



Zoning Board of Adjustments and Appeals Meeting Agenda

**October 7, 2025 9:00 a.m.
in the City Hall Commission Chamber**

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

The Zoning Board of Adjustments and Appeals will convene for its regular meeting for the purpose of hearing and acting upon the following:

ITEM 1: Call to Order

ITEM 2: Roll Call

ITEM 3: Approval of minutes from the September meeting

ITEM 4: City Attorney explains purpose and authority of the Board

ITEM 5: **Marlon Lynn Architect, PA requests** a 12' variance to allow a maximum roof height of 24'6", in lieu of the maximum height of 12' 6" for accessory structures specified by Table 4.3-1 of the Land Development Code, in order to construct a 4,568 sq. ft. two-story accessory structure on property located at 1421 Seville Place. Owner: Dean Saunders. (VAR25-012)

ITEM 6: Unfinished Business

ITEM 7: New Business

ITEM 8: Adjournment

The Zoning Board of Adjustments and Appeals met in Regular Session on Wednesday, September 3, 2025 in the City Commission Chamber at Lakeland City Hall 228 South Massachusetts Avenue.

Present were Board Members Thomas Brawner, Jiwa Farrell, Gregory Kent, Daniel Sharrett and Kristen Tessmer. Also present were Ramona Sirianni, Assistant City Attorney; and staff from the Community & Economic Development Department: Todd Vargo, Senior Planner; and Christelle Burrola, Board Secretary.

The minutes from the previous meeting were approved as submitted, and Ms. Sirianni explained the purpose and authority of the Board and the necessity of providing a hardship or uniqueness for the Board to consider and/or grant a variance. Anyone planning to present testimony was sworn in and everyone gave affirmative responses.

Item 5: Hunter Jones requests a 10' variance to allow a rear setback of 5', in lieu of the 15' minimum rear setback for principal structures specified by the PUD (Planned Unit Development) zoning for the Sandpiper Golf & Country Club Phase 16 in order to construct a glass room on property located at 5838 Macaw Place. Owner: Glenn R Dennison. (VAR25-011)

Hunter Jones, 2496 Highway 640, Bartow, provided an overview of the request.

Todd Vargo stated the subject property consists of an approximate 0.19-acre lot within the Sandpiper Golf and Country Club Phase 16 subdivision. According to information obtained from the Polk County Property Appraiser, the subject property contains a 2,157 square foot single-family home constructed in 1997. The applicant proposes to construct a 20' by 10' glass room attached to the rear of the house.

Mr. Vargo pointed to photos on the overhead screen of the subject property.

Mr. Vargo stated the proposed glass room will be set back a minimum of 5 feet from the rear property line the hardship suffered by the applicant is related to the placement of the existing home on the lot, which is only 15 feet from the rear property line. Similar variances for screen rooms/enclosures have been granted to other lots within the overall Sandpiper subdivision over the years.

Mr. Vargo stated staff recommends approval.

In response to Ms. Farrell, Mr. Vargo stated staff did not receive public comment in response to the request.

In response to Ramona Sirianni, Mr. Jones stated the property owners have a letter of approval for the request from the Sandpiper Golf and Country Club Homeowners Association.

Thomas Brawner made a motion to approve staff's recommendation. Gregory Kent seconded the motion and it passed 5—0.

Adjourned

The meeting was adjourned at 9:14 a.m.

Jiwa Farrell, Chairperson

Christelle Burrola, Secretary



Variance Application

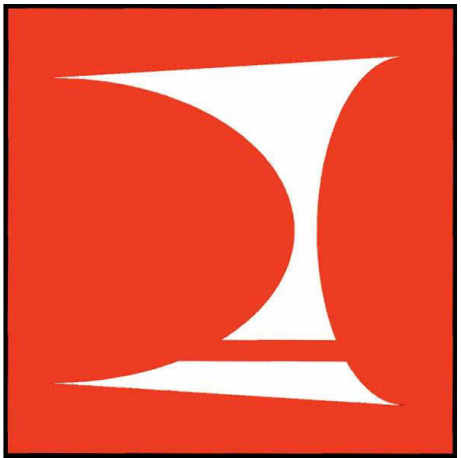
General Information:

Project No:	VAR25-012	Application Date:	8/5/2025	
Project Name:	Accessory Structure Replacement and New Structure			
Subject Property Address:	1421 SEVILLE PL			
Parcel ID:	242829000000041120			
Applicant Name:	MARLON LYNN ARCHITECT PA			
Applicant Address:	212 E Pine	Lakeland	FL	33801
Owner Name:	SAUNDERS DEAN P			
Owner Address:	1421 SEVILLE PL	LAKELAND	FL	33803

Request:

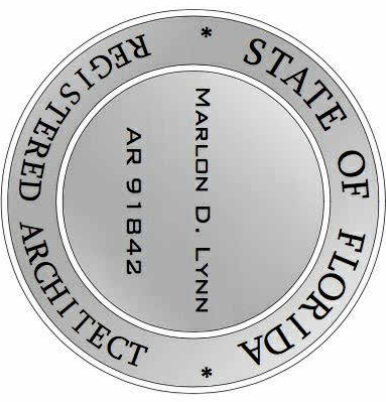
Application Type:	Variance		
Current			
Zoning:	RA-1	Context:	Urban Neighborhood
Lot Dimensions:	160 x 31	Square Footage:	6,696
Present Use:			
Explanation of Request:	Demolition of an existing accessory structure and substitution of a previously approved variance. The new structure is smaller than the demolished accessory structure and the previously approved addition. The new structure is taller than the previous variance.		
Justification:			

Saunders Accessory
Building
1421 Seville Place
Lakeland, Florida 33803



Marlon Lynn
Architect, P.A.
A A 2 6 0 0 1 4 7 7

212 East Pine Street
Lakeland, FL 33801
P: 863.802.5966
marlon@marlonlyn.com
https://marlonlyn.com/



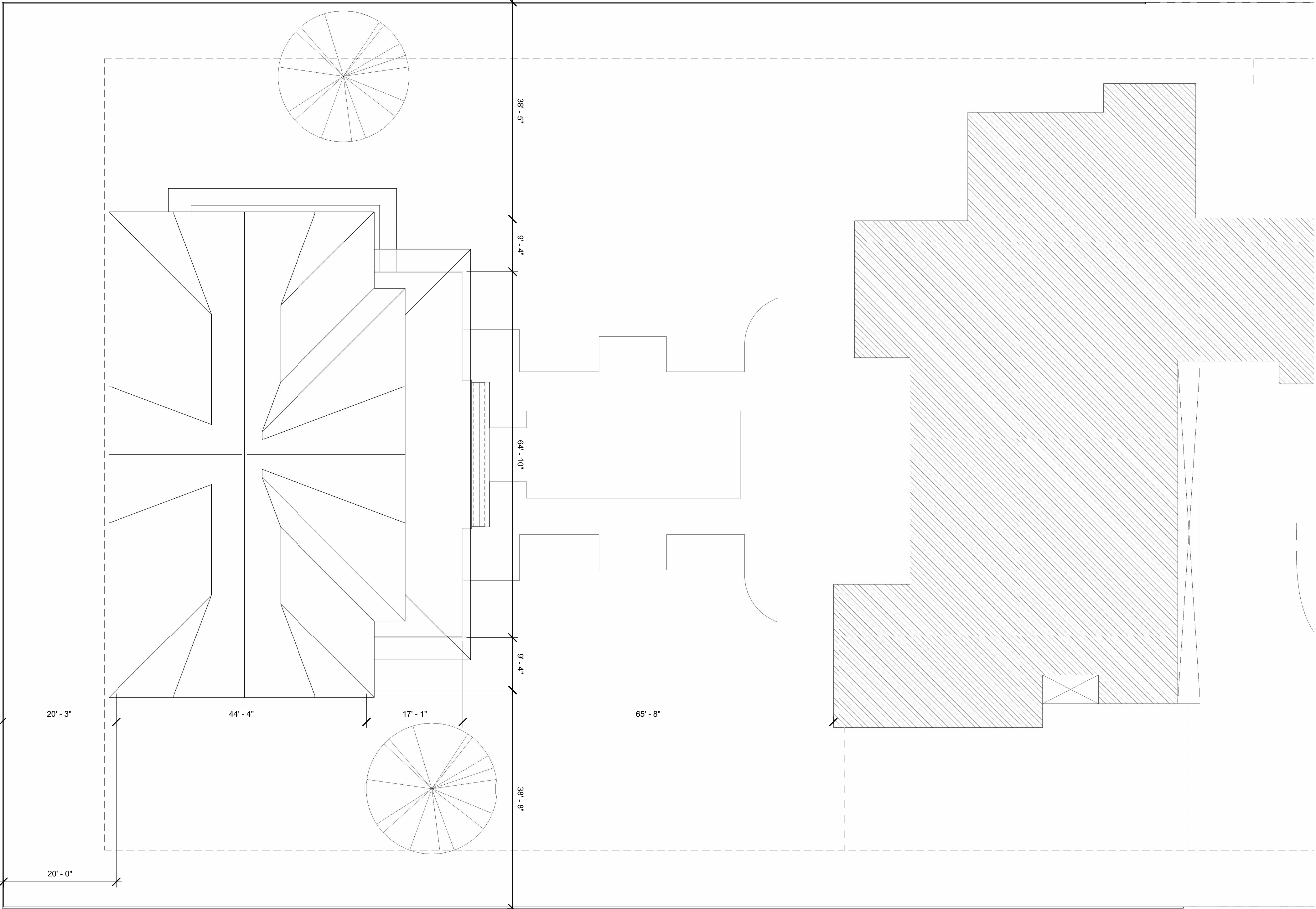
This item has been electronically signed and sealed by Marlon D. Lynn using a digital signature. Documents are not considered signed and sealed and the signature must be verified on any electronic copies.

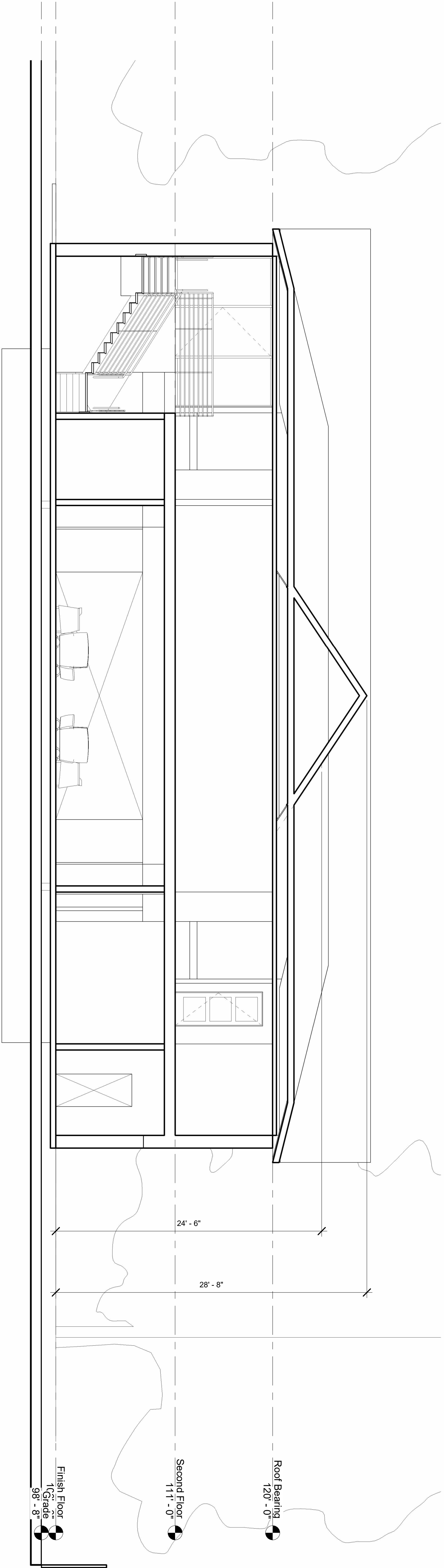
Project number 24051		
Date		
No.	Description	Date

Site Plan

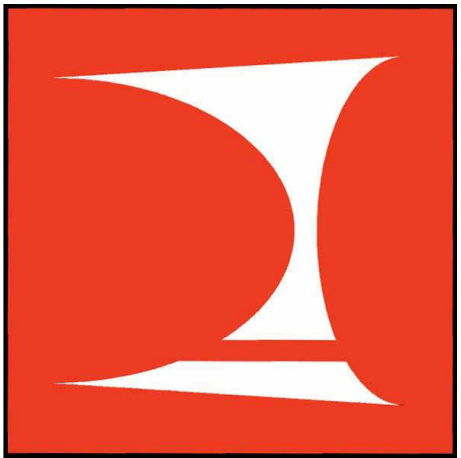
A1.51

N
Site Plan
3/32" = 1'-0"



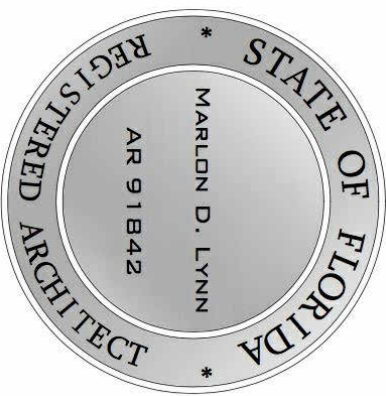


Saunders Accessory
Building
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Project number 24051		
Date		
No.	Description	Date

Building Section

A2.13



VAR25-012 1421 Seville Pl

Parcel ID: 242829000000041120





228 S MASSACHUSETTS AVE
LAKELAND, FLORIDA 33801
PLANNING@LAKELANDGOV.NET

RE: Variance Request – Project No. VAR25-012 – 1421 Seville Place

Dear Property Owner:

This notice is to advise you that Marlon Lynn Architect P.A., on behalf of Dean Saunders, requests a 12' variance to allow a building height of 24' 6", in lieu of the maximum height of 12' 6" for accessory structures specified by Table 4.3-1 of the Land Development Code, in order to construct a new 4,568 sq. ft. two-story accessory structure on property located at 1421 Seville Place. The subject property is legally described as:

S 331 FT OF E 160 FT OF W 500 FT OF NW1/4 OF NE1/4 OF SW1/4

The public hearing to consider this request will be held before the Lakeland Zoning Board of Adjustments and Appeals at **9:00 a.m. on October 7, 2025** in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property located in proximity to the subject property, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing. You may also submit your views to the Community & Economic Development Department by including your name, address, and the project number via email to planning@lakelandgov.net, prior to the meeting date.

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THIS IS A COURTESY LETTER NOT REQUIRED BY LAW

Community and Economic Development Staff Recommendation for ZBAA

ZBAA Hearing	October 7, 2025	Reviewer:	Damaris Stull
Project No:	VAR25-012	Subject Property:	1421 Seville Place
Owner:	Dean Saunders		
Applicant:	Marlon Lynn Architect, PA		
Current Zoning:	RA-1 (Single-Family Residential)	Context District	Urban Neighborhood (UNH)
Request:	A 12' variance to allow a maximum roof height of 24'6", in lieu of the maximum height of 12' 6" for accessory structures specified by Table 4.3-1 of the Land Development Code, in order to construct a 4,568 sq. ft. two-story accessory structure on property located at 1421 Seville Place.		

1.0 Background

The subject property consists of 160' x 331' (1.22-acre) lot located in the Lake Hollingsworth neighborhood with a 6,696 sq. ft. single-family home that was constructed in 1965 according to the Polk County Property Appraiser. Additional improvements to the property include a 448 sq. ft. detached garage constructed in 1982 and an outdoor kitchen/covered pool pavilion which was constructed in 2011. The subject property is zoned RA-1 (Single-Family Residential) and located within the Urban Neighborhood (UNH) context sub-district.

2.0 Discussion

The purpose of this request is to obtain variance relief to allow for the construction of a 4,568 sq. ft. two-story accessory building with a mean roof height of 24'6". According to the applicant, the accessory building will be used to display the homeowner's collection of exotic animal taxidermy specimens and to entertain guests. The property owner was previously granted a variance in 2023 for a smaller 2,874 sq. ft. accessory building with a mean roof height of 17' 7" that would've replaced the existing detached garage to the east of the existing pool pavilion. At the time the previous variance was granted the intent was that the pool pavilion would remain. If this variance request is approved, the pool pavilion and detached garage will both be demolished and replaced with the subject structure.

The subject property consists of an estate-sized lot that was created as part of an eight-lot metes and bounds subdivision along Seville Place, a privately maintained street. Adjacent lots within the subdivision to north, east and west share the same lot dimensions as the subject property. For comparison purposes, a typical RA-1 lot is approximately 0.25 acres in area or roughly 1/5th the size of the subject property.

The proposed two-story accessory building will be located to the south of the existing pool and setback 20'3" from the south (rear) property boundary and 38'8" from the east (interior side) property boundary. The applicant's justification for the request pertains to the large lot size and compatibility with other estate-sized lots in the subdivision which have large homes. According to the applicant, the homeowner has discussed the project with his immediate neighbors and all are supportive of the application for a variance.

3.0 Recommendation

The specific hardship suffered by the applicant is related to the atypical lot size. The subject property is much larger than a typical RA-1 lot and was created as part of a subdivision with similar estate-sized lots to the north, east and west. Given this development context, the proposed two-story accessory building addition appears to be compatible in terms of the scale and character of homes on adjacent properties. Provided that there are no substantive objections from adjacent property owners, staff recommends that this request receive consideration for approval.