AGENDA
HISTORIC PRESERVATION BOARD
Lakeland City Hall, City Commission Chambers
September 25, 2025, 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance *(free of charge)* should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

I. Call to order, determination of a quorum, and roll call

II. Review and approval of the August 28, 2025 Historic Preservation Board meeting minutes

III. Old Business:

A. Historic Lakeland, Inc. Watch List Report
   i. 2430 New Jersey Road*
   ii. 302 E. Belvedere Street *
   iii. 632 Easton Street*
   iv. 2304 Carolina Avenue*
   v. 417 Frank Lloyd Wright Way (C.W. Deen House)
   vi. 412 N. Massachusetts Avenue*
   vii. 104-106 E. Main Street (Hartsell Building)
   viii. 121-123 N. Kentucky Avenue (Montgomery Ward Building)
   ix. 321 W. Peachtree Street*

B. Board Discussion regarding Local Landmark Designation (Continued)

IV. New Business:

A. Lakeland Historic Districts Resurvey Project, Phase 2 Results

V. Adjourn for Design Review Committee

*Not located within a Historic District.

MINUTES

HISTORIC PRESERVATION BOARD
City Commission Chambers
Thursday, August 28, 2025
8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Marlana Alvarez, Bruce Anderson, Tracey Downey, Ricardo Jimenez, Natalie Oldenkamp, Chris Olson, Cesar Perez, and Michael Porter were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Katie Prenoveau, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Chair Dr. Bruce Anderson called the Thursday, August 28, 2025 meeting of the Historic Preservation Board ("Board") to order at 8:30 a.m. A quorum was reached, as seven Board members were present. Mr. Ricardo Jimenez was not present at the time attendance was taken.

II. Review and Approval of Previous Meeting Minutes

Mr. Chris Olson motioned to approve the July 24, 2025 meeting minutes as presented. Mr. Ms. Natalie Oldenkamp seconded the motion. The motion passed 7—0.

III. Old Business:

A. Historic Lakeland, Inc. Watch List Report. Ms. Emily Foster provided the Board with an update on the newly added buildings.

i. 2430 New Jersey Road*
ii. 302 E. Belvedere Street *
iii. 632 Easton Street*
iv. 2304 Carolina Avenue*
v. 417 Frank Lloyd Wright Way (C.W. Deen House)
vi. 412 N. Massachusetts Avenue*
vii. 104-106 E. Main Street (Hartsell Building)
viii. 121-123 N. Kentucky Avenue (Montgomery Ward Building)

B. Board Discussion regarding Local Landmark Designation (Continued)

*Not located within a Historic District; brief building histories provided to Board

IV. **New Business:**

A. Annual Election of HPB and DRC Chair and Vice-Chair. Ms. Natalie Oldenkamp made a motion for keeping the status quo in terms of the organization. Ms. Tracey Downey seconded he motion and it passed 8—0. Dr. Bruce Anderson will remain HPB Chair and DRC Vice-Chair and Mr. Michael Porter will remain DRC Chair and HPB Vice-Chair for one year.

B. Staff recommendation to appoint Marlana Alvarez to the Design Review Committee. Ms.

Oldenkamp made a motion to appoint Marlana Alvarez to the Design Review Committee. Mr. Cesar Perez seconded the motion and it passed 8—0.

V. **Adjourn for Design Review Committee.** The meeting adjourned at 8:42 a.m.

The Historic Preservation Board reconvened at 9:11 a.m. for a presentation made by Mr. Michael Porter following Board Discussion regarding Local Landmark Designation. The meeting adjourned at 9:45 a.m.

_____ _____

Chair, Historic Preservation Board Senior Planner, Historic Preservation

Lakeland Historic Districts Resurvey Project, Phase 2
Dixieland and Munn Park Historic Districts
Survey Findings and Recommendations

Munn Park

- Identified a total of 80 resources for survey and documentation.
- Found 17 buildings that have been demolished.
- 5 buildings individually eligible for NRHP listing, but Ardurra does not recommend nomination of these as they are already included in the NRHP Munn Park Historic District.
- 66 of 82 previously recorded resources were classified as contributing to the District. 16 previously recorded resources classified as non-contributing remain non-contributing.
- One newly recorded resource (PO10309 115 S. Tennessee Ave) is age-eligible but does not contribute to District.
- 17 resources were documented that are adjacent to but outside of the current District boundaries.
- Of the 17 resources documented outside of current District boundaries, one resource (PO02229: First Baptist Church) sits adjacent to the northwest border of the district at the northeast intersection of N. Florida Avenue and E. Bay Street. Built in 1948, PO02229 is now known as Trinity Presbyterian Church and could be considered a contributing resource to the district if the period of significance is extended past the current 1946 date and the district boundary is expanded north to include the city block encompassing the church complex.
- Does not recommend extending the current period of significance (1884-1946) beyond 1946. The year 1946 remains an acceptable cut-off date because most of the resources in the Munn Park Historic District were built during the Progressive Era (1890-1918) and Florida Land Boom Period (1919–1929). These two periods alone make up 75% of the built environment in the district and represent a golden age of development in downtown Lakeland.

Dixieland

- Identified a total of 690 resources for survey and documentation.
- Found 51 buildings that have been demolished.
- Found 2 buildings individually eligible for NRHP listing but does not recommend pursuing designation as they are already located in NRHP-listed Dixieland Historic District. (PO03584 Dixieland Grammar School and PO04518 R.T. George House, 822 W. Patterson Street.
- 405 of 419 previously recorded resources in the locally designated Dixieland Historic District have integrity and contribute to the district. 12 resources recommended non-contributing. The status of 2 resources could not be determined due to dense vegetation and a high concrete breeze block wall
- 61 of 271 newly recorded resources retain integrity and are age-eligible to contribute to the district within an expanded period of significance to 1975.
- 66 resources were adjacent to the Dixieland Historic District survey area and documented. Most of these resources are located along the south and east boundaries of the district. Out of this group, 28 resources already contribute to the South Lake Morton Historic District which abuts the Dixieland Historic District to the east. In addition, 15 resources already contribute to the Beacon Hill – Alta Vista Residential District which partially abuts Dixieland to the south. The remaining 23 resources are scattered around the southern edges of Dixieland and do not belong to a specific district. Six of these resources are recommended as contributing within the existing period of significance while three are recommended as contributing with an expanded period of significance.
- Does not recommend a boundary expansion
- Recommends expanding the period of significance to 1975 for both local and NRHP designations.

Additional General Recommendations

1. Recommend city staff, elected officials, business owners and residents, and entities like the Dixieland Community Redevelopment Agency utilize the information contained within this report to foster a greater understanding of the historical character of the Munn Park and Dixieland Historic Districts. Potential methods for sharing the report's findings include making it available at public venues and easily accessible online.
2. Recommend the City of Lakeland actively promote the utilization of historic tax credits and call attention to historic buildings as a fundamentally environmentally sound development choice. Historic preservation efforts frequently aim to align with sustainability principles. Revitalizing, restoring, or adaptively reusing existing buildings offers a pathway to breathe new life into them while minimizing environmental impact.
3. Natural disasters remain a major threat to historic resources. Considering the growing intensity and frequency of hurricanes in Florida, it is strongly advised that the City of Lakeland prioritize and integrate disaster preparedness into its preservation planning efforts. In addition, regularly updating a disaster preparedness plan for the city's historic resources is an essential part of the mitigation process.

