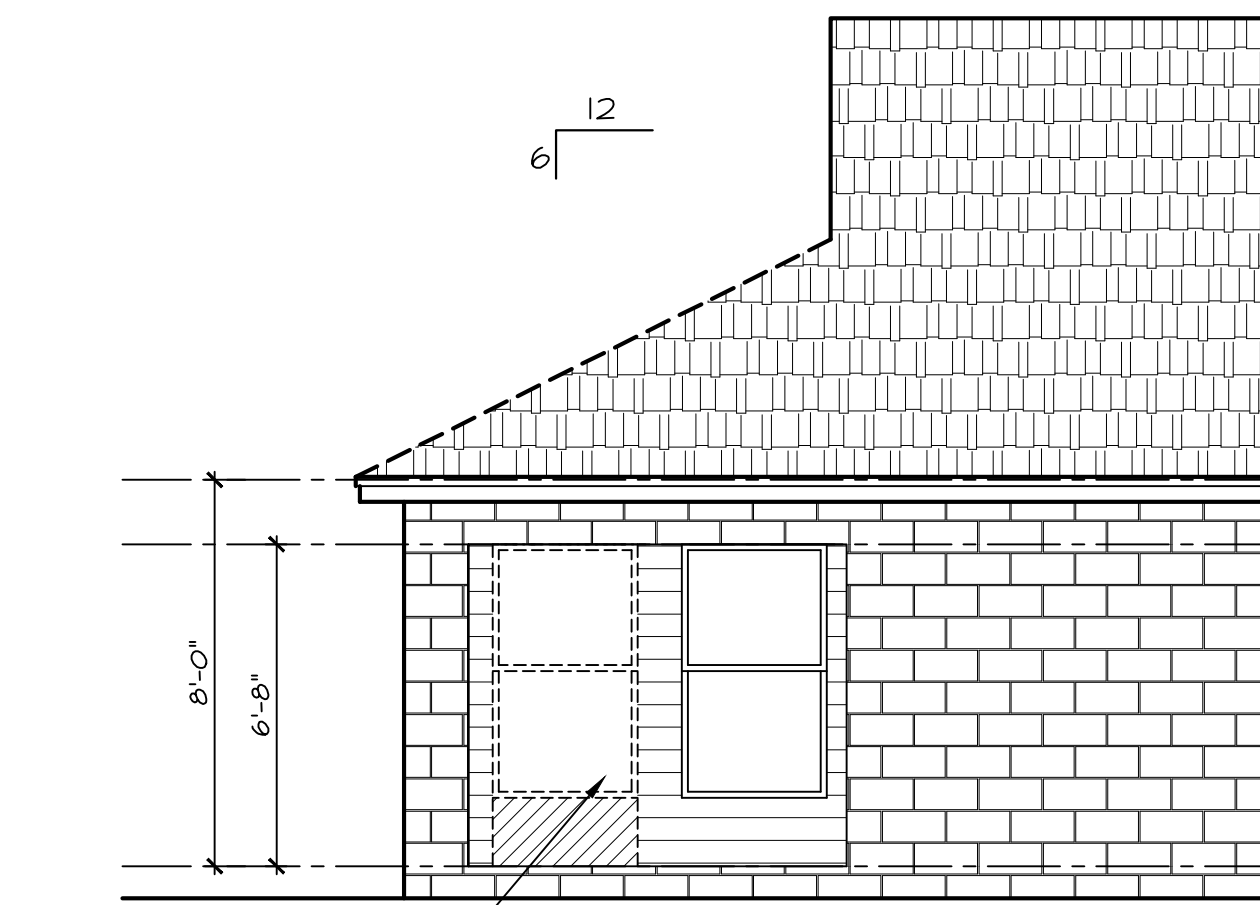
EXISTING REAR ELEVATION
1/4" = 1'-0"



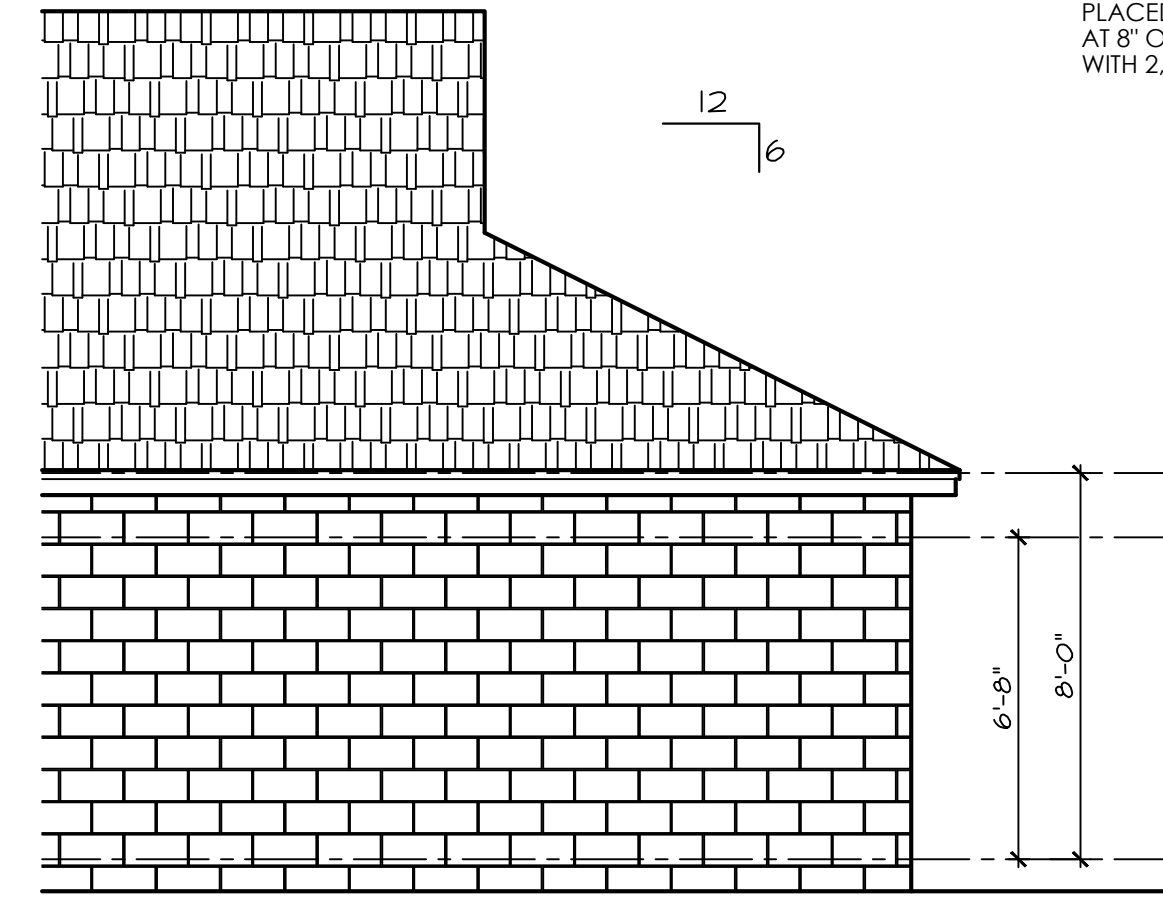
PROPOSED REAR ELEVATION
1/4" = 1'-0"

FLORIDA PRODUCT APPROVAL NUMBERS

PRODUCT CATEGORY	SUB-CATEGORY	MANUFACTURER	PRODUCT APPL #
ROOFING	ASPHALT SHINGLES	OWENS CORNING	FL 10674 R9
ROOF UNDERLAYMENT	SELF ADHERING UNDERLAYMENT	GCP APPLIED TECHNOLOGIES	FL 298.1
SOFFIT & FASCIA	SOFFIT/FASCIA	KAYCAN	FL 24564.4
WALL SIDING	EXTERIOR	LP BUILDING SOLUTIONS	FL 9190 R9
EXTERIOR DOORS	SINGLE SWINGING	PLAST PRO	FL 15213
WINDOWS	SINGLE HUNG	MI	FL 15350.1
ROOFING	ROOF VENT	LOMANCO	FL 3742 RIO
STRUCTURAL COMPONENTS	PRECAST LINTELS	CAST-CRETE	FL 158.1



EXISTING LEFT ELEVATION
1/4" = 1'-0"



EXISTING RIGHT ELEVATION
1/4" = 1'-0"

