



**AGENDA**  
**HISTORIC PRESERVATION BOARD**  
Lakeland City Hall, City Commission Chambers  
December 18, 2025, 8:30 A.M.

---

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (*free of charge*) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

---

- I. Call to order, determination of a quorum, and roll call
- II. Review and approval of the November 20, 2025 Historic Preservation Board meeting minutes
- III. Old Business:
  - A. Historic Lakeland, Inc. Watch List Report
    - i. 2430 New Jersey Road\*
    - ii. 302 E. Belvedere Street \*
    - iii. 632 Easton Street\*
    - iv. 2304 Carolina Avenue\*
    - v. 417 Frank Lloyd Wright Way (C.W. Deen House)
    - vi. 412 N. Massachusetts Avenue\*
    - vii. 104-106 E. Main Street (Hartsell Building)
    - viii. 121-123 N. Kentucky Avenue (Montgomery Ward Building)
    - ix. 321 W. Peachtree Street\*
    - x. 809 Cornelia Avenue
- IV. New Business: None
- V. Adjourn for Design Review Committee

\*Not located within a Historic District.

## MINUTES

### HISTORIC PRESERVATION BOARD

City Commission Chambers

Thursday, November 20, 2025

8:30 a.m.

*(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)*

The City of Lakeland Historic Preservation Board met in Regular Session; Marlana Alvarez, Bruce Anderson, Abigail Hunt-Tidwell, Natalie Oldenkamp, Chris Olson, Cesar Perez, and Michael Porter were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Katie Prenoveau, Assistant City Attorney, were also present.

#### **I. Call to Order and Determination of a Quorum**

Chair Dr. Bruce Anderson called the Thursday, November 20, 2025 meeting of the Historic Preservation Board ("Board") to order at 8:30 a.m. A quorum was reached, as seven Board members were present.

#### **II. Review and Approval of Previous Meeting Minutes**

Mr. Chris Olson motioned to approve the October 23, 2025 meeting minutes as presented. Ms. Natalie Oldenkamp seconded the motion. The motion passed 6—0. Ms. Marlana Alvarez joined the meeting after this vote.

#### **III. Old Business:**

- A. Historic Lakeland, Inc. Watch List Report. Mr. Michael Porter made a recommendation to add 809 Cornelia Avenue to the Historic Lakeland, Inc. Watch List.
- i. 2430 New Jersey Road\*
  - ii. 302 E. Belvedere Street \*
  - iii. 632 Easton Street\*
  - iv. 2304 Carolina Avenue\*
  - v. 417 Frank Lloyd Wright Way (C.W. Deen House)
  - vi. 412 N. Massachusetts Avenue\*
  - vii. 104-106 E. Main Street (Hartsell Building)
  - viii. 121-123 N. Kentucky Avenue (Montgomery Ward Building)
  - ix. 321 W. Peachtree Street

\*Not located within a Historic District; brief building histories provided to Board

#### **IV. New Business:**

- A. Proposed Amendment to sub-chapter 4.11.2 Fences and Walls and 4.11.3 The Design and Placement of Fences of the Design Guidelines for Historic Properties. Ms. Natalie Oldenkamp made a motion to adopt the proposed amendment. Mr. Cesar Perez seconded the motion. The motion passed 7—0.

#### **V. Adjourn for Design Review Committee.**

The meeting adjourned at 8:39 a.m.

---

Chair, Historic Preservation Board

---

Senior Planner, Historic Preservation



**AGENDA**  
**DESIGN REVIEW COMMITTEE**  
Lakeland City Hall, City Commission Chambers  
December 18, 2025  
immediately following the Historic Preservation Board Meeting

---

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (*free of charge*) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

---

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the November 20, 2025 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
  - A. Oath Administration for Public Testimony by Assistant City Attorney.
  - B. **HPB25-195 – 1926 Cherokee Trail** – Final Approval requested to replace and resize two (2) PVC double-hung sash windows with a six-over-six simulated divided lite appearance on the front façade of the house at the subject address. Owner: Jeffrey and Megan Lazenby. Applicant: ValuePro Remodeling & Maintenance.
  - C. **HPB25-218 – 1056 South Boulevard** – Final Approval to construct an addition onto the rear elevation of the house, as well as to replace historic wood windows. Owner: Alexa Lashkajani. Applicant: Alan DeZayas, Avon Modular.
- V. Other Business: NONE
- VI. Adjournment.

## MINUTES

### DESIGN REVIEW COMMITTEE

City Commission Chambers

Thursday, November 20, 2025

Immediately following Historic Preservation Board meeting

*(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)*

The City of Lakeland Historic Preservation Board's Design Review Committee met in Regular Session; Marlana Alvarez, Bruce Anderson, Natalie Oldenkamp, Chris Olson, Cesar Perez and Michael Porter were present. Historic Preservation Board member Abigail Hunt-Tidwell was also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Katie Prenoveau, Assistant City Attorney, were also present.

#### **I. Call to Order and Determination of a Quorum**

The meeting was called to order by Chair Michael Porter at 8:39 a.m. The Committee roll call was performed and a quorum was present.