AGENDA

DESIGN REVIEW COMMITTEE
Lakeland City Hall, City Commission Chambers
September 25, 2025
immediately following the Historic Preservation Board Meeting

---

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance *(free of charge)* should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

I. Call to order, determination of a quorum, and roll call.

II. Review and approval of the August 28, 2025 Design Review Committee meeting minutes.

III. Review Certificates of Review administratively approved since the previous meeting.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Assistant City Attorney.

B. HPB25-173 – 711 Frank Lloyd Wright Way – Final Approval requested to construct a new single-family house and detached garage on the subject property. Owner: Roger and Tammy Bryan. Applicant: Hulbert Homes Inc.

V. Other Business: NONE

VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE

City Commission Chambers

Thursday, August 28, 2025

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee met in Regular Session; Marlana Alvarez, Bruce Anderson, Ricardo Jimenez, Natalie Oldenkamp, Chris Olson, Cesar Perez and Michael Porter were present. Historic Preservation Board member Tracey Downey were also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Katie Prenoveau, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair Michael Porter at 8:42 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Mr. Chris Olson made a motion to approve the July 24, 2025 minutes as presented. Dr. Bruce Anderson seconded the motion. The motion passed 7—0.

III. Review of Certificates of Review administratively approved.

A list of twelve (16) administratively approved Certificate of Review projects covering the period 7/18/25-8/21/25 was included with the agenda packet. There were no additional questions or comments about these projects.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Assistant City Attorney Katie Prenoveau.

B. **<u>HPB25-147 – 14 Lake Hollingsworth Drive</u>** – Final Approval requested to demolish the house at the subject address in preparation to relocate an existing house to this property. Owner: Ludd Spivey LLC. Applicant: Steve Bivens Contracting Inc.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the property is located along Lake Hollingsworth Drive south of Melton Avenue and consists of 0.46 acres. On this property is a one-story single-family house, which was built in 1976 and is a non-contributing building in the South Lake Morton Historic District. The owner of the property owner recently purchased it and found that the house is in a partially renovated and unfinished state. According to the Applicant, the prior work is incomplete, may not meet building codes, and presents structural and safety concerns. Additionally, the grading of the lot poses drainage issues, creating an increased risk of water intrusion and flooding during heavy rainfall or storm events. Given the scope and cost of necessary repairs, restoring the existing structure is not considered to be feasible or reasonable. If demolition of the subject house is approved, the Applicant expects demolition will be completed within 2-4 weeks. Some reusable materials such as wood framing, hardware, and any architectural components are intended to be salvaged from the subject house. The Applicant is not proposing to build a new structure to replace the subject house. Instead, their plan is to relocate a more historically appropriate structure to 14 and 16 Lake Hollingsworth Drive, in which both lots will be combined. To this end, the owner of the property has been in discussions with

Florida Southern College to relocate the President's Residence from the college campus to the subject property. A relocation timeframe of approximately 12 to 36 months is anticipated, which accounts for site preparation, relocation logistics, and building rehabilitation work.

Ms. Foster stated that the request was evaluated using Article 11 of the Land Development Code and Secretary's Standards #9 and #10. Regarding the considerations for demolition, the subject house is a non-contributing building in the South Lake Morton Historic District as its construction date falls outside of the period of significance for the District. The house is not historically or architecturally significant, as it is not representative of a notable architectural style or associated with any significant person or event. The design and materials are typical of mid-1970s suburban development and do not reflect the character of the surrounding District. Staff finds that demolition of the subject house would not adversely affect the character of the Historic District and salvage of reusable materials and architectural components is appropriate. Staff finds that the future utilization of the property for the relocation of the President's Residence complies with the Standards and Design Guidelines and will continue the historic use of the subject property. While the President's Residence is not a contributing building to the Florida Southern College Architectural District, which is a National Historic Landmark, the residence was constructed in 1937 in the Georgian Revival style and designed by architect Frederick Trimble. It was first home to FSC President Ludd Spivey, who is notable for both inviting Frank Lloyd Wright to FSC to design a modern campus and his long-term relationship with Wright. Staff recommends:

1. Final Approval of the request to demolish the house on the subject property.
2. Conceptual Approval of the request to relocate an existing single-family house to the subject property. For Final Approval of the relocation, a full set of dimensioned elevation drawings and a site plan must be submitted for the review and approval of the Design Review Committee.

Chair Porter asked if the applicant had any additional comments or questions. Mr. Albert Moore was present in support of the request.

Discussion ensued among the Applicant, Board, and staff regarding the conceptual approval to relocate the President's Residence.

In response to Mr. Cesar Perez, Ms. Foster stated she would include "President's Residence" in her staff recommendation for condition #2.

MOTION: Final approval of the request with the conditions recommended by staff. (B. Anderson/N. Oldenkamp, 7—0).

C. <u>HPB25-148 – 16 Lake Hollingsworth Drive</u> – Final Approval requested to demolish the house at the subject address in preparation to relocate an existing house to this property. Owner: Ludd Spivey LLC. Applicant: Steve Bivens Contracting Inc.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is located along Lake Hollingsworth Drive south of Melton Avenue and consists of 0.25 acres. On this property is a two-story single-family house, which was built in 1968 and is a non-contributing building in the South Lake Morton Historic District. The owner of the property owner recently purchased it and found that the house exhibits notable structural concerns including floor slab water seepage and significant cracks in interior and exterior walls. This house has been modified several times over the years. Given the extent of these issues and the anticipated cost of necessary repairs, restoring the existing structure is not considered to be feasible or reasonable. If demolition of the subject house is approved, the Applicant expects demolition will be completed within 2-4 weeks. Some reusable materials such as wood framing, hardware, and architectural components are intended

to be salvaged from the subject house. As mentioned in the previous case, the Applicant plans to relocate the President's Residence from the college campus to the subject property.

Ms. Foster stated that the request was evaluated using Article 11 of the Land Development Code and Secretary's Standards #9 and #10. Regarding the considerations for demolition, the subject house is a non-contributing building in the South Lake Morton Historic District as it is not historically or architecturally significant, representative of a notable architectural style, or associated with any significant person or event. The design and materials are typical of mid-twentieth century suburban development and do not reflect the character of the surrounding District. Staff finds that demolition of the subject house would not adversely affect the character of the Historic District and salvage of reusable materials and architectural components is appropriate. Staff finds that the future utilization of the property for the relocation of the President's Residence complies with the Standards and Design Guidelines and will continue the historic use of the subject property as a single-family home. Staff recommends:

1. Final Approval of the request to demolish the house on the subject property.
2. Conceptual Approval of the request to relocate an existing single-family house to the subject property. For Final Approval of the relocation, a full set of dimensioned elevation drawings and a site plan must be submitted for the review and approval of the Design Review Committee.

Chair Porter asked if the applicant had any additional comments or questions. Mr. Albert Moore was present in support of the request.

In response to Mr. Chris Olson, Mr. Moore stated he does not know of any interest between Florida Southern College and Ludd Spivey LLC.

Ms. Foster stated the property owner of 14 and 16 Lake Hollingsworth Drive is not associated with Florida Southern College.

Discussion ensued among the Applicant, Board, and staff regarding the conceptual approval to relocate the President's Residence.

In response to Mr. Cesar Perez, Ms. Foster stated she would include "President's Residence" in her staff recommendation for condition #2.

MOTION: Final approval of the request with the conditions recommended by staff. (B. Anderson/R. Jimenez, 7—0).