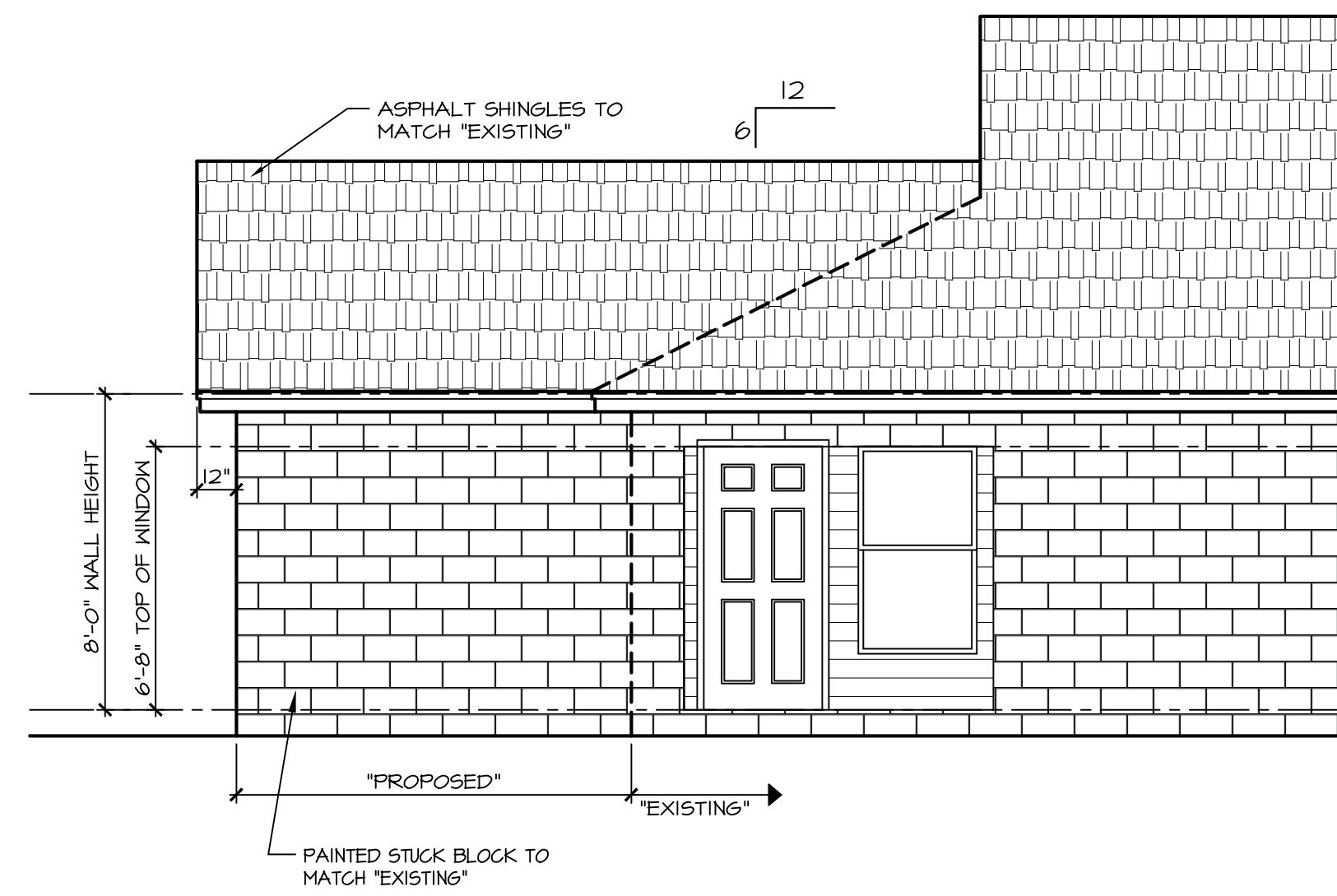
ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1958 E. EDGEWOOD DRIVE, LAKELAND, FLORIDA 33803
PHONE: 863-688-6500 FAX: 863-688-6557
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB6347
RICHARD L. KIDDEY, P.E. — FLORIDA LICENSE # 37296

PROJECT:
SERIO RESIDENCE
1518 S DAKOTA AVE
LAKELAND, FL

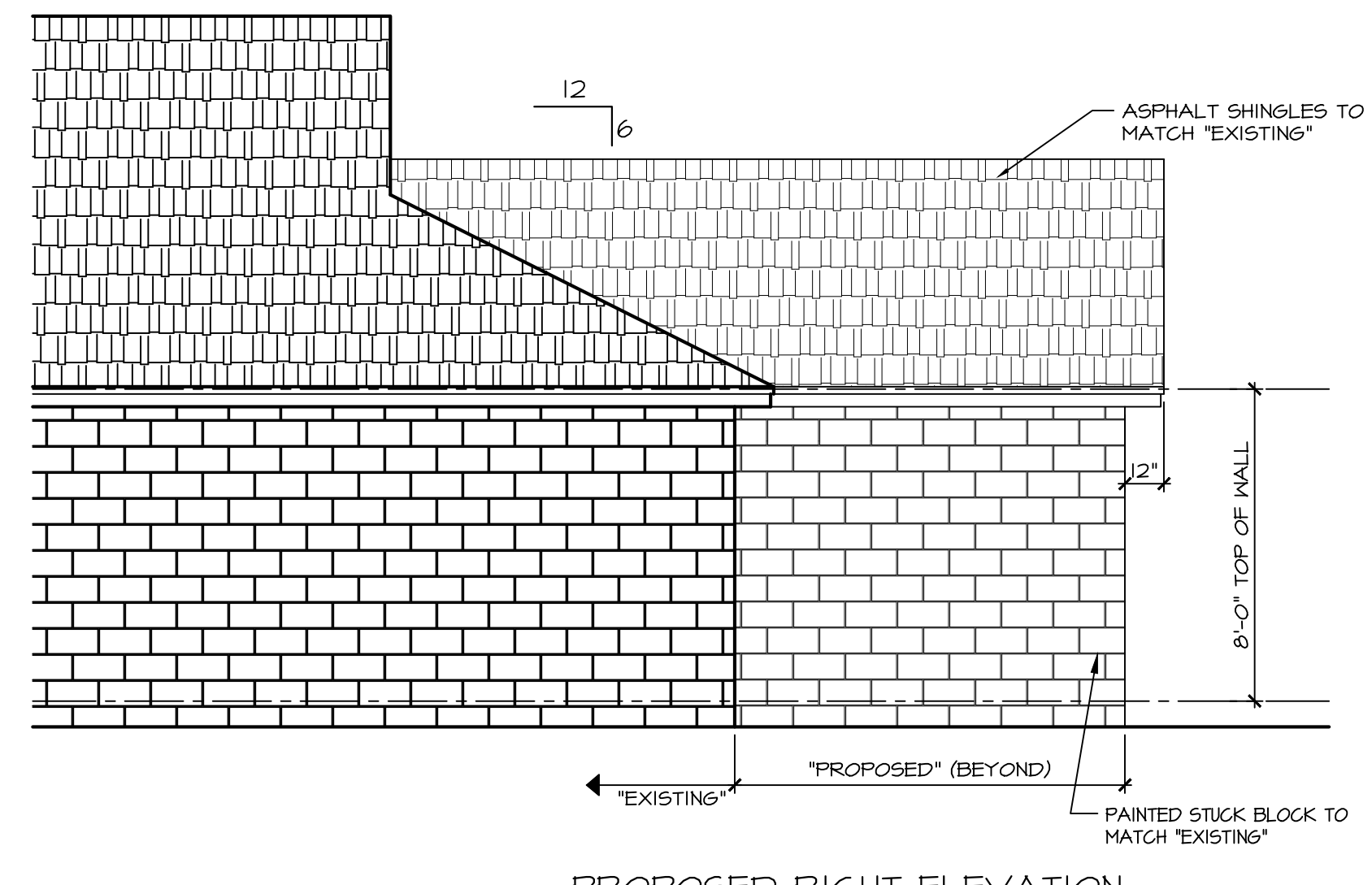
DATE: 1-16-23
SCALE: AS NOTED
JOB # 20283

I HEREBY CERTIFY:
THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION FOR 140 MPH ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION.
THIS RENOVATION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA BUILDING CODE - EXISTING BUILDING - 7TH EDITION FOR ALTERATION LEVEL 2. & CHAPTER II ADDITIONS