#### **II. Review and Approval of the Previous Meeting Minutes**

Dr. Bruce Anderson made a motion to approve the October 23, 2025 minutes as presented. Mr. Chris Olson seconded the motion. The motion passed 6—0.

#### **III. Review of Certificates of Review administratively approved.**

A list of eleven (11) administratively approved Certificate of Review projects covering the period 10/16/25-11/10/25 was included with the agenda packet. Ms. Foster provided the Board with updates on item #2 (HPB25-200; 836 E. Walnut Street) of the staff Certificates of Review administratively approved list. There were no additional questions or comments about these projects.

#### **IV. Consideration of Certificate of Review Applications:**

**A. Oath Administration for Public Testimony by Assistant City Attorney Katie Prenoveau.**

**B. HPB25-193 – 733 E. Palmetto Street – Final Approval requested to install an internally lighted wall sign on the building at the subject address. Owner: Palmetto Hospitality LLC. Applicant: Cypress Signs, Inc.**

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the property is an interior lot in the Lake Morton neighborhood consisting of 0.15 acres. The property contains a one-story Bungalow house, circa 1927, which is contributing to the South Lake Morton Historic District. This building features a gable-front porch supported by tapered columns (built in 2017), as well as wooden lap siding, knee brackets, a brick chimney, and a side gabled roof with architectural shingles and exposed rafter tails. The subject building has been used commercially for several years. Following the closure of the Red Door restaurant in 2023, the Peach House restaurant opened in June 2024. This request proposes to install



an internally lighted wall sign on the front porch gable, consisting of reverse channel letters with aluminum faces back-lighted by LED modules. The total size of this sign is 38.3 square feet (3 feet 10 inches by 10 feet). As the Historic Preservation Board's Design Review Committee is tasked with approval of internally lighted signs, this request was referred by staff to the Committee for review and approval.

Ms. Foster stated that the request was evaluated using Article 11 of the Land Development Code, and Chapter VI of the Dixieland CRA Commercial Corridor Design Guidelines. Staff finds that the design of the proposed sign is acceptable under the Dixieland Guidelines, and the placement and scale of the sign on the front porch gable is appropriate. The individual letter style and back-lit lighting source for this sign is also found to be appropriate according to the Dixieland Guidelines. Staff recommends Final Approval of the proposed sign with the condition that the maximum sign area is reduced to 35.625 square feet.

Chair Porter asked if the applicant had any additional comments or questions. Mr. Mark Bowman was present in support of the request. Mr. Bowman had no additional comments or questions.

In response to Chair Porter, Mr. Bowman stated he agrees with the recommendation.

**MOTION: Final approval of the request with the condition recommended by staff. (B. Anderson/N. Oldenkamp, 6—0).**

- C. HPB25-195 – 1926 Cherokee Trail** – Final Approval requested to replace and resize two (2) PVC double-hung sash windows with a six-over-six simulated divided lite appearance on the front façade of the house at the subject address. Owner: Jeffrey and Megan Lazenby. Applicant: ValuePro Remodeling & Maintenance.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is a corner lot in the Beacon Hill neighborhood consisting of 0.30 acres. Upon this lot is a circa 1936 Colonial Revival house, which is a contributing building in the Beacon Hill Historic District. The one-story house has an irregular plan that follows the curve of Cherokee Trail, and features a side gabled roof with a projecting gabled ell, aluminum lap siding, and a gabled front stoop. The house also features non-historic PVC double-hung sash windows with Colonial Revival-style simulated divided lite configurations. The request involves resizing two windows on the front façade to facilitate a kitchen remodel, which will relocate the kitchen into the current dining room. The existing kitchen area will become a pantry/laundry room. To accommodate new kitchen cabinets and counters, the window openings currently located in the dining room will need to be shortened. The existing window openings are 36 inches wide by 54 inches tall and are requested to be shortened to either 32 or 36 inches tall. The existing window headers will remain at the same location; new window sills and side casings designed to match the existing will be installed.

Ms. Foster stated that the request was evaluated using Article 11 of the Land Development Code, Secretary of the Interior's Standards #9 and #10, and Chapter VI of the Dixieland CRA Commercial Corridor Design Guidelines. While resizing window openings on a front façade is not recommended typically by the Design Guidelines, staff finds this request is appropriate given the asymmetrical composition of the house and the fact that the existing windows are not historic. However, to maintain an appearance and scale similar to the

existing kitchen window, the height of the new window openings should not be less than 36 inches tall. Staff recommends final approval for the request, with the condition that the height of the new window openings is not less than 36 inches tall.

Chair Porter asked if the applicant had any additional comments or questions. The applicant was not present.