V. Other Business: NONE

VI. Adjournment: There being no further business, the meeting was adjourned at 9:11 a.m.

_____
Chair, Design Review Committee

_____
Senior Planner, Historic Preservation

iMS

Certificates of Review

Approved from 8/22/2025 to 9/15/2025

Number Location Description	Milestone	Approved
Historic Preservation (16)		
Minor Review (16)		
HPB25-105 723 ORANGE PARK AVE, LAKELAND, FL 33801 Full remodel of existing auxiliary unit. Remove fencing around storage area adjacent to alley, close in, and add novelty siding to match existing siding on guest house and properly secure storage area. Update windows and doors with like kind. Upgrade subpanel and add a mini-split HVAC system. Replace Double French doors on front elevation with a 48"x48" window in like kind with other windows. Novelty siding around storage area to match existing. Replace damaged novelty siding on north facing wall. (1) 18x50 single hung vinyl window	Certificate of Review Issued	08/29/25
HPB25-129 1034 TENNESSEE AVE S, LAKELAND, FL 33803 Replace 8 windows and 3 mullions, size for size. Replacement windows will be vinyl 4000 Series Double Hung with a 2-over-1 lite configuration.	Certificate of Review Issued with Conditions	08/29/25
HPB25-137 531 HUNTER ST, LAKELAND, FL 33803 Replace 8 non-historic aluminum windows size for size with vinyl double hung 3/1 windows with exterior grids.	Certificate of Review Issued with Conditions	08/25/25
HPB25-162 708 FRANK LLOYD WRIGHT WAY, LAKELAND, FL 33803 Window replacement of existing windows to be vinyl 1 over 1 with no grids to match previously approved windows for duplex on same property. The windows for the "approved" proposed addition will also be 1 over 1 with no grids	Certificate of Review Issued	08/25/25
HPB25-163 243 FLORIDA AVE N, LAKELAND, FL 33801 Face Change on existing double sided pylon sign. Material 3/16" acrylic, Sign are: 5.66' x 4.41' = 24.96 SF	Certificate of Review Issued	08/26/25
HPB25-164 1111 TENNESSEE AVE S, LAKELAND, FL 33803 Enclosure of existing wood deck at rear of house with an aluminum structure and screen. Construction of a new wood deck to extend from the existing deck for a grill and a table and chairs.	Certificate of Review Issued	09/11/25
HPB25-166 1122 FLORIDA AVE S, LAKELAND, FL 33803 Wall Sign for Southside Bar & Liquor Store. 59" X 84" Wall Sign 3mm ACM with vinyl graphics. 34.412 SF sign area.	Certificate of Review Issued	08/26/25

HPB25-167 Certificate of Review Issued 08/28/25

836 LEMON ST E, LAKELAND, FL 33801

Description of work:
Remove walk-through window on day of roofing demo.
Raise framing on walk-through window to allow more room for roofing flashing.
Reinstall window behind trim after bottom flashing is resolved from roofers.
Replace 8 windows with vinyl one-over-one windows, matching opening size.
Install self-adhesive rubber, flashing around window flange.
Reinstall wood trim around windows.

HPB25-169 Certificate of Review Issued 08/29/25

802 PARK HILL AVE, LAKELAND, FL 33801

Construct an 10' X 12' wood and metal roof gazebo in the backyard of subject property; structure will be placed on a concrete pad.

HPB25-170 Certificate of Review Issued 09/02/25

718 ORANGE PARK AVE, LAKELAND, FL 33801

Wood deck, not attached to house. 16' x 22'

HPB25-171 Certificate of Review Issued 09/04/25

944 NEW YORK AVE S, LAKELAND, FL 33803

REMOVE EXISTING METAL AND SHINGLE ROOF AND RE-ROOF 5V METAL (NO STRIATIONS)

HPB25-175 Certificate of Review Issued 09/09/25

807 PARK HILL AVE, LAKELAND, FL 33801

Demolish part of the existing driveway and replace with new concrete where it is cracked and add an additional two feet to where the existing concrete edge ends. Existing driveway is 8 feet wide.

HPB25-176 Certificate of Review Issued 09/09/25

1062 KING AVE, Lakeland, FL 33803

Installation of 37 linear feet of 6 ft. tall wood board-on-board with one gate to replace damaged fence in side/rear yard.

HPB25-177 Certificate of Review Issued 09/10/25

723 ARIANA ST, LAKELAND, FL 33803

Addition a white aluminum standard picket porch railing to front porch on home.

HPB25-178 Certificate of Review Issued 09/15/25

314 PUEBLO TRL, LAKELAND, FL 33803

Install 166' of 5' High Black Chain Link Fence and 1 - 11' wide Ornamental Black Aluminum Double Swing Gate in rear yard of subject property.

HPB25-179 Certificate of Review Issued 09/11/25

1111 TENNESSEE AVE S, LAKELAND, FL 33803

Build attached Screen Enclosure on existing deck on rear of home. 12'x16' Screen enclosure and 9'x12' patio cover on same aluminum roof.

Total Minor Review Approved: 16

HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
September 25, 2025

Project #	**HPB25-173**
Project Type	**New Single-Family Construction**
Property Address	**711 Frank Lloyd Wright Way**
Historic District; FMSF#	**South Lake Morton Historic District; N/A**
Owner/Applicant	**Roger and Tammy Bryan / Hulbert Homes Inc.**
Zoning; Context District; Future Land Use; SPI	**RA-4; Urban Neighborhood Residential Medium; South Lake Morton SPI**
Existing Use	**Vacant**
Adjacent Properties	**Residential**
Previous Approvals	**Demolition of Accessory Structure, 7/19/2024 (HPB24-153); Demolition and Conceptual New Construction, 10/24/2024 (HPB24-183).**

REQUEST

The Applicant requests Final Approval for the new construction of a one-story, single-family house and detached garage on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property is located in the South Lake Morton Historic District and consists of a lot and a half (Dixieland Subdivision Block 6 Lots 4 west ½ & 5) with a total area of 0.29 acres; the size of the property is larger than typical at 75 feet wide by 170 feet deep. This lot is currently vacant but previously had a one-story, single-family house and accessory building on it. The buildings received approval for demolition in 2024.

The Applicant proposes to construct a new one-story house and detached garage. The house will have 2,323 square feet of living area and the garage will be 625 square feet in area. Aesthetically, the building will feature a neo-traditional style reflecting Craftsman Bungalow architectural elements, including a hipped and gabled roofline, gabled porte cochere, decorative eave beams, a front porch supported by tapered columns, and a Craftsman-style front door. The house will have an integrated lanai on the rear elevation. Materials for the proposed building will consist of:

Scope	Material
Foundation	Painted cementitious coating over concrete stem wall with a sand finish
Exterior Cladding	Painted fiber cement lap siding with a 6-inch exposure; fiber cement shingle siding in gables
Trim	Painted fiber cement trim with 4-inch width
Windows	White vinyl single-hung sash and fixed
Doors	Glazed painted fiberglass; painted steel garage door
Front Porch	Brick veneer porch foundation and column bases; concrete floor; painted fiber cement columns; concrete steps.
Roof	Architectural asphalt shingles on 5/12 pitch roof; painted wood eave beams
Fascia/Exposed eave	Painted wood fascia; painted beadboard fiber cement panel on eave
Exterior Paint Colors	Body: slate blue-gray; Gable accent: light gray; Trim: white; Door accent: olive green

The site plan for the proposed project includes a front setback of approximately 40 feet to the front porch and 36.67 feet to the porte cochere from the property line, with interior side and rear setbacks that meet the City's Land Development Code requirements. The detached garage is located at the rear of the property and is connected to the main driveway and parking area by a concrete ribbon driveway.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this project*:*

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project*:*

Chapter 4: Historical Development Patterns and New Construction
Sub-Chapter 4.6: New Residential Construction and Infill Development