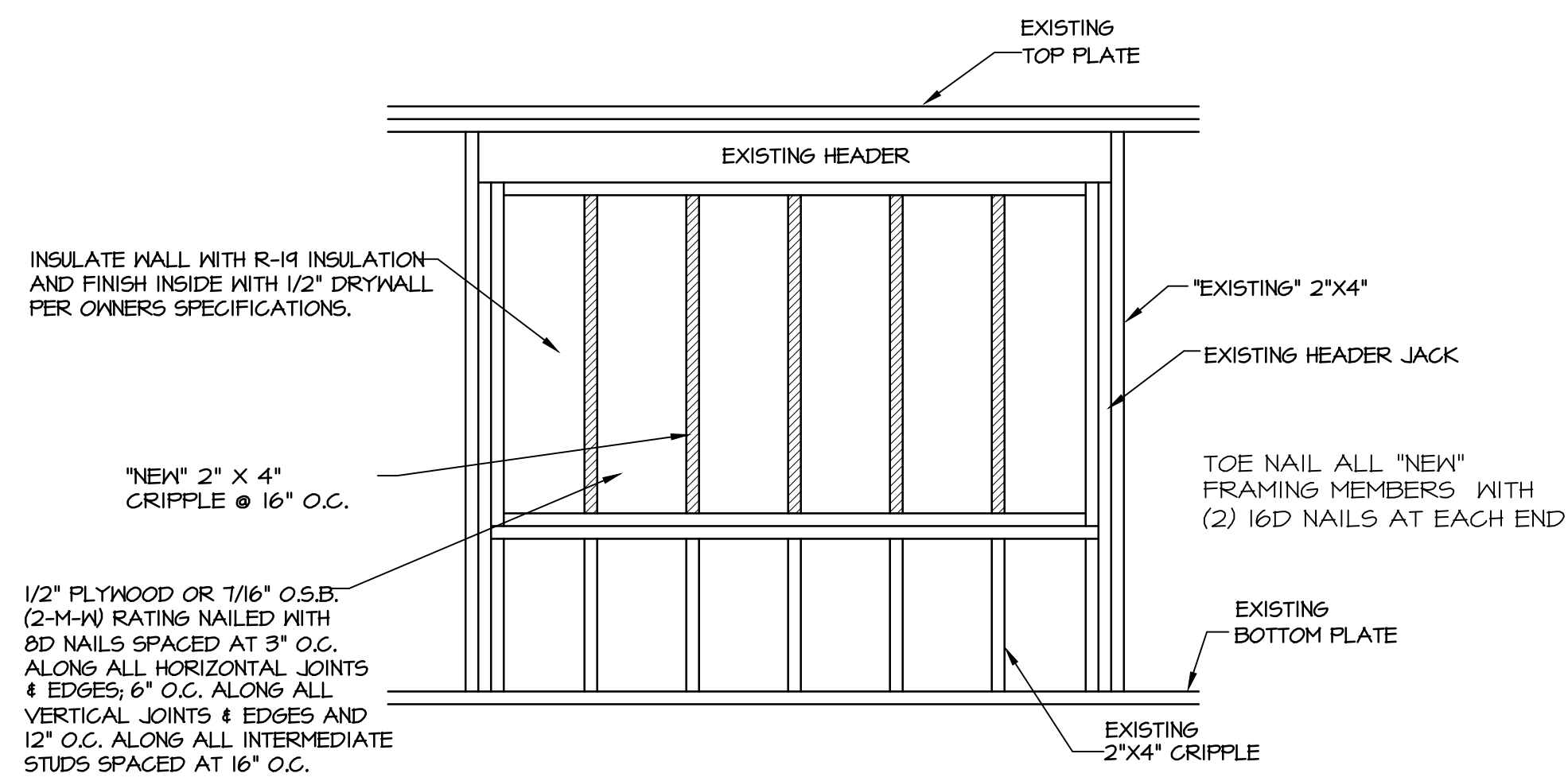
SHEET
1
PERMIT SET



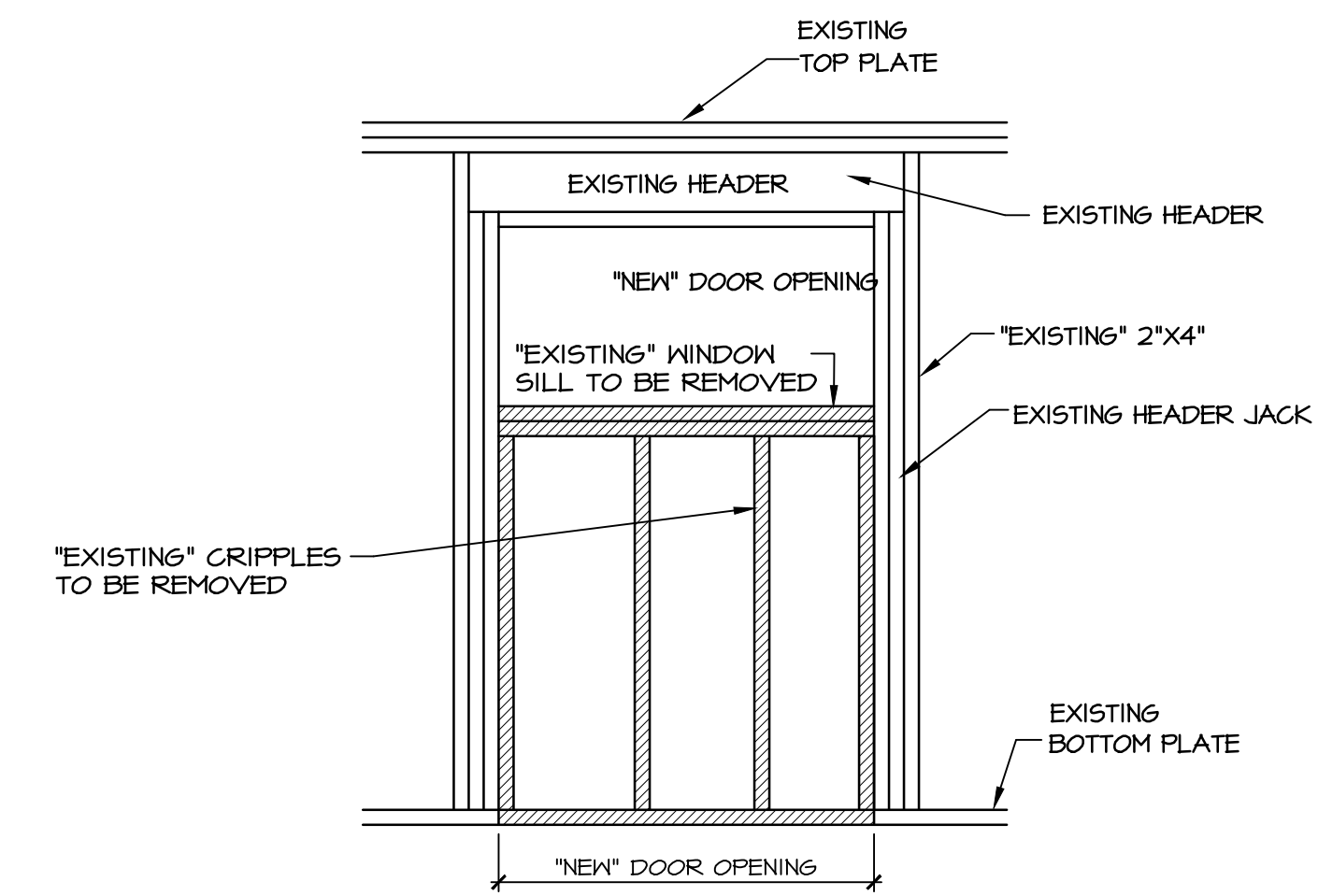
PROPOSED LEFT ELEVATION
1/4" = 1'-0"



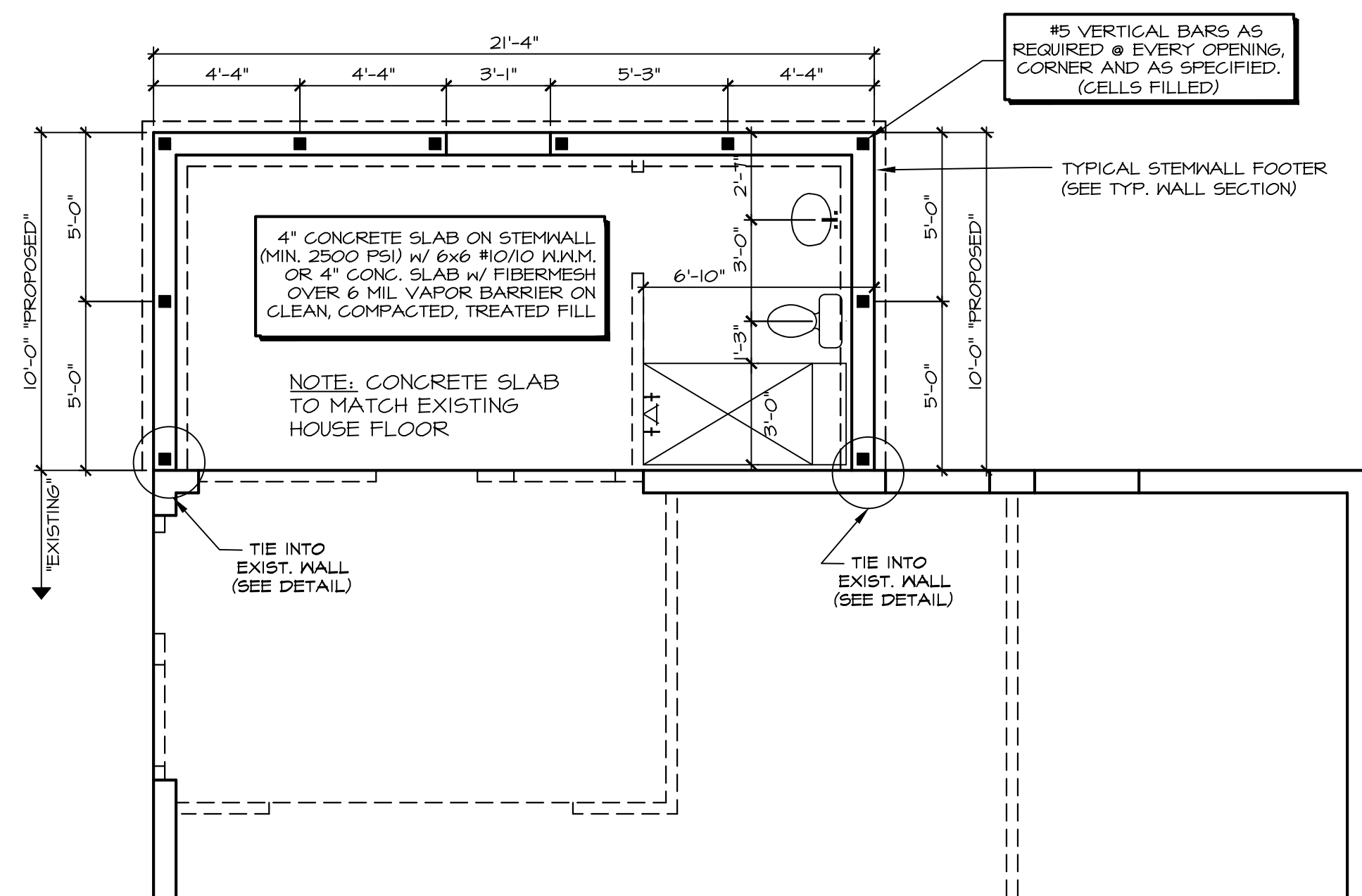
PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



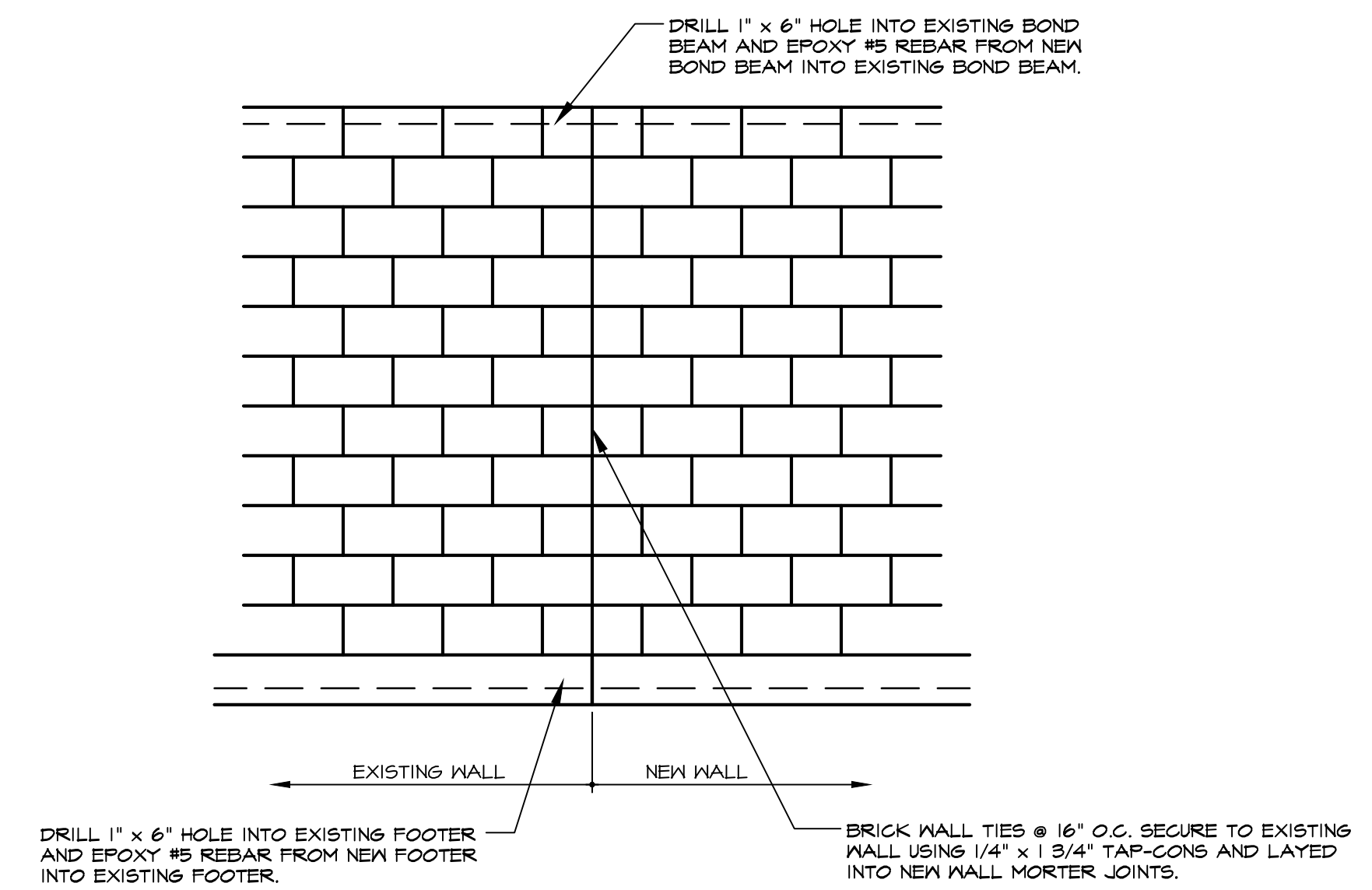
WINDOW FILLER DETAIL
NOT TO SCALE



WINDOW TO DOOR DETAIL
SCALE: 1/2" = 1'-0"



PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



NEW WALL TO EXISTING WALL DETAIL
1/4" = 1'-0"

I HEREBY CERTIFY THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION.

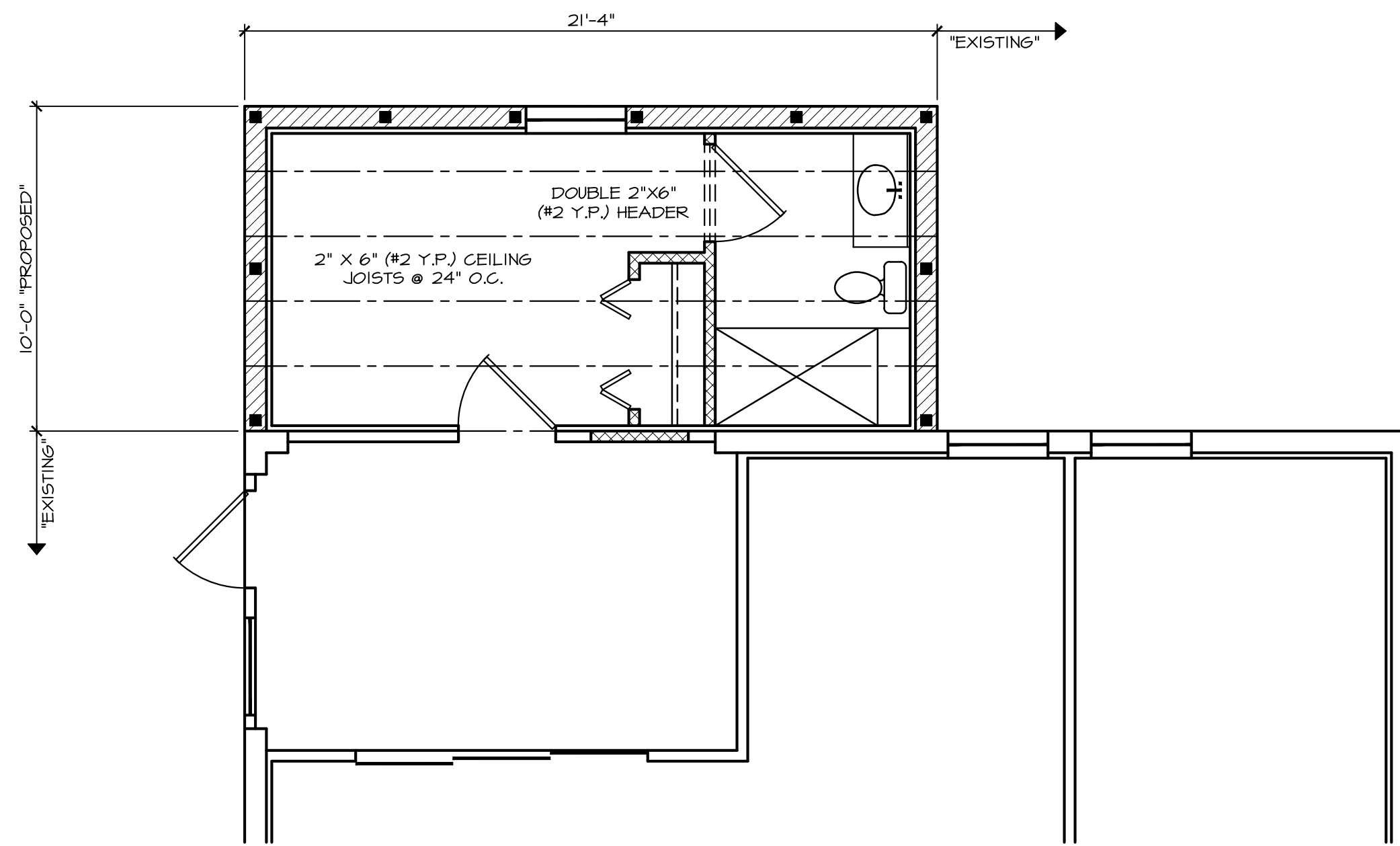
THIS RENOVATION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA BUILDING CODE - EXISTING BUILDING ~ 7TH EDITION FOR ALTERATION LEVEL 2. & CHAPTER II ADDITIONS

ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1950 E. EDGEWOOD DRIVE, LAKELAND, FLORIDA 33603
PHONE: 863-668-6500 FAX: 863-668-6551
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB66347
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 51296

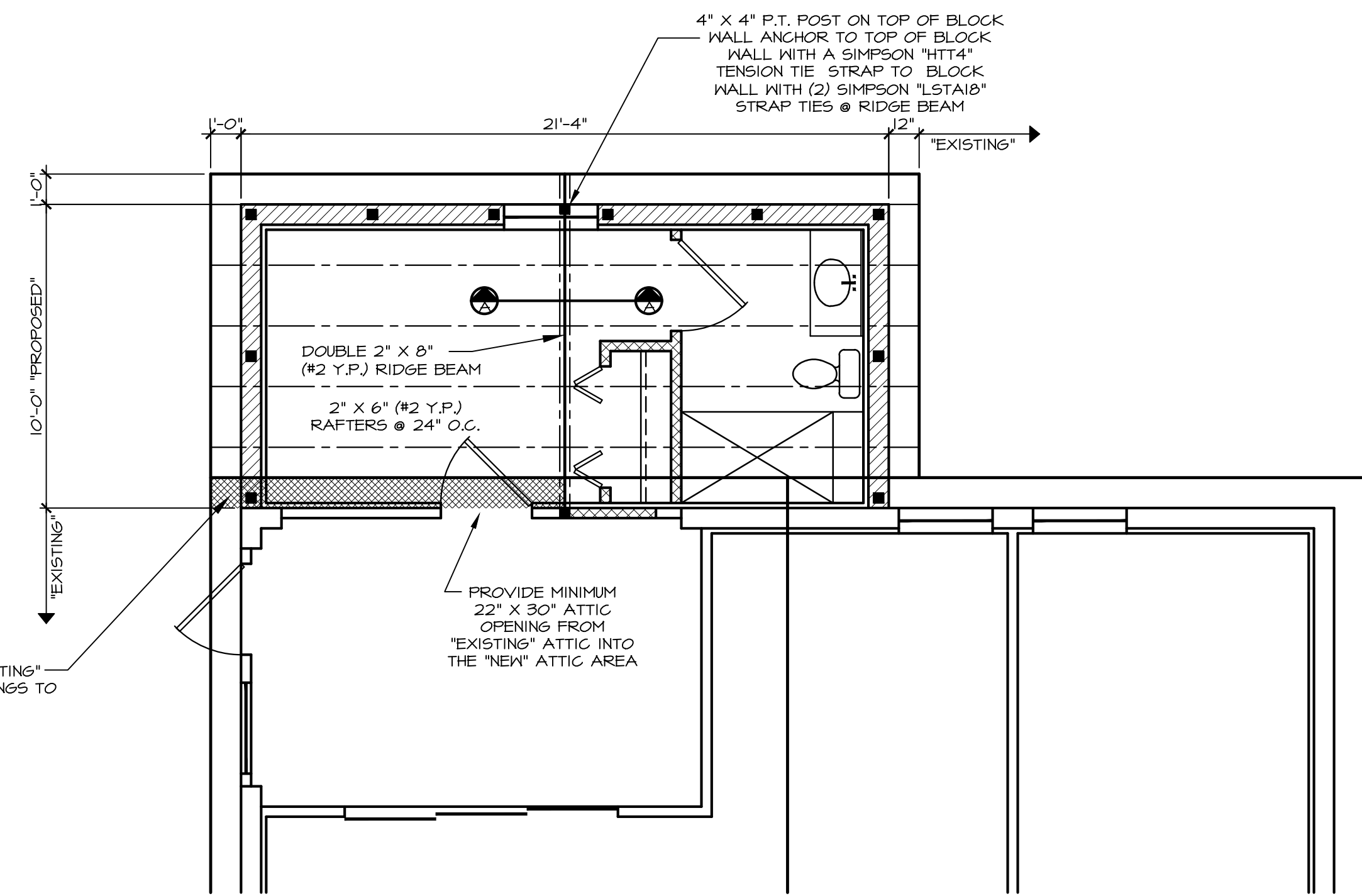
PROJECT:
SERIO RESIDENCE
1518 S DAKOTA AVE
LAKELAND, FL

DATE: 1-16-23
SCALE: AS NOTED
JOB # 20283

SHEET
2
PERMIT SET



PROPOSED CEILING PLAN
1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"

ATTIC VENTILATION CALC'S:

214 S.F. ATTIC AREA / 300 = 0.71 S.F. X 144 = 103 S.I.
 103 S.I. / 2 = 52 S.I. UPPER & LOWER VENTILATION REQUIRED
 UPPER VENTILATION PROVIDED
 1 LOMANGO T70 STATIC ROOF VENT AT 70 S.I. / EA = 70 > 52 S.I.
 LOWER VENTILATION PROVIDED
 41 FT. SOFFIT VENTS (MIN.) AT 6.42 S.I./FT = 263 > 52 S.I.

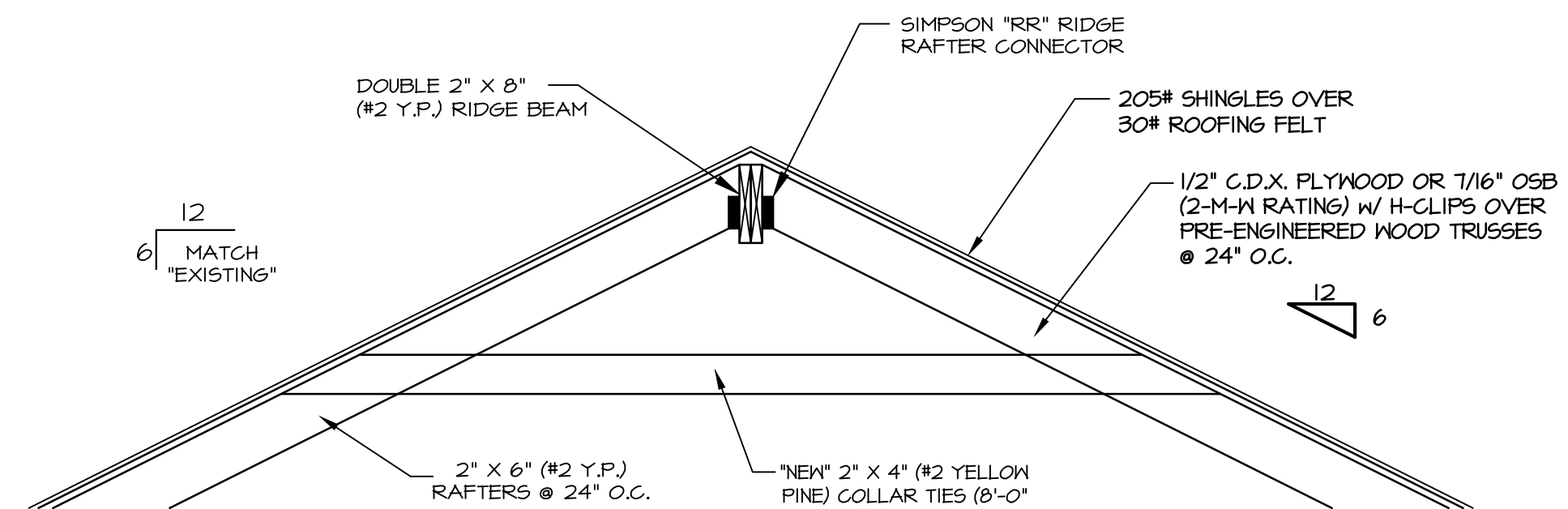
IF AREAS ARE TO BE CONVENTIONALLY FRAMED, USE #2 YELLOW PINE FOR ROOF RAFTERS @ 24" O.C. AND FOR VALLEY SETS OVER EXISTING ROOF

LUMBER	MAX. SPAN
2" x 6"	12'-3"
2" x 8"	15'-10"
2" x 10"	18'-11"
2" x 12"	22'-2"

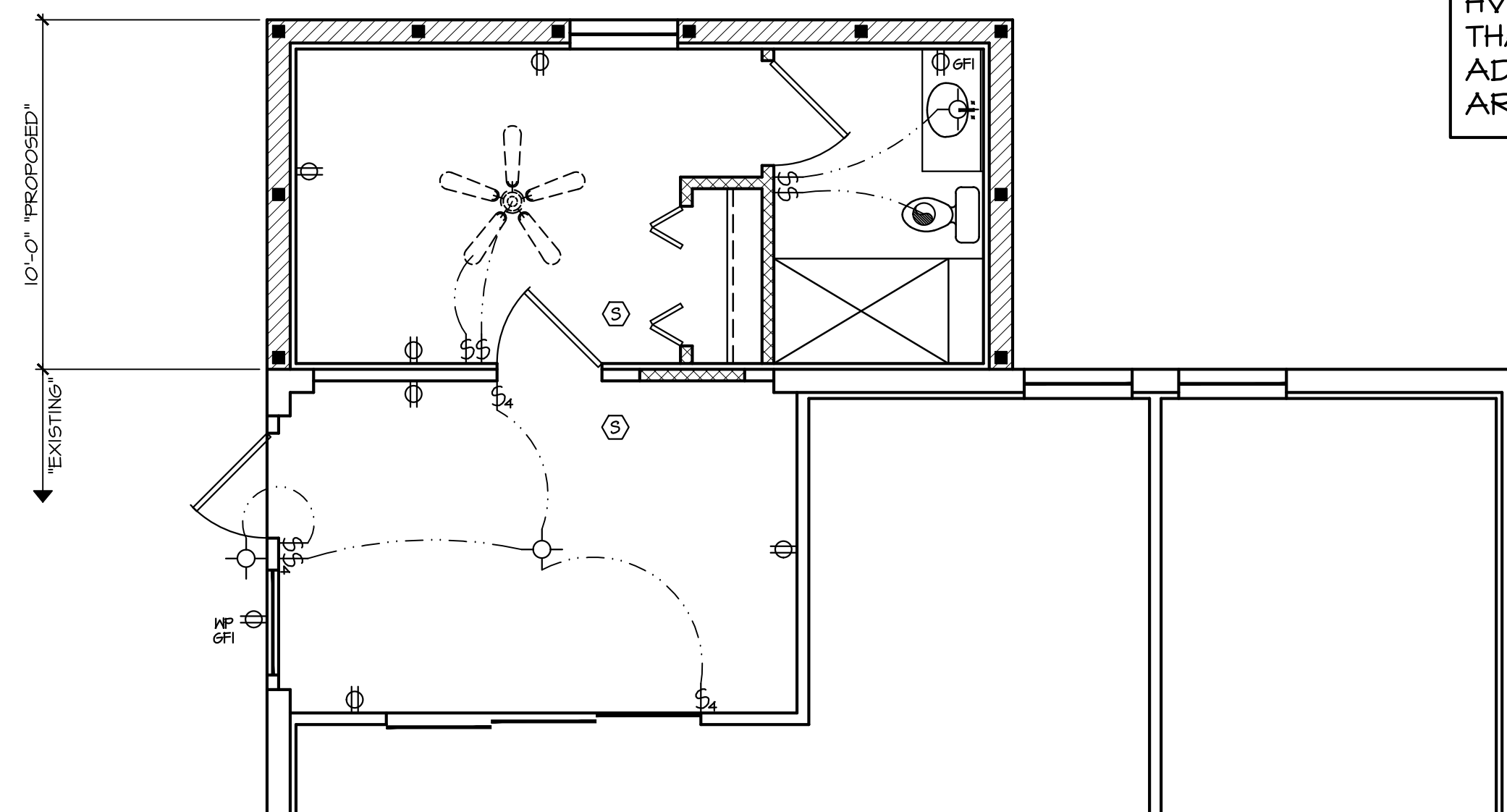
SMOKE ALARMS & CARBON MONOXIDE PROTECTION:

SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING (INCLUDING BASEMENTS, BUT NOT CRAWL SPACES AND UNINHABITABLE ATTICS). SMOKE ALARMS SHALL BE INTERCONNECTED, HARD-WIRED AND HAVE A BATTERY BACK-UP. IN ADDITION TO SMOKE ALARMS, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES. A COMBINATION SMOKE/CARBON MONOXIDE ALARM MAY BE USED.

HVAC CONTRACTOR TO VERIFY THAT EXISTING SYSTEM IS ADEQUATE TO SUPPORT ADDED AREAS.



SECTION A-A
NOT TO SCALE



PROPOSED ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL LEGEND

- ⊕ ELECTRICAL OUTLET (110 VOLT, DUPLEX)
 - ⊕ SWITCHED ELECTRICAL OUTLET (110 VOLT, DUPLEX)
 - ⊕ WEATHERPROOF ELECTRICAL OUTLET GROUND FAULT (110 VOLT, DUPLEX)
 - ⊕ 220V OUTLET
 - ⊕ SPECIAL PURPOSE CONNECTION
 - ⊕ TELEPHONE OUTLET
 - ⊕ TELEVISION OUTLET
 - ⊕ SWITCH
 - ⊕ 3-WAY SWITCH
 - ⊕ 4-WAY SWITCH
 - ⊕ SURFACE MOUNT LIGHT FIXTURE PREWIRE
 - ⊕ MOISTURE RESISTANT ROUND RECESS FOR TUB/SHOWER LOCATION
 - ⊕ ROUND RECESSED LIGHT FIXTURE
 - ⊕ SMOKE/CARBON MONOXIDE DETECTOR
 - ⊕ CEILING FAN PREWIRE
 - ⊕ 24" CEILING MOUNT FLUORESCENT LIGHT FIXTURE
 - ⊕ 48" CEILING MOUNT FLUORESCENT LIGHT FIXTURE
 - ⊕ SOFFIT MOUNT FLOOD LIGHTS
 - ⊕ EXHAUST FAN
 - ⊕ EXHAUST FAN / LIGHT FIXTURE COMBO
 - ⊕ ELECTRICAL SERVICE PANEL
- OUTLETS IN KITCHEN, BATHS, GARAGE AND WITHIN 6'-0" OF WATER SOURCE SHALL BE GFI TYPE
 ALL OTHER OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT BREAKER

I HEREBY CERTIFY THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION FOR 140 MPH ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION.

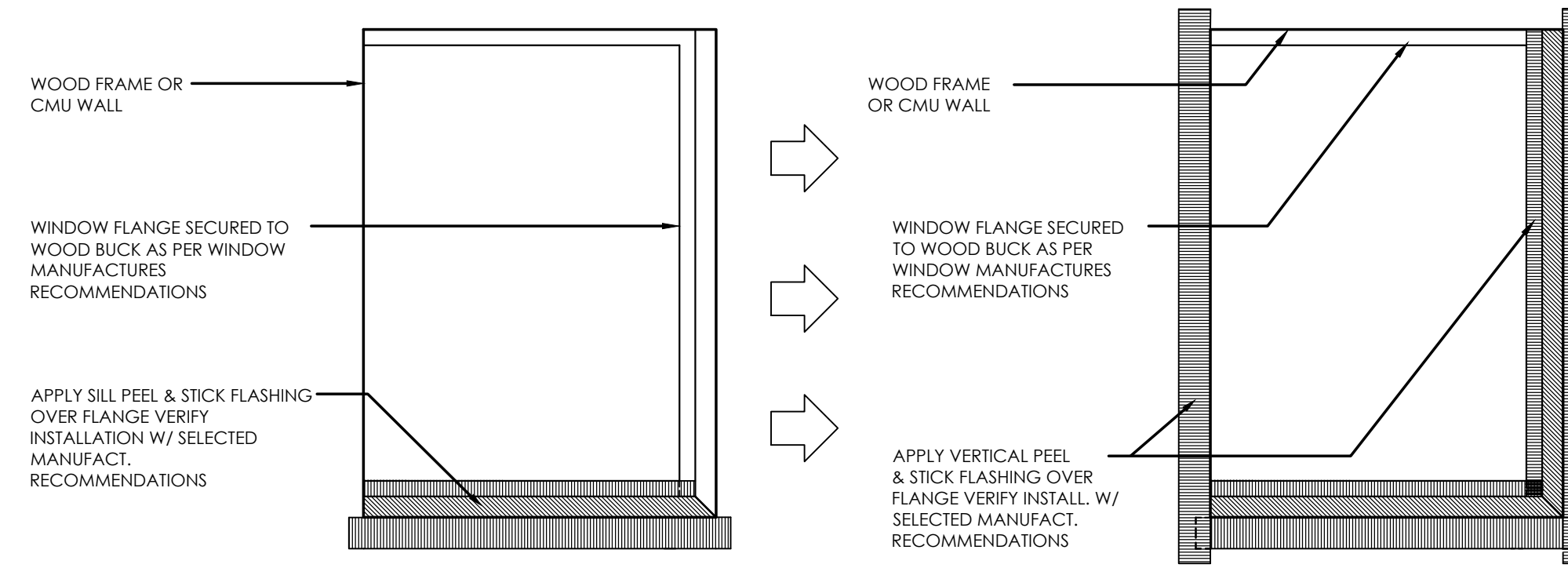
THIS RENOVATION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA BUILDING CODE - EXISTING BUILDING - 7TH EDITION FOR ALTERATION LEVEL 2. & CHAPTER II ADDITIONS

ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
 STRUCTURAL ENGINEERS
 1956 E. EDGEWOOD DRIVE, LAKELAND, FLORIDA 33803
 PHONE: 863-688-6500 FAX: 863-688-6557
 STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB6347
 RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 37246

PROJECT:
SERIO RESIDENCE
 1518 S DAKOTA AVE
 LAKELAND, FL

DATE: 1-16-23
 SCALE: AS NOTED
 JOB # 20283

SHEET
3
 PERMIT SET



NOTE:

STEP #1

STEP #2

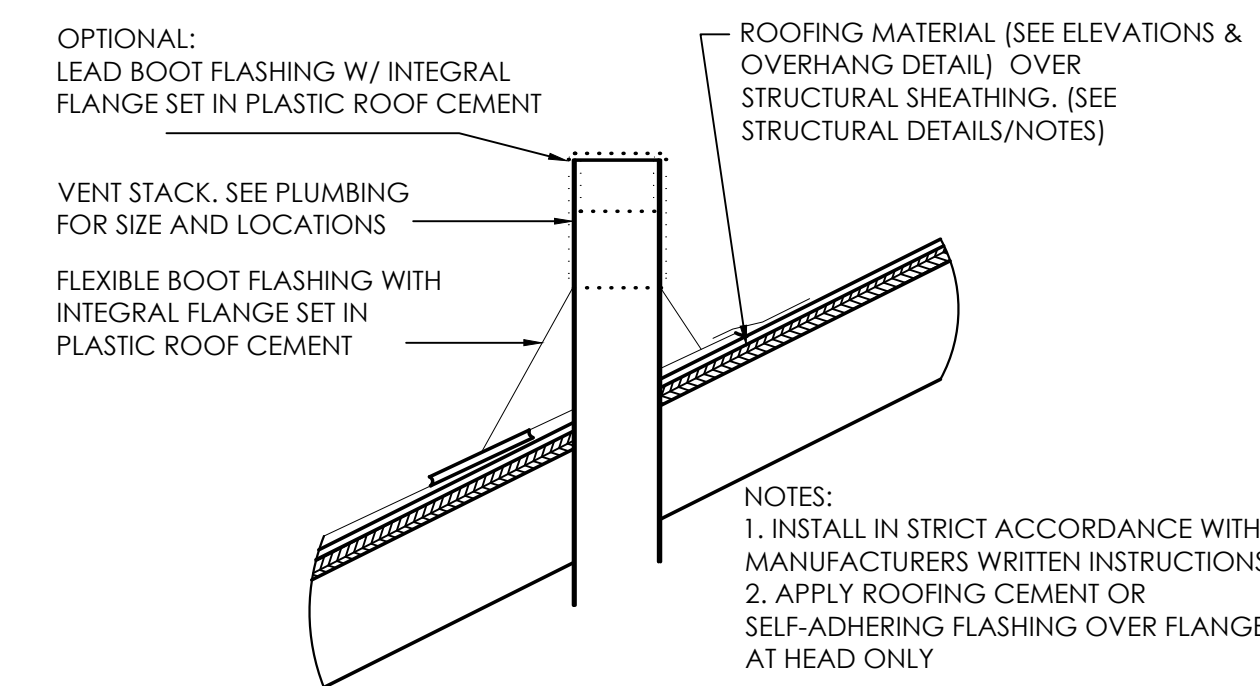
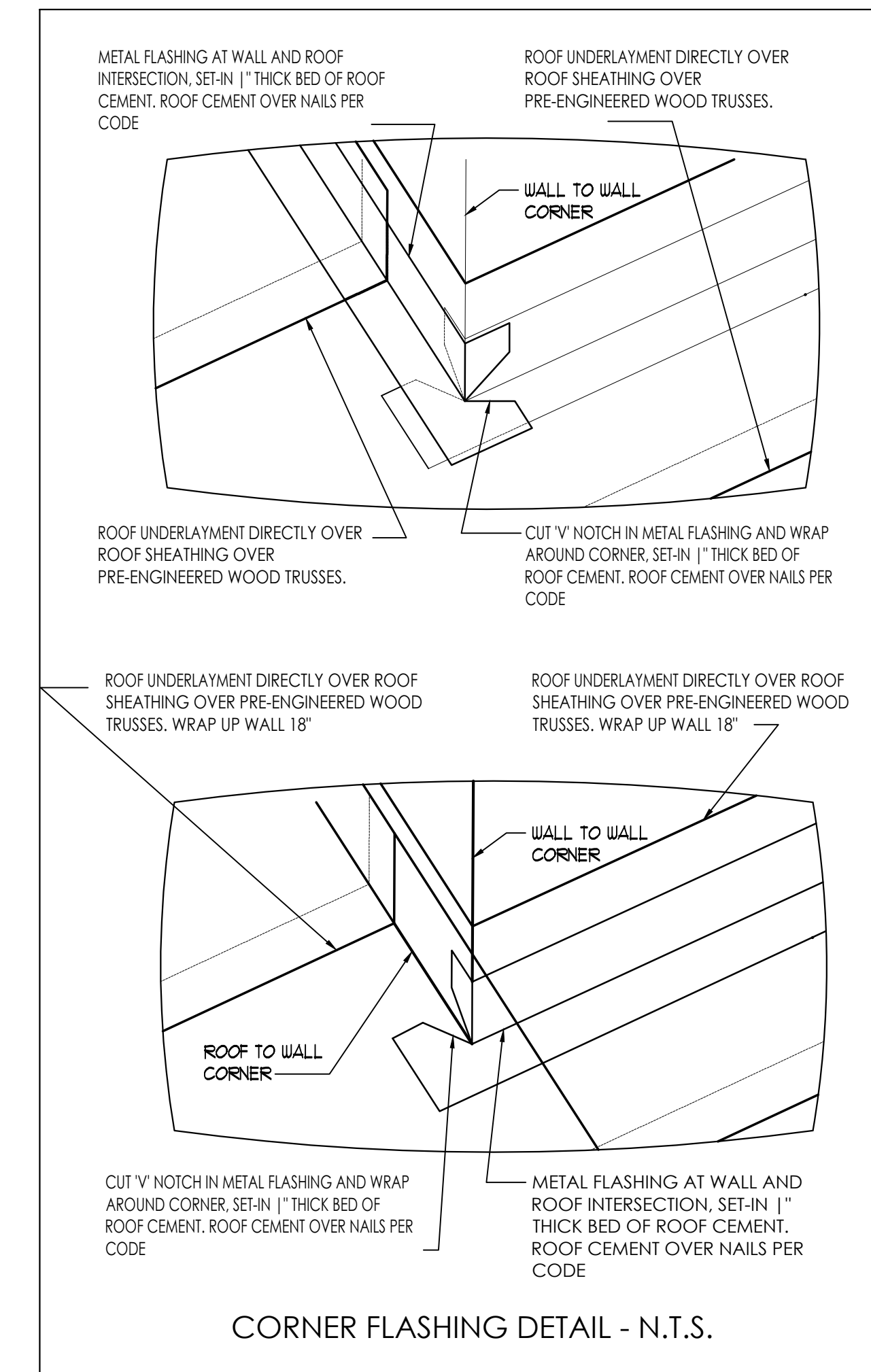
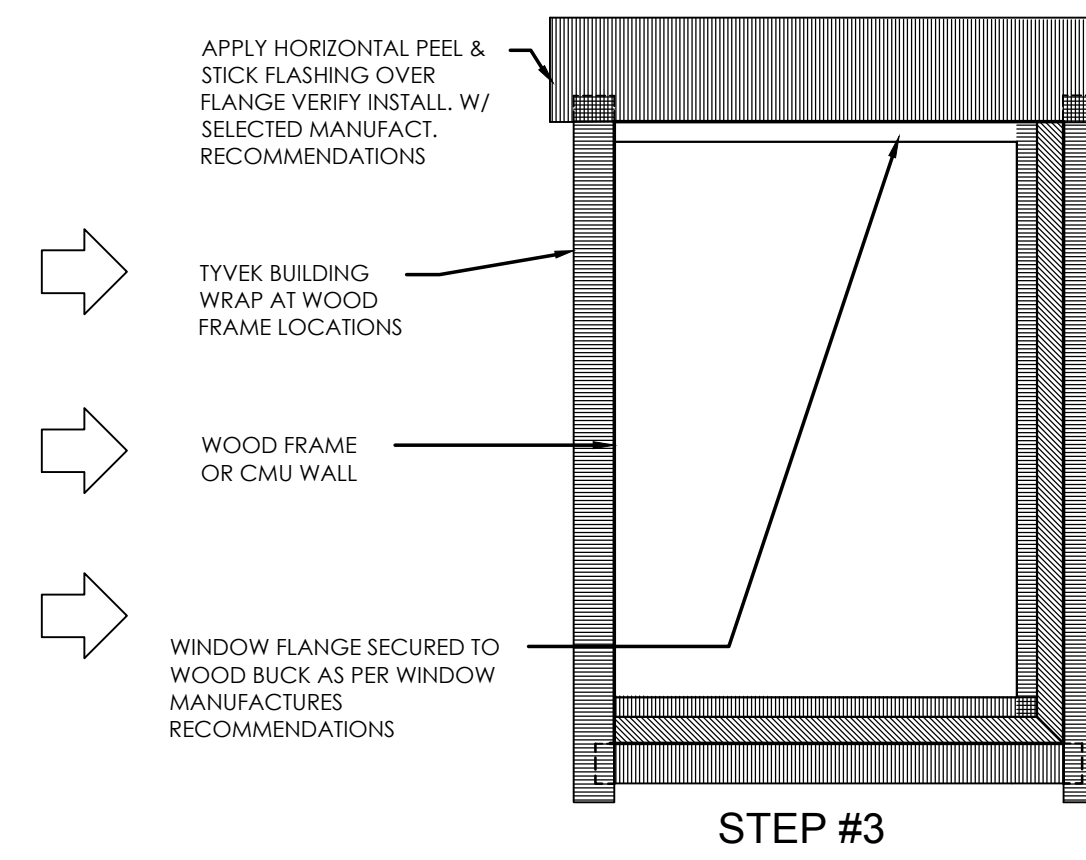
CONTRACTOR TO FLASH AND SEAL ALL **WINDOW AND DOOR OPENINGS** PER THE MANUFACTURER'S RECOMMENDATION AND SHALL PROVIDE A COMPLETE WATER TIGHT SEAL.

FLASHING NOTES:

PROVIDE CORROSION-RESISTIVE FLASHING IN THE EXTERIOR WALL ENVELOPE TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. AT THE TOP OF ALL EXTERIOR **WINDOWS AND DOOR** OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING CONTINUOUS LAP OF NOT LESS THAN 1/8 INCH OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.

EXTERIOR DOOR & WINDOW FLASHING



ROOF-TO-WALL FLASHING NOTES:

4" X 5" ANGLE FLASHING - 26 GAUGE GALVANIZED METAL, RUBBER VALLEY FLASHING OR 12" WIDE - 26 GAUGE GALVANIZED METAL WITH SHINGLES OVER THE TOP.

MATERIAL SPECIFICATIONS:

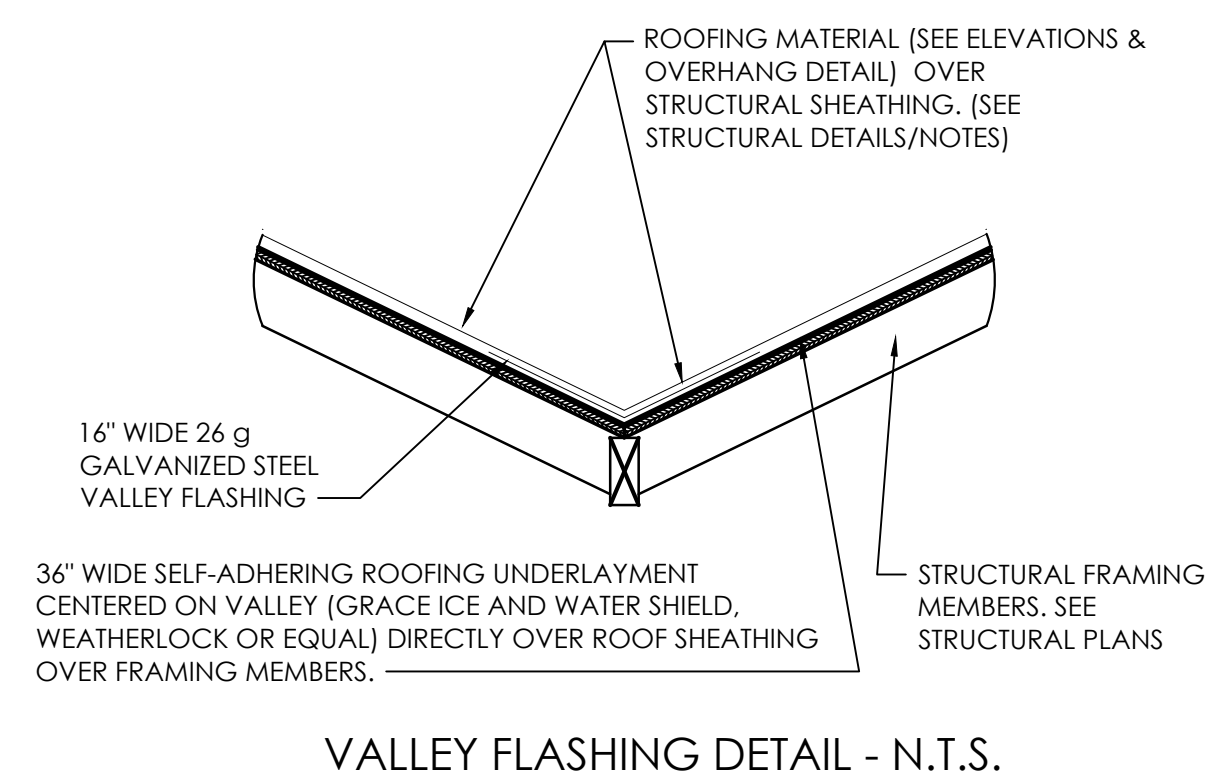
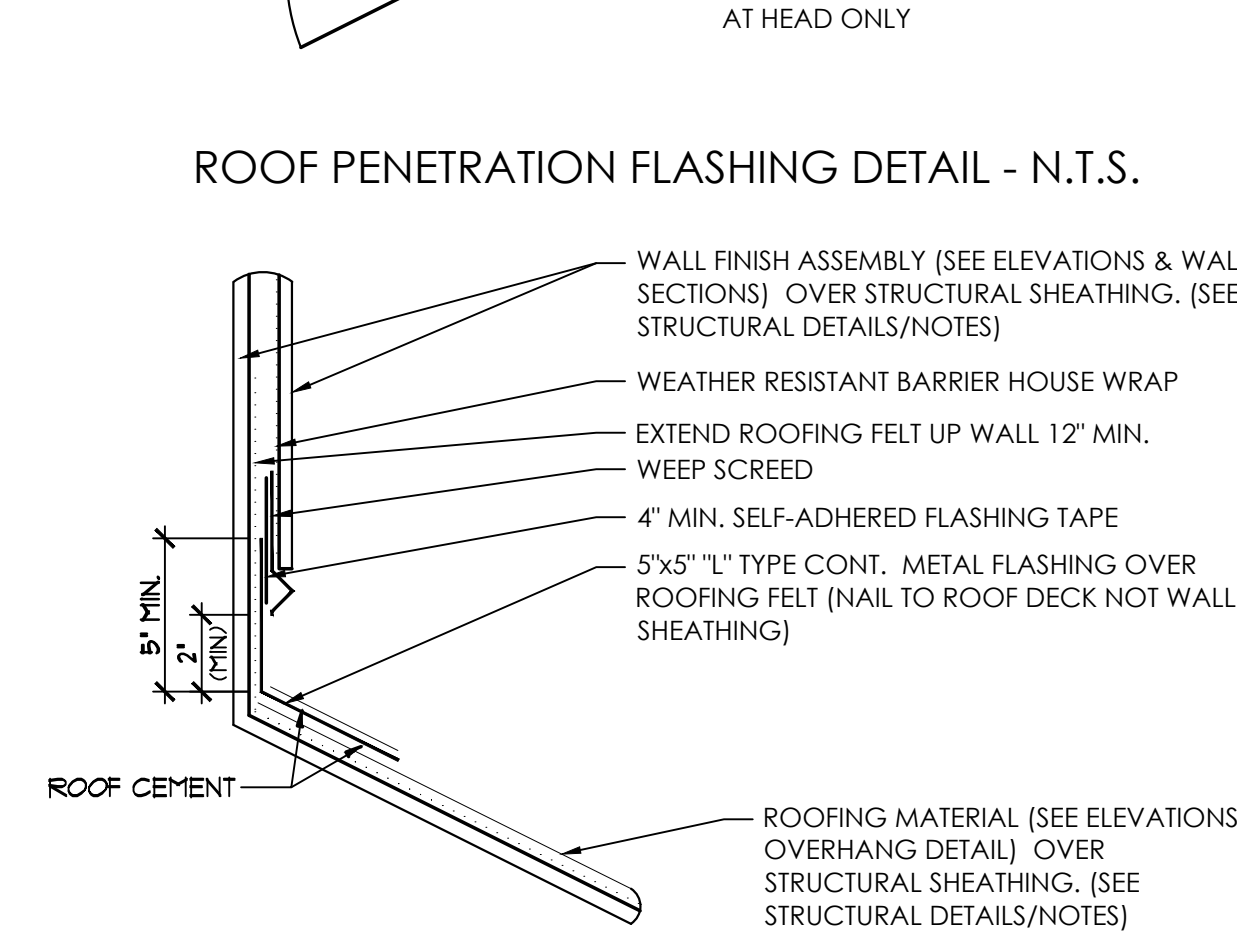
UNDERLAYMENT SHALL CONFORM TO ASTM D226, TYPE II OR ASTM 4869, TYPE III AND SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER. UNDERLAYMENT SHALL BE APPLIED SHINGLED FASHION, PARALLEL TO & STARTING FROM THE EAVE & LAPPED 2" (51MM), FASTENED W/ 1" (25MM) ROUND PLASTIC CAP, METAL CAP NAILS OR TIN-TABS ATTACHED TO A NAILABLE DECK W/ TWO STAGGERED ROWS IN THE FIELD OF THE SHEET W/ A MAXIMUM FASTENER SPACING OF 12" (305MM) O.C. AND ONE ROW AT THE OVERLAPS FASTENED 6" (152MM) O.C.

SYNTHETIC UNDERLAYMENT SHALL BE FASTENED IN ACCORDANCE W/ THIS SECTION & THE MANUFACTURER'S RECOMMENDATIONS.

FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH FBC R903.2.4 ASPHALT SHINGLES SHALL COMPLY TO ASTM D7158-CLASS G OR H, OR ASTM D3161-CLASS F, TABLE R905.2.6.1.

ROOF SHINGLE & FLASHING INSTALLATION SPEC'S

NOT TO SCALE



ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
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1498 E. EDGEWOOD DRIVE LAKELAND, FLORIDA 38608
PHONE: 865-668-6600 FAX: 865-668-6551
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB66847
RICHARD L. KIDDET, P.E. - FLORIDA LICENSE # 51246

THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1604 OF THE 2020 FLORIDA BUILDING CODE (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL 1TH EDITION.

FLASHING DETAILS

DATE: 1-2-22
SCALE: AS NOTED
JOB # FBC2020-140
SHEET
F
PERMIT SET