**MOTION: Postpone item until the next meeting to allow Applicant to answer Board questions. (B. Anderson/C. Olson, 6—0).**

- D. HPB25-193 – 124 Lake Morton Drive** – Final Approval requested to install an accessory building at the rear of the subject property. Owner: Adam Abitbol.  
Applicant: Christopher Johnson, Morton Buildings.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot in the Lake Morton Neighborhood that is 0.19 acres in size. On this property is a two-story, Frame Vernacular house, which is a contributing building in the South Lake Morton Historic District, built circa 1922. The Applicant's request proposes to install an accessory structure, 30 feet wide by 18 feet long (540 square feet) at the rear of the property. The building will have a gabled roof and front façade windows and double door entry with overhang. The roof and siding consist of painted vertical rib steel paneling. As this structure is more than 300 square feet in area, review and approval by the Design Review Committee is necessary. The site plan and architectural plans for the proposal shows building setbacks and height that comply with the Urban Form Standards in the Land Development Code for accessory structures.

Ms. Foster stated that the request was evaluated using Article 11 of the Land Development Code, Secretary of the Interior's Standards #10, and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds the requested accessory structure does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house is maintained. Staff also finds that the materials and design of the proposed carport are subordinate and simple, meeting the intent of the Design Guidelines, and placement of the carport at the rear of the property is appropriate. While metal paneling is not typically used for accessory structures, there is precedence for use of this material for accessory structures in historic districts. Additionally, the subject house will screen the proposed structure from view on Lake Morton Drive, given the location of the structure at the middle rear of the lot and narrow side yards of houses along this street. Finally, the building setbacks and height for the requested structure meet the requirements of the Land Development Code's Urban Form Standards. Staff recommends final approval for the request as submitted.

Chair Porter asked if the applicant had any additional comments or questions. Mr. Chris Johnson was present in support of the request. Mr. Johnson provided an overview of Morton Building's operations.

Discussion ensued.

**MOTION: Final approval of the request as submitted. (B. Anderson/C. Perez, 6—0).**

**V. Other Business: NONE**

**VI. Adjournment:** There being no further business, the meeting was adjourned at 9:14 a.m.

---

Chair, Design Review Committee

---

Senior Planner, Historic Preservation

Number Location Description	Milestone	Approved
Historic Preservation (10)		
Minor Review (10)		
<a href="#">HPB25-212</a> 514 MCKAY AVE S, LAKE LAND, FL 33801 Remove and replace 2 awning windows at front and front left of house, size for size, with vinyl horizontal slider windows with external grids (FL# 33554.1, FL#33554.2)	Certificate of Review Issued with Conditions	11/12/25
<a href="#">HPB25-213</a> 1124 HARTSELL AVE, LAKE LAND, FL 33803 Installation of 112 linear feet of 6 ft. tall tan vinyl fence in side and rear yards of subject property; Installation of 60 linear feet of 6 ft. tall bronze metal Dura fence in side yards facing the street.	Certificate of Review Issued	11/12/25
<a href="#">HPB25-214</a> 818 LEMON ST E, LAKE LAND, FL 33801 71" x 42" Wall Sign for Enchanted Fairytale Hollow.	Certificate of Review Issued	11/18/25
<a href="#">HPB25-215</a> 1102 FLORIDA AVE S, LAKE LAND, FL 33803 Re-letter existing wall sign face for Oakley Title.	Certificate of Review Issued	11/19/25
<a href="#">HPB25-216</a> 1102 FLORIDA AVE S, LAKE LAND, FL 33803 Re-letter existing wall sign face for Mr. Appliance.	Certificate of Review Issued	11/19/25
<a href="#">HPB25-217</a> 1056 SOUTH BLVD, LAKE LAND, FL 33803 1. Repairing/replacing front porch columns in-kind to match existing columns 2. Replacement of jalousie and fixed windows with Jeld-Wen vinyl transom and single-hung sash windows with an external 6-over-1 Colonial grille. 3. Installation of PT wood deck (13'-10" x 8"-4") at rear of property/south side of house. 4. Demolition of the accessory structure to prepare for addition to house (HPB25-218).	Certificate of Review Issued	12/04/25
<a href="#">HPB25-221</a> 319 BELMAR ST W, LAKE LAND, FL 33803 Remove and replace 3 non-historic windows size for size, with a vinyl single-hung sash window and vinyl slider windows (FL#33448.2 and FL#33447.1).	Certificate of Review Issued with Conditions	12/01/25
<a href="#">HPB25-224</a> 619 BELMAR ST W, LAKE LAND, FL 33803 Install 6 ft. tall wood grain vinyl fence/grey cedar color/matte finish to enclose sides and rear of subject property.	Certificate of Review Issued	12/04/25

[HPB25-226](#)

Certificate of Review Issued with Conditions

12/04/25

724 HANCOCK ST W, LAKELAND, FL 33803

Remove and replace 2 windows - 1 window in front and rear gables of house. Ply Gem vinyl single hung sash 9-over-1 Prairie lite simulated divided lite to match existing (FL#16103).

[HPB25-228](#)

Certificate of Review Issued

12/08/25

2016 SEMINOLE TRL, LAKELAND, FL 33803

Installation of a screened wooden door to back door of house. Will be painted white and not visible from road, as property fenced and gated, though will be conforming to style of house and add character.