- Ensure that Historic Buildings Remain the Central Focus: Carefully consider the historic context of the block and surrounding environment or historic district when designing a new structure. New construction should be distinguishable from historic structures without detracting from them.
- False Historicism/Conjectural History is Discouraged: Attempting to create an exact replica of historic styles for new construction blurs the distinction between old and new buildings and makes the architectural evolution of the historic district more difficult to interpret. While new construction within historic districts does not need to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
- Contemporary Interpretations of Traditional Designs and Details May be Considered: When applied to a compatible building form, contemporary materials and architectural details can increase energy efficiency and provide visual interest while helping to convey the fact that the building is new.
- Materials should respect adjacent historic buildings.
- Details and Ornamentation: a new building should consider the amount, location and elaborateness of details and ornamentation on existing neighboring buildings in its design.
- Setback Guidelines: Single and multi-family structures should adhere to established setback distances on adjacent lots. Alignment of porches, projecting bays, entryways and other façade elements of infill development with adjacent historic structures.
- Orientation Guidelines: Orient front facades and entrances to the street. Building entrances, porches, and landings should have orientations that are consistent with other historic structures along the street.
- Massing and Scale Guidelines:
    - Infill structures should have massing and scale conditions that are compatible with adjacent structures on the same block face.
    - Structures should utilize design strategies to reduce the apparent scale of the primary façade to blend in with adjacent structures.

- Corner infill structures should acknowledge prominent locations with appropriate transitional or other massing gestures.
- Infill structures should be elevated a minimum of 21 inches above grade to promote visual interest, privacy and consistent building height zones along the street.
- The height-to-width ratio of an infill structure's street-facing facade should be compatible with and maintain massing proportions established by adjacent historic structures.
- The height of walls, cornices, roofs, and chimneys on new infill structures should be compatible with existing building heights.
- Infill structures should be no more than one story higher or lower than adjacent buildings.
- All principal new buildings must have front porches or terraces that extend toward the street.

- Façade Proportion Guidelines: Infill structures that exhibit a minimum level of "diagrammatic compatibility" with historic buildings along the street. Façade compositions on infill structures that use design strategies to relate to historic façade patterns.
- Porch Column and Wall Opening Guidelines: Porch column and fenestration patterns that are coordinated to reflect a discernible order or regular window-bay definition. Porch column faces that are flush with the face of the beam or horizontal structural member above them. Porch columns that are appropriately scaled relative to the size of the beam above them.
- Window Guidelines
  - Windows should have vertical or square proportions.
  - Window design should be based on traditional types with historic pane configurations.
  - Structures should incorporate window designs as a coordinated ensemble.
  - Windows should be constructed of wood, wood cladding or a synthetic material that resembles a traditional wood window.
  - When a simulated divided-lite appearance is used, the muntins (grid/grille) should be mounted to the exterior glass.

Sub-Chapter 4.10: Garages, Carports, and Porte Cocheres

- Preservation of original architectural features and details of historic detached garages and porte cocheres.
- Detached garages and carports placed behind the front elevation of a principal historic structure, except for Ranch style houses, which may have an attached garage.
- Garages and carports accessed from the rear or side alley.
- Columns on porte cocheres matching the design and scale of porch columns on the principal historic structure.
- Garages that are visibly subordinate to the principal historic structure in terms of their massing, form, and height.
- Garages and carports that are related to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- Garage doors in proportions and materials similar to those traditionally found in the historic districts.

ANALYSIS:

Staff finds that the requested house and detached garage meets the Standards and Design Guidelines in terms of scale, massing, orientation, fenestration size and alignment, materials, and compatible neo-traditional design aesthetic. The 75-feet width of the subject property combined with the cohesive architectural features of the house, including its porte cochere, softens the horizontal massing of the house, which has a wider front façade dimension than would be allowed for a typical 50-feet wide lot in this neighborhood. The front façades of the house and garage are appropriately oriented towards Frank Lloyd Wright Way. The architectural ornamentation

and details of the proposed house are a contemporary interpretation of the Craftsman Bungalow architectural style widely found within the City's residential historic districts and compatible with the historic buildings within the South Lake Morton Historic District.

While the building setbacks, height, and the location of the driveway and parking area of this proposal are generally appropriate and consistent with the Design Guidelines, the following changes should be made to comply with the Urban Form Standards of the Land Development Code:

1. The front setback for the house, measured to the front porch, should be reduced from 40 feet to a maximum of 32.7 feet, given the average front setback for the houses along this block of Frank Lloyd Wright Way*.
2. The driveway should be reduced in width to a maximum of 10 feet.

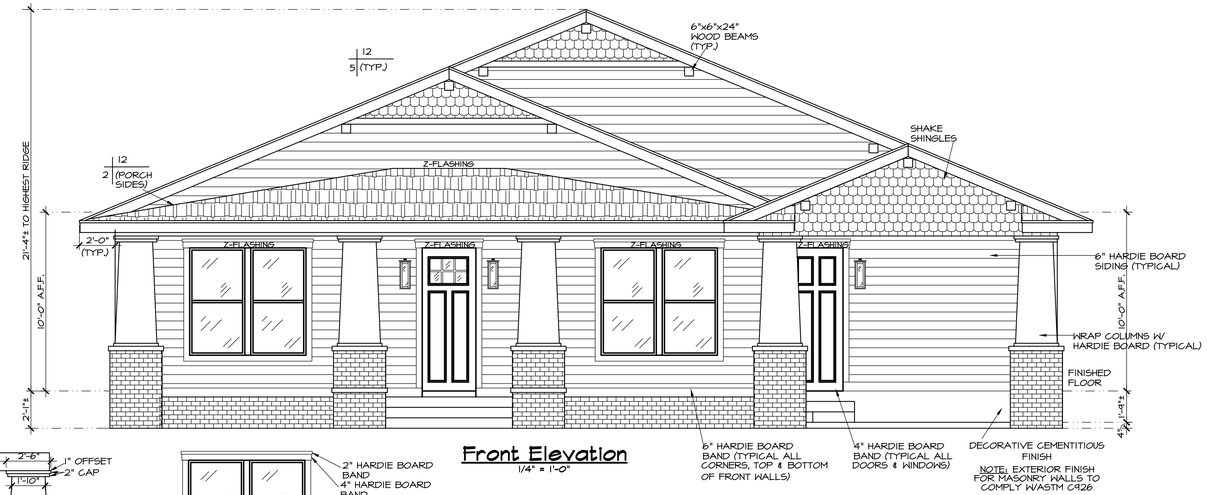
*705 FLW Way – 32' front setback; 717 – 36' front setback; 721 FLW Way – 30' front setback.

STAFF RECOMMENDATION:

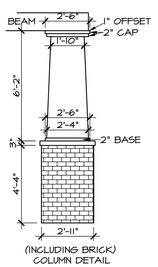
Final Approval for the proposed new single-family house and detached garage with the following conditions, to be reviewed by staff prior to permitting:

1. Windows must be recessed to provide a shadow line.
2. Reduce front setback to a maximum of 32.7 feet, measured to front porch.
3. Reduce driveway width to 10 feet.

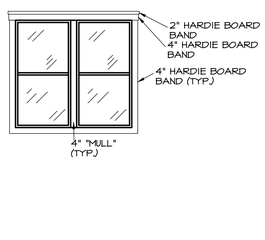
Report prepared by: Emily M. Foster, Senior Planner - Historic Preservation
Liaison to the Historic Preservation Board

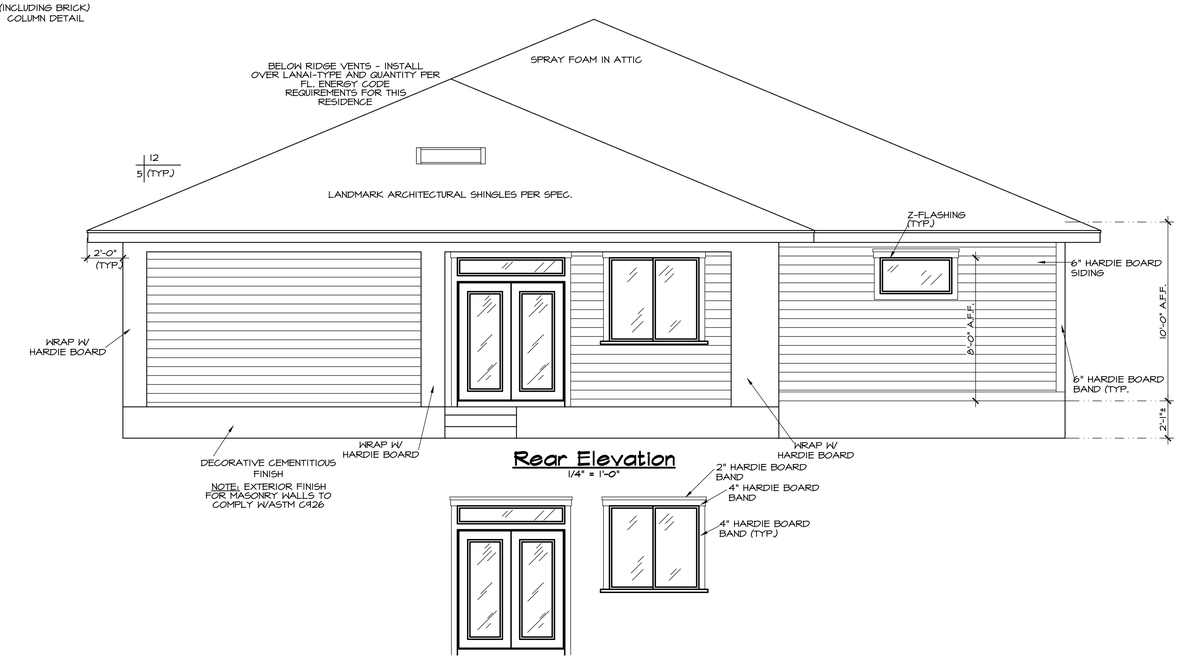


Front Elevation
1/4" = 1'-0"



(INCLUDING BRICK) COLUMN DETAIL





Rear Elevation
1/4" = 1'-0"

EXTERIOR LATH, WEEP, & WATER RESISTIVE BARRIER NOTES:

1. EXTERIOR PLASTER: INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE W/ ASTM C 926 & ASTM C 1063 & THEIR PROVISIONS OF THIS CODE.

2. LATH: ALL LATH & LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED W/ 1-1/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1MM) HEAD, OR 7/8-INCH LONG (22.2MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6" (152 MM), OR AS OTHERWISE APPROVED.

3. PLASTER: PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN 3 COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH & SHALL BE NOT LESS THAN 2 COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING.IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY 2 COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1). THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE.

4. WEEP SCREENS: A MIN. 0.019-INCH (0.5 MM)(NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MIN. VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE W/ ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MIN. OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS & SHALL BE OF A TYPE OF THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER & TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

5. WATER-RESISTIVE BARRIERS: WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R1403.2 &, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER W/ A PERFORMANCE AT LEAST EQUIVALENT TO 2 LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANS & ANY FLASHING (INSTALLED IN ACCORDANCE W/ SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.
EXCEPTION: WHERE THE WATER-RESISTIVE BARRIER THAT IS APPLIED OVER WOOD-BASED SHEATHING HAS A WATER RESISTANCE EQUAL TO OR GREATER THAN THAT OF 60-MINUTE GRADE D PAPER & IS SEPARATED FROM THE STUCCO BY AN INTERVENING, SUBSTANTIALLY NON-WATER-ABSORBING LAYER OR DESIGNED DRAINAGE SPACE.

FINAL FOR REVIEW
2 SEPT 2025

ATTIC SPACE VENTILATION CALCULATION:
475 S.F. ATTIC AREA/ 300 = 1.58 S.F. x 144 = 228 S.I.
228 S.I. / 2 = 114 S.I. UPPER & LOWER VENTILATION REQUIRED
UPPER VENTILATION PROVIDED
2 LOMANCO 710 STATIC ROOF VENT @70 S.I. / EA = 140 > 114 S.I.
LOWER VENTILATION PROVIDED
18 FT. SOFFIT VENTS (MIN) @6.42 S.I./FT = 116 > 114 S.I.

DESIGN LOADS:

1. Design conforms with Florida Bldg. Code 8th Edition (2023) (Building & Residential) Design Criteria for 140MPH Wind Forces Per ASCE/SEI 7-22 Minimum Design Loads For Buildings & Other Structures.
2. Wood: No. 2 Grade Southern Pine Or Better.
3. Risk Category II
4. MWFRS Chapters 26 Thru 29
5. Chap. 30: Components/Cladding (C& C)
   Part 1: Low Rise Building
   Doors & Windows ±47 PSF
   Garage Door +18.5/-20.9
6. Internal Pressure Coefficient: ± 0.18
7. Exposure "B"
8. Residential Catagory R3

REVISIONS	BY

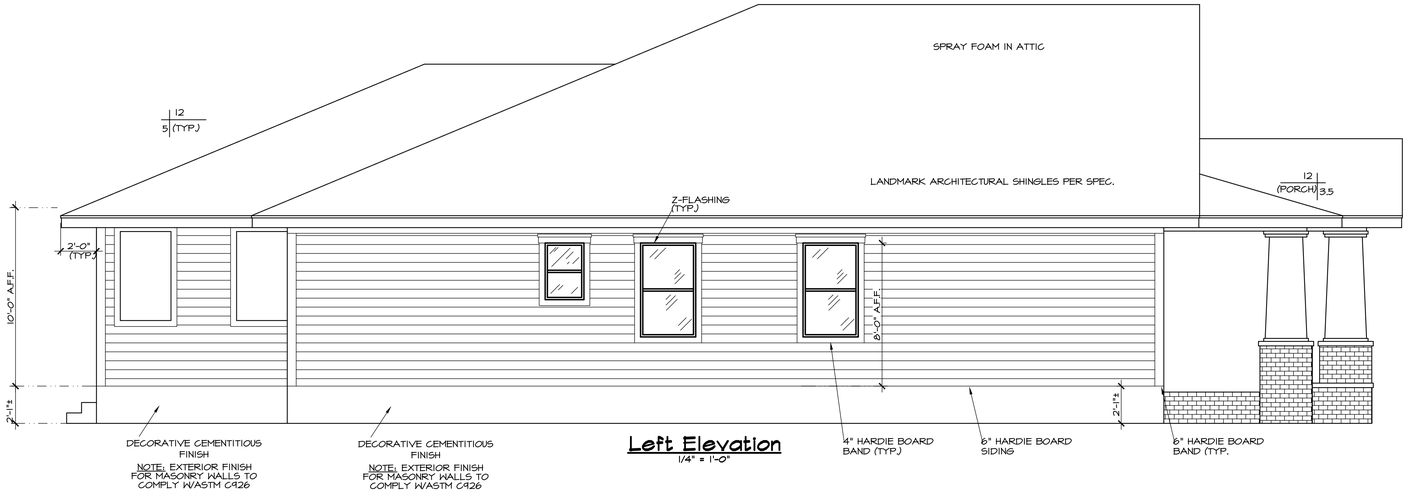
ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1158 E. EDGEWOOD DRIVE-LAKELAND, FLORIDA 33803
PHONE: 863-685-8500 FAX: 863-680-4655
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # 28341
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 31246

A Custom Home For:
The Bryan Residence
711 Frank Lloyd Wright Way, Lakeland, FL
33803- Front & Rear Elevations

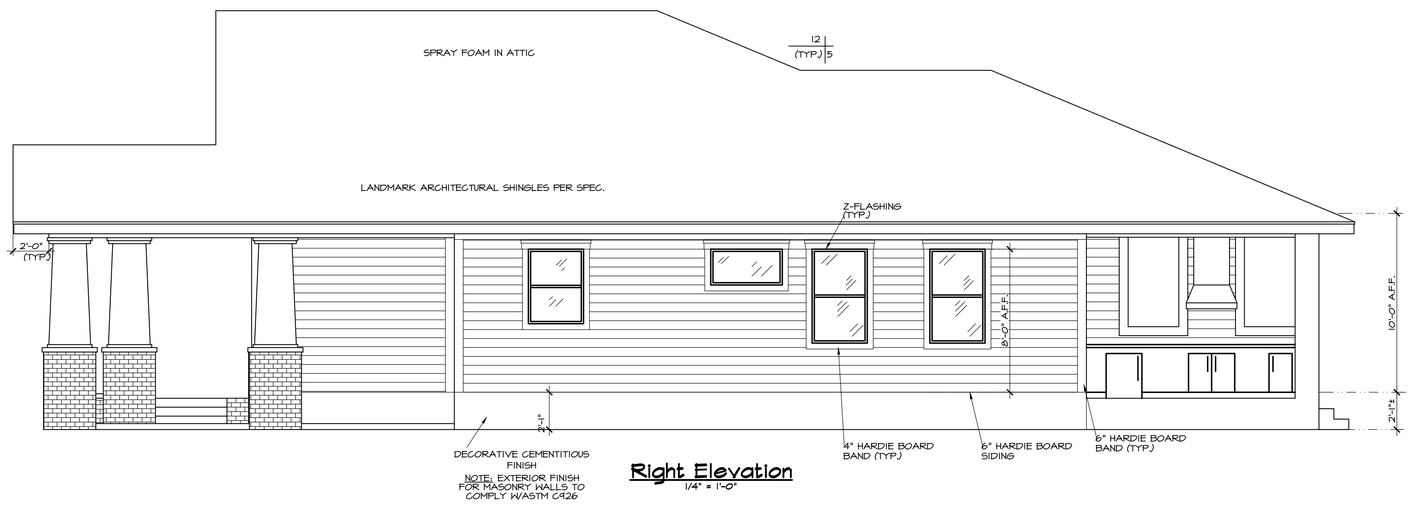
Hulbert Homes, Inc.
PHONE: 863-647-5815
FAX: 644-1125

NOTE: **ROOM SIZES ARE APPROXIMATE** Dimensions are from inside masonry and framing, rounded up to the nearest inch (Masonry walls = 8", Frame walls = 4" width), Furring, drywall, insulation and baseboards are not included in dimensions. Actual room sizes vary per builder specifications.

DRAWN BY	SDF
DATE CHECKED	.
DATE	SDF
SCALE	AS NOTED
SHEET	3 OF 6 SHEETS
PAPER SIZE	24"x36"



Left Elevation
1/4" = 1'-0"



Right Elevation
1/4" = 1'-0"

FINAL FOR REVIEW
2 SEPT 2025

ATTIC SPACE VENTILATION CALCULATION:
475 S.F. ATTIC AREA/ 300 = 1.58 S.F. x 144 = 228 S.I.
228 S.I. / 2 = 114 S.I. UPPER & LOWER VENTILATION REQUIRED
UPPER VENTILATION PROVIDED
2 LOMANCO 710 STATIC ROOF VENT @70 S.I. / EA = 140 > 114 S.I.
LOWER VENTILATION PROVIDED
18 FT. SOFFIT VENTS (MIN.) @6.42 S.I./FT = 116 > 114 S.I.

DESIGN LOADS:

1. Design conforms with Florida Bldg. Code 8th Edition (2023) (Building & Residential) Design Criteria for 140MPH Wind Forces Per ASCE/SEI 7-22 Minimum Design Loads For Buildings & Other Structures.
2. Wood: No. 2 Grade Southern Pine Or Better.
3. Risk Category II
4. MWFRS Chapters 26 Thru 29
5. Chap. 30: Components/Cladding (C& C)
   Part 1: Low Rise Building
   Doors & Windows ±47 PSF
   Garage Door +18.5/-20.9
6. Internal Pressure Coefficient: ± 0.18
7. Exposure "B"
8. Residential Catagory R3

REVISIONS	BY

ENGINEER OF RECORD:

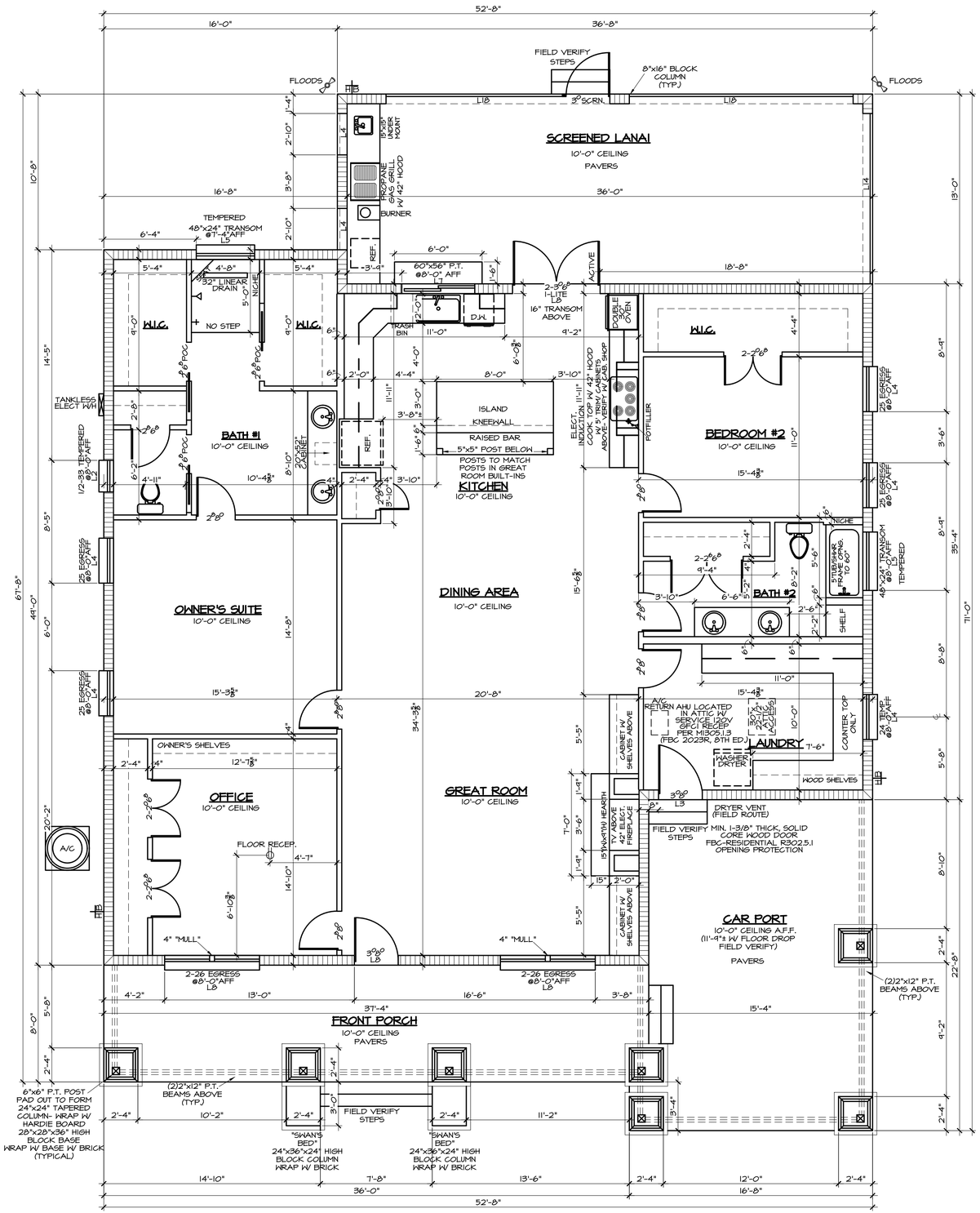
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1158 E. EDGEWOOD DRIVE-LAKELAND, FLORIDA 33803
PHONE: 863-688-8500 FAX: 863-688-8551
STATE OF FLORIDA CERT. OF AUTHORIZATION # 29341
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 37246

A Custom Home For:
The Bryan Residence
711 Frank Lloyd Wright Way, Lakeland, FL
33803- Left & Right Elevations

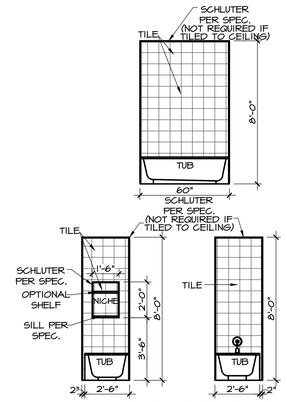
Hulbert Homes, Inc.
PHONE: 863-647-5815
FAX: 644-1125

NOTE: **ROOM SIZES ARE APPROXIMATE** Dimensions are from inside masonry and framing, rounded up to the nearest inch (Masonry walls = 8", Frame walls = 4" widths). Forming, drywall, insulation and baseboards are not included in dimensions. Actual room sizes vary per builder specifications.

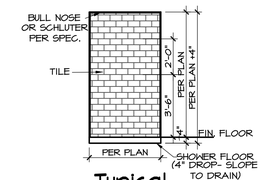
DRAWN BY	SDF
DATE CHECKED	.
DATE	SDF
SCALE	AS NOTED
SHEET	4 OF 6 SHEETS
PAPER SIZE	24"x36"



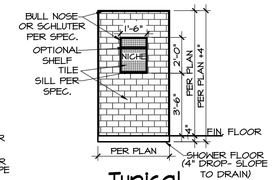
Floor Plan
1/4" = 1'-0"



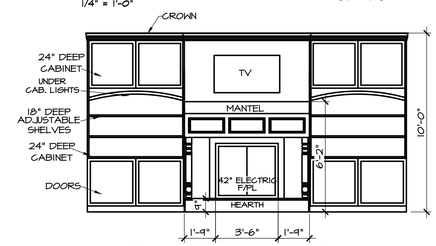
Tub End Niche/ Tile Detail
1/4" = 1'-0"



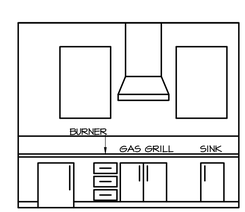
Typical Shower Wall
1/4" = 1'-0"



Typical Shower Niche
1/4" = 1'-0"



Electric F/PL Detail
1/4" = 1'-0"



O.D.K. Detail
1/4" = 1'-0"

FINAL FOR REVIEW
2 SEPT 2025

***ALL DOORS EXCEPT CLOSET DOORS ARE TO BE TI-ASTRAGAL DOORS**

*ENTRY DOORS FROM GARAGE TO HOUSE MUST BE SOLID CORE CONSTRUCTION MIN. 1-3/8" THICK PER FBC-RESIDENTIAL R302.5.1 OPENING PROTECTION

GLASS SIDE LITES @ENTRY DOORS MUST BE TEMPERED*

***FRONT DOOR INSTALLATION: TAPCONS TO BE LOCATED BEHIND WEATHERSTRIP**

***BATH VENT FAN VENTS IN SOFFIT TO HAVE BLOCKING & TO BE LOCATED MIN. 3' FROM ANY WINDOW**

* NOTE: ALL WINDOWS ARE SINGLE HUNG EXCEPT AS NOTED AS FIXED, TRANSOM, HALF CIRCLE, OR EYEBROW

WINDOW SCHEDULE

Plan Call Out	Width	Height	Sq. Ft.	*
12	19"	26"	3	
13	19"	38"	5	
14	19"	50"	7	
15	19"	63"	8	
16	19"	72"	10	
17	19"	90"	11	
1/2-32	26"	26"	5	
1/2-33	26"	38"	7	
1/2-34	26"	50"	9	
1/2-35	26"	63"	11	
1/2-36	26"	72"	13	
1/2-37	26"	90"	16	
22	37"	26"	7	
23	37"	38"	10	
24	37"	50"	13	
25	37"	63"	16	*
26	37"	72"	19	*
27	37"	90"	22	*
32	53"	26"	10	
33	53"	38"	14	
34	53"	50"	18	
35	53"	63"	23	*
36	53"	72"	27	*
37	53"	90"	32	*

* = MEETS MIN. EGRESS SIZE REQUIREMENTS PER FBC 2023 8th Ed., RES., R310.1

Concrete Lintel Schedule

Tag Nos.	Clear Span	Lintel Size	Precast And Prestressed TYPE/SIZE: Filled = F Unfilled = U Prestressed = PS *Composite = C	Rebar
L1	1'-6"	2'-10"	8"-U	NOT REQ'D
L2	2'-2"	3'-6"	8"-U	NOT REQ'D
L3	2'-8"	4'-0"	8"-U	NOT REQ'D
L4	3'-2"	4'-6"	8"-U	NOT REQ'D
L5	4'-0"	5'-4"	8"-U	NOT REQ'D
L6	4'-6"	5'-10"	8"-U	NOT REQ'D
L7	5'-2"	6'-6"	8"-F	NOT REQ'D
L8	6'-2"	7'-6"	8"-F	1 - #5
L9	7'-0"	NOT AVAILABLE		
L10	8'-0"	9'-4"	8"-F	1 - #5
L11	9'-2"	10'-6"	8"-F	1 - #5
L12	10'-0"	11'-4"	8"-F	1 - #5
L13	11'-2"	12'-6"	8"-F	1 - #5
L14	12'-0"	13'-4"	8"-F	1 - #5
L15	12'-8"	14'-0"	8"-F	1 - #5 T&B
L16	13'-4"	14'-8"	8"-PS-F	1 - #5 T&B
L17	14'-0"	15'-4"	8"-PS-F	1 - #5 T&B
L18	16'-0"	17'-4"	8"-PS-F	1 - #5 T&B
8"x 16" Prestressed - Composite				
L19	18'-0"	19'-4"	16"-PS-C	1 - #5 T&B
L20	18'-8"	20'-0"	16"-PS-F-C	1 - #5 T&B
L21	20'-8"	22'-0"	16"-PS-F-C	1 - #5 T&B
L22	22'-8"	24'-0"	16"-PS-F-C	1 - #5 T&B
Garage Door Lintels				
L18G	16'-0"	17'-4"	8"-PS-F	1 - #5 T&B
L19G	18'-0"	19'-4"	16"-PS-F	1 - #5 T&B
Garage Door W/Bonus Room Above				
8"x 24" Prestressed - Composite				
L18B	16'-0"	17'-4"	24"-PS-C	1 - #5 T&B
L19B	18'-0"	19'-4"	24" PS-C	1 - #5 T&B

*COMPOSITE INCLUDES 1 #5 REBAR TOP & BOTTOM REV. 5/8/2017

DESIGN LOADS:

1. Design conforms with Florida Bldg. Code 8th Edition (2023) (Building & Residential) Design Criteria for: 140MPH Wind Forces Per ASCE/SEI 7-22 Minimum Design Loads For Buildings & Other Structures.
2. Wood: No. 2 Grade Southern Pine Or Better.
3. Risk Category II
4. MWFRS Chapters 26 Thru 29
5. Chap. 30: Components/Cladding (C& C) Part 1: Low Rise Building
   Doors & Windows ±47 PSF
   Garage Door +18.5/-20.9
6. Internal Pressure Coefficient: ± 0.18
7. Exposure "B"
8. Residential Catagory R3

AREAS:	
LIVING	2,323
CAR PORT	352
FRONT PORCH	299
LANAI	475
TOTAL:	3,449

REVISIONS	BY

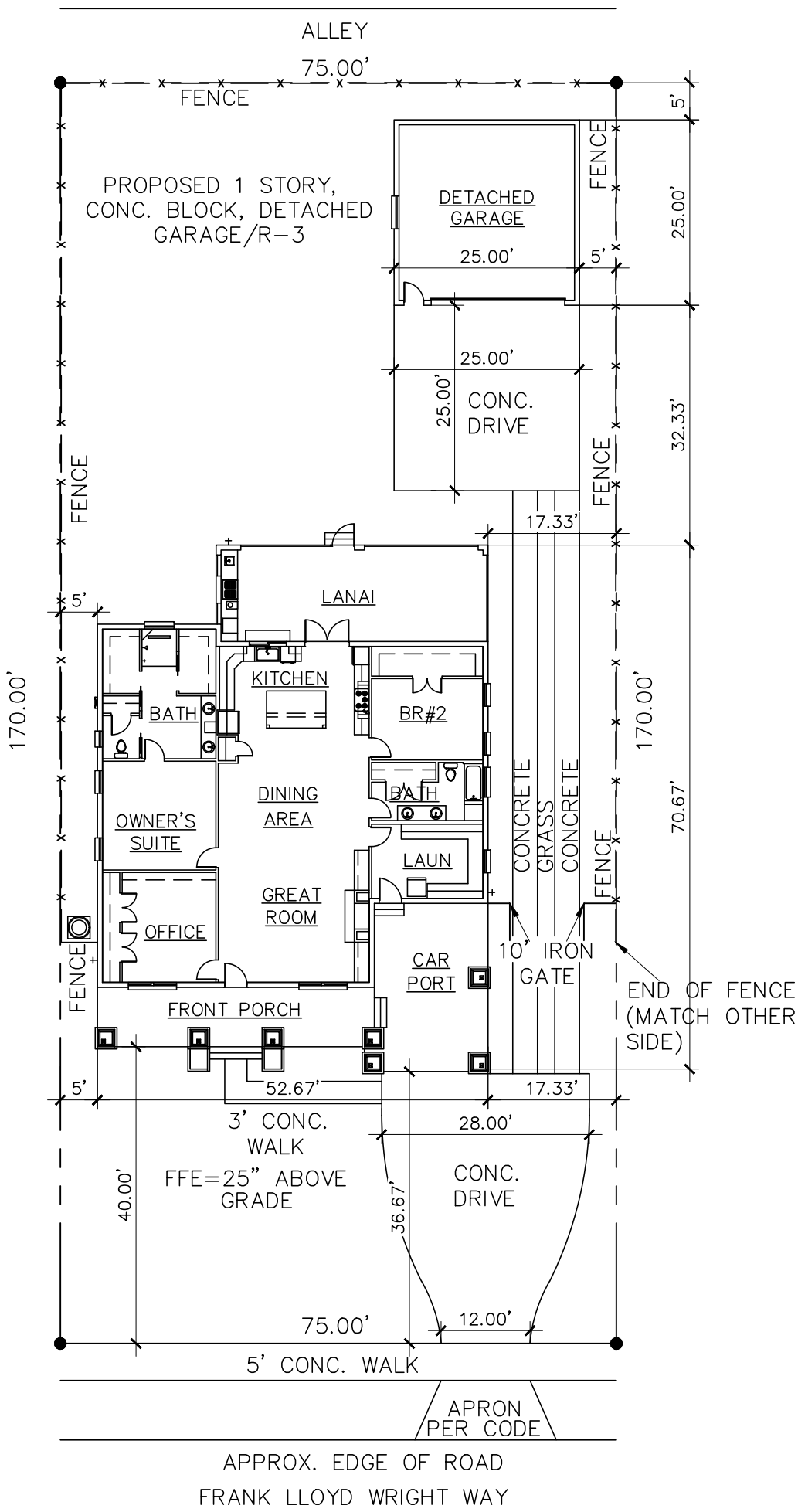
ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1958 E. EDGEWOOD DRIVE-LAKELAND, FLORIDA. 33803
PHONE: 863-686-8500 FAX: 863-686-8557
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # 5939347
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 31246

A Custom Home For:
The Bryan Residence
711 Frank Lloyd Wright Way, Lakeland, FL
33803 Floor Plan

Hulbert Homes, Inc.
PHONE: 863-647-5815
FAX: 644-1125

NOTE: *ROOM SIZES ARE APPROXIMATE* Dimensions are from inside masonry and framing, rounded up to the nearest inch (Masonry walls = 8", Frame walls = 4" addition). Furring, drywall, insulation and baseboards are not included in dimensions. Actual room sizes vary per builder specification.

DRAWN BY	SDF
DATE CHECKED	
DATE	25 APR 2025
SCALE	AS NOTED
SHEET	—
OF	6 SHEETS
PAPER SIZE	24"x36"



PROPOSED 1 STORY,
CONC. BLOCK, SINGLE
FAMILY RESIDENCE/R-3

BRYAN RESIDENCE
711 FRANK LLOYD WRIGHT WAY
LAKELAND, FL 33803

Site Plan

1" = 20'-0"

711 Frank Lloyd Wright Way

Proposed Materials List

Proposed Project Description:

The proposed project is a single-story Craftsman-style residence designed with a strong emphasis on traditional architectural details. The home features a symmetrical front façade, prominent gabled rooflines, and a wide front porch supported by tapered columns on brick bases. Decorative gable treatments and clean trim lines highlight the Craftsman character while incorporating durable, low-maintenance modern materials. The design blends classic proportions with contemporary functionality, complemented by a detached garage, landscaped beds, and a welcoming concrete walkway that enhances curb appeal.

Colors & Materials:

Main Siding: Horizontal lap siding in slate blue-gray

Gable Accents: Shake siding in light gray

Trim & Fascia: White painted trim around windows, doors, and roof edges

Columns: Tapered columns with white trim over red brick bases

Roofing: Architectural asphalt shingles in dark brown/charcoal

Front Door: Painted olive green

Side Door & Garage Door: Painted white

Foundation/Porch Steps: Painted, sand finish, cementitious coating over concrete masonry unit stem wall

Driveway/Walkway: Light gray concrete/Pavers

Landscaping: Shrubs and flowering plantings along the porch and walkway