**Total Planning Projects Approved: 10**



**HISTORIC PRESERVATION BOARD  
DESIGN REVIEW COMMITTEE  
STAFF REPORT  
December 18, 2025**

<b>Project #</b>	<b>HPB25-195</b>
<b>Project Type</b>	<b>Minor Exterior Alteration</b>
<b>Property Address; Historic Name</b>	<b>1926 Cherokee Trail / Fussell-Trohn House</b>
<b>Historic District; FMSF#</b>	<b>Beacon Hill; #PO02646</b>
<b>Owner/Applicant</b>	<b>Jeffrey and Megan Lazenby / ValuePro Remodeling &amp; Maintenance</b>
<b>Zoning; Future Land Use; Context District; SPI</b>	<b>Residential Medium; RA-1; Urban Neighborhood; None</b>
<b>Existing Use</b>	<b>Residential</b>
<b>Adjacent Properties</b>	<b>Residential</b>
<b>Previous Approvals</b>	<b>Window Replacement, 4/26/2018 (HPB18-066); Pool, 3/16/2022 (HPB22-059)</b>

---

## REQUEST

The Applicant requests approval to replace and resize two (2) PVC double-hung sash windows with a six-over-six simulated divided lite appearance, to accommodate the remodel of the home's kitchen and dining room. The affected windows are located on the front façade of the house at the subject address. *This request was postponed from the November 20, 2025 Design Review Committee as the Applicant or Applicant's representative was not present at that meeting.*

---

## SUMMARY OF BACKGROUND INFORMATION

The subject property is a corner lot in the Beacon Hill neighborhood consisting of 0.30 acres (BEACON HILL PB 9 PG 17 BLK 6 LOTS 1 & 2 & S 10 FT OF 3). Upon this lot is a circa 1936 Colonial Revival house, which is a contributing building in the Beacon Hill Historic District. The one-story house has an irregular plan that follows the curve of Cherokee Trail, and features a side gabled roof with a projecting gabled ell, aluminum lap siding, and an unpedimented front stoop. The house also features non-historic PVC double-hung sash windows with Colonial Revival-style simulated divided lite configurations.

The request involves resizing two windows on the front façade to facilitate a kitchen remodel, which will relocate the kitchen into the current dining room. The existing kitchen area will become a pantry/laundry room. To accommodate new kitchen cabinets and counters, the window openings currently located in the dining room will need to be shortened. The existing window openings are 36 inches wide by 53 inches tall, but are requested to be shortened to 32 or 36 inches tall. The existing window headers will remain at the same location; new window sills and side casings designed to match the existing will be installed.

---

## APPLICABLE GUIDELINES:

*The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's Design Guidelines for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.*

The following *Standards* apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 6 Exterior Architectural Features: Alteration and Maintenance; Sub-Chapter 6.4 Windows and Shutters (for Contributing Buildings)

- Preserve original windows. Original windows should be repaired and restored, rather than replaced.
- Use clear replacement glass to repair broken panes. Do not use tinted, reflective, opaque, or other non-traditional glass types.
- Existing window trim, casing, and other decorative details contributing to the building's character should be preserved. Any replacement of trim, casing and other decorative details surrounding the window must use the same or similar material of the same design, profile, and dimension.
- **Window openings should be kept in the same proportion as originally provided. Window head heights should be consistent throughout the building.** Avoid enlarging or diminishing window openings to fit air conditioning units.
- Replacement of original windows should only be considered in cases where original windows have deteriorated beyond reasonable repair.
- Replacement window requirements:
  - Window design should reflect the architectural style of the building (see Chapter 5: House Styles for window designs appropriate for specific architectural styles).
  - Must retain the opening size of the original window.
  - Must use the same type of window as the original. Double-hung sash windows may be replaced with a double-hung sash or single-hung sash window.
  - Must retain the same divided lite/pane pattern as the original window. Muntins/grids must be dimensional and mounted to the exterior glass, approximately of the same dimension as the original window;
  - Must be installed with a recess inside the casing of the window opening to produce a shadow line (flush installation is not permitted); box or block frame windows are recommended as fin/flange windows do not produce an adequate recess.
  - Double or grouped windows may not be separated by a standard mull bar and must be separated by a wood or similar material mullion of the same dimension as the original mullion.
  - Window must be trimmed out with wood or similar material of the same design, profile, and dimension as the original, including angled sill and top drip edge. It is recommended that the original window trim and casing be preserved.
  - Non-historic windows such as jalousie, awning, and aluminum single-hung sash windows, may be replaced with windows that are typical for the architectural style of the building.
  - Possible substitutes must be approved by the Historic Preservation Board.

**ANALYSIS:**

---

While resizing window openings on a front façade is not recommended typically by the Design Guidelines, staff finds this request is appropriate given the asymmetrical composition of the house and the fact that the existing windows are not historic. However, to maintain an appearance and scale similar to the existing kitchen window, the height of the new window openings should not be less than 36 inches tall.

**STAFF RECOMMENDATION:**

---

Staff recommends approval for the request, with the condition that the height of the new window openings is not less than 36 inches tall.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation  
Liaison to the Historic Preservation Board





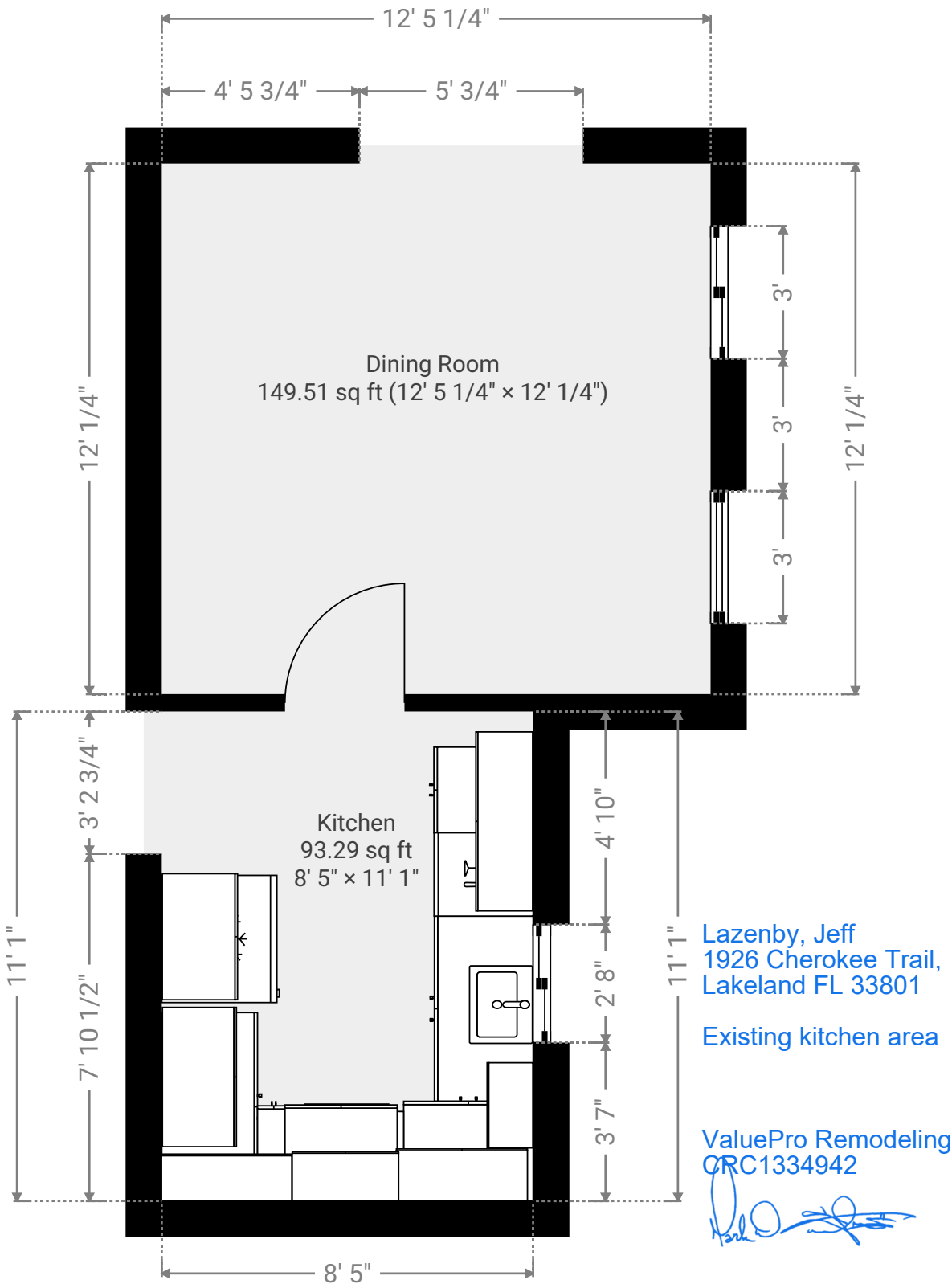
CHEROKEE TR.  
1926

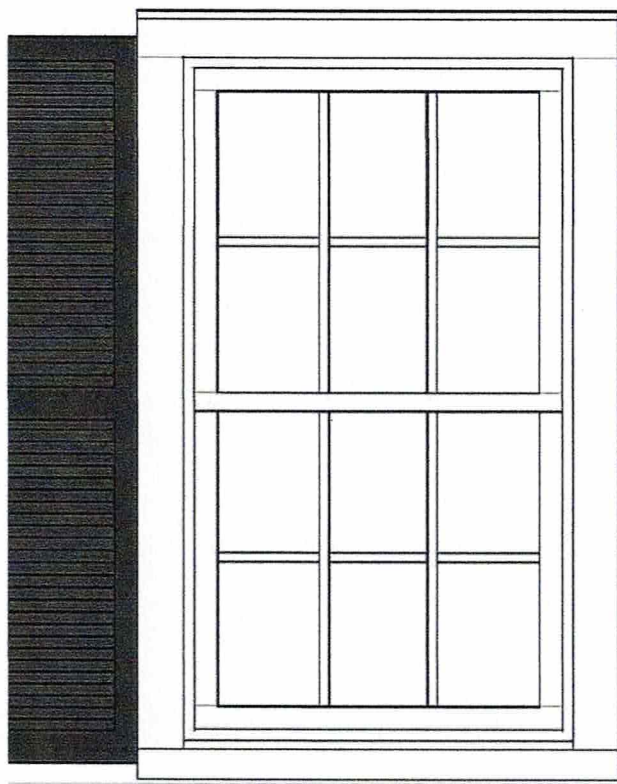


TOTAL AREA: 307.62 sq ft • LIVING AREA: 307.62 sq ft • FLOORS: 1 • ROOMS: 2

▼ 1st Floor

TOTAL AREA: 307.62 sq ft • LIVING AREA: 307.62 sq ft • ROOMS: 2

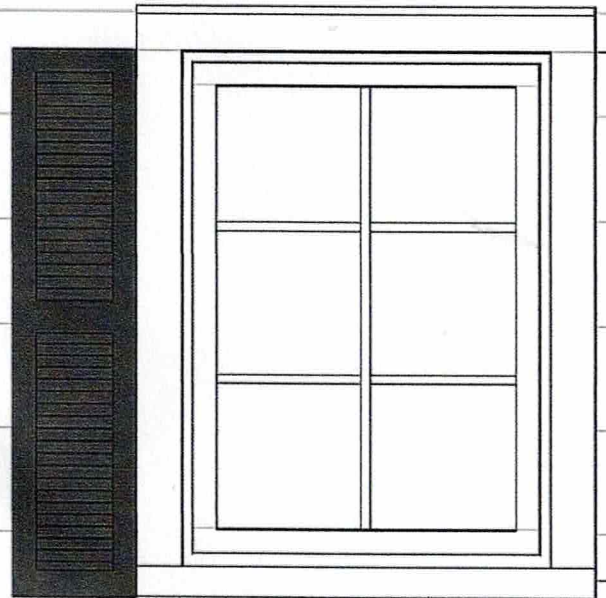




54

36

EXISTING

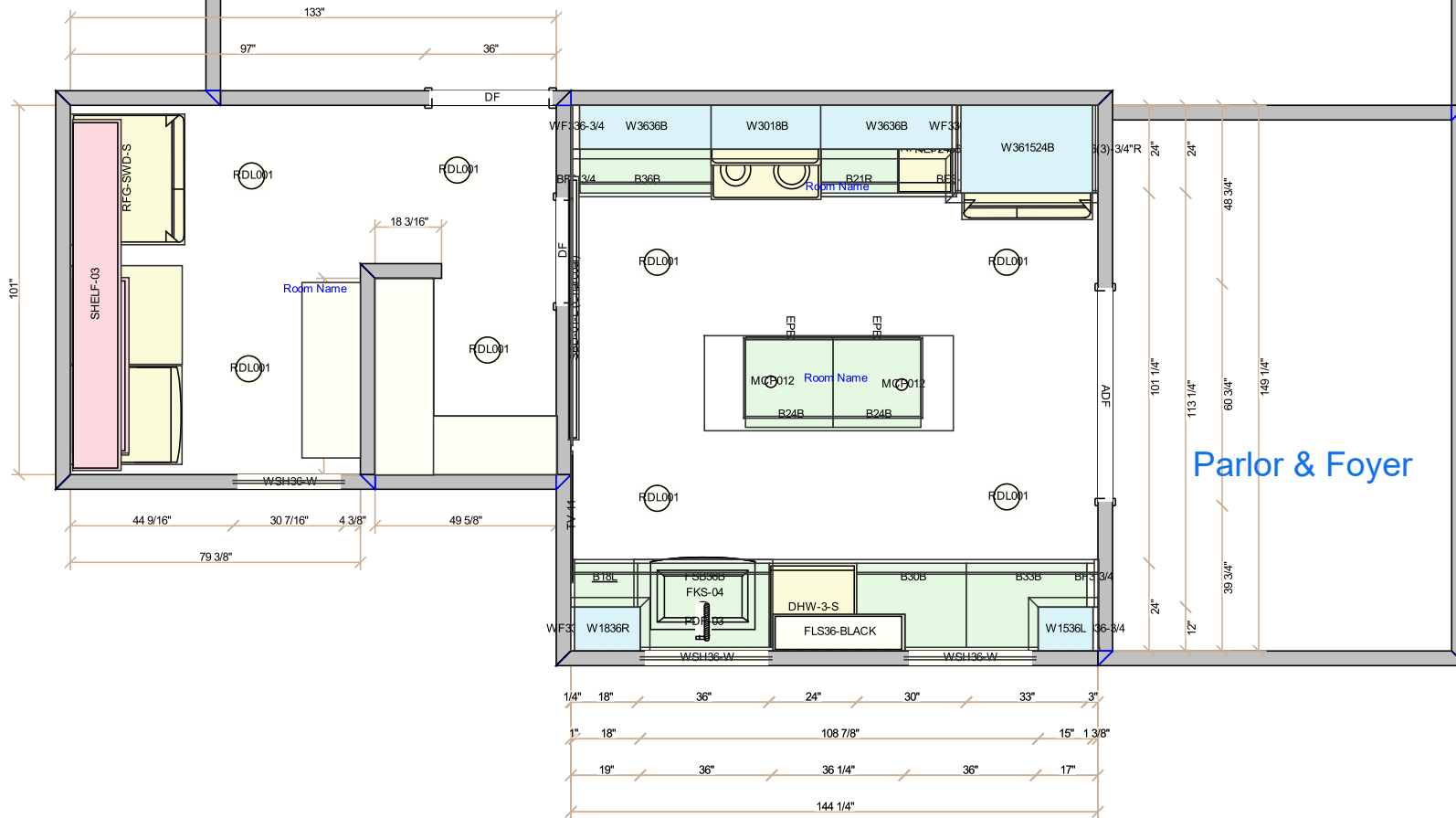


30

36

PROPOSED

## Living Room



All dimensions and size designations must be verified on the site to fit job conditions. Client accepts these drawings as is and can use them on its own risk.

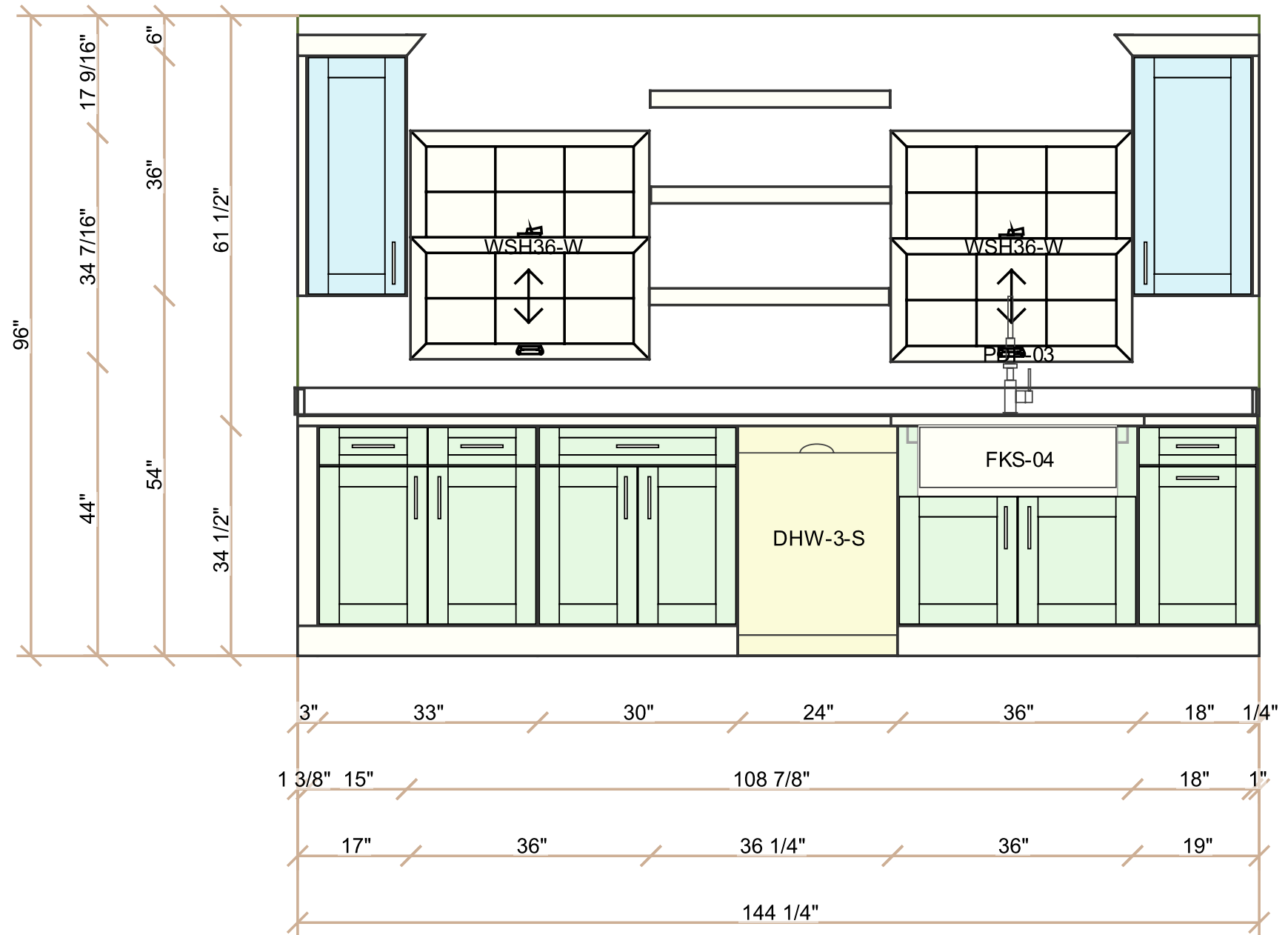


Design drawings are provided for the fair use by the client or his agent in completing the project as listed within this contract

Designed:09.02.25  
Printed:09.02.25

Design:Lazenby - Matrix

Drawing #:1



All dimensions and size designations must be verified on the site to fit job conditions. Client accepts these drawings as is and can use them on its own risk.



Design drawings are provided for the fair use by the client or his agent in completing the project as listed within this contract.

Designed:09.02.25  
Printed:09.02.25









**HISTORIC PRESERVATION BOARD  
DESIGN REVIEW COMMITTEE  
STAFF REPORT  
December 18, 2025**

<b>Project #</b>	<b>HPB25-218</b>
<b>Address; Historic Name</b>	<b>1056 South Boulevard; William and Myrtle Carpenter House (1924 CD)</b>
<b>Owner/Applicant</b>	<b>Alexa Lashkajani / Alan DeZayas, Avon Modular LLC</b>
<b>Project Type</b>	<b>Building Addition, Replacement Windows,</b>
<b>Historic District; FMSF#</b>	<b>South Lake Morton Historic District; #PO9677</b>
<b>Zoning; Future Land Use; Context District; SPI</b>	<b>RA-4; Residential Medium Urban Neighborhood</b>
<b>Existing Use</b>	<b>Residential</b>
<b>Adjacent Properties</b>	<b>Residential</b>
<b>Previous Approvals</b>	<b>Replacement of non-historic windows, rear deck, repair front porch columns, 12/4/25 (HPB25-217)</b>

## REQUEST

The Applicant requests Final Approval to construct an addition onto the rear elevation of the house, as well as to replace historic wood windows.

## SUMMARY OF BACKGROUND INFORMATION

The subject property is a platted lot (Dixieland Subdivision, Block 18, Lot 4 south 60 feet and south 60 feet Lot 5 ) consisting of 0.15 acres. On this property is a one-story, single-family house, which is a contributing building in the South Lake Morton Historic District. Built circa 1923 in the Craftsman Bungalow architectural style, this house has an irregular plan and is of frame construction. The gabled front porch is supported by square columns on tapered plinths. Its exterior walls are clad in clapboard siding, and several historic wood double-hung sash and casement windows exist in nine-over-one, nine-over-nine, and nine-lite configurations.

At the rear of the house is a detached wood frame garage and carport with a gable roof; as a noncontributing accessory structure, it was approved to be demolished under Certificate of Review HPB25-217 (Minor Review). Also under this Certificate of Review, replacement of non-historic windows, a new deck on the south side of the house towards the rear of the structure, and the repair of the front porch columns were approved.

In place of the detached garage, the Applicant proposes to construct an addition of approximately 391 square feet, which will consist of primary bedroom suite. The design and materials for the addition are intended to match the existing house, and include a concrete stem wall foundation to match the raised foundation of the house; wood siding to match the existing; fiber cement trim; shingle roof; wood eave and fascia to match existing; decorative wood beams in the gables; and vinyl single-hung sash windows with a 6-over-1 and 4-over-4 simulated divided lite configuration and transom windows with an 8-lite simulated divided lite configuration. The site plan for the proposed addition shows building setbacks that comply with the Land Development Code's Urban Form Standards.

The Applicant also requests to replace the existing historic wood windows with vinyl single hung sash windows with a Colonial style 6-over-1 simulated divided lite configuration in order to match the new windows in the addition.

#### **APPLICABLE GUIDELINES:**

---

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard #6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

#### Chapter 4: Historical Development Patterns and New Construction

##### Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure architecturally important details and materials of the primary structure or other resources on the site. Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of construction while respecting the historic context and architectural style of the original structure. Avoid using architectural details for additions that are more ornate than those found on the original structure or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction are appropriate.
- Additions that minimize the loss of any architectural details or features are appropriate.
- Additions that are subordinate to and compatible with the style and scale of the host structure are appropriate.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street or setback considerably from the street-facing façade are appropriate.
- Additions that are designed with some distinction between the historic house and non-historic features are appropriate.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece are appropriate.



#### Sub-Chapter 6.4 Windows and Shutters (for Contributing Buildings)

- Preserve original windows. Original windows should be repaired and restored, rather than replaced.
- Use clear replacement glass to repair broken panes. Do not use tinted, reflective, opaque, or other non-traditional glass types.
- Existing window trim, casing, and other decorative details contributing to the building's character should be preserved. Any replacement of trim, casing and other decorative details surrounding the window must use the same or similar material of the same design, profile, and dimension.
- Window openings should be kept in the same proportion as originally provided. Window head heights should be consistent throughout the building. Avoid enlarging or diminishing window openings to fit air conditioning units.
- **Replacement of original windows should only be considered in cases where original windows have deteriorated beyond reasonable repair.**
- Replacement window requirements:
  - Window design should reflect the architectural style of the building (see Chapter 5: House Styles for window designs appropriate for specific architectural styles).
  - Must retain the opening size of the original window.
  - Must use the same type of window as the original. Double-hung sash windows may be replaced with a double-hung sash or single-hung sash window.
  - **Must retain the same divided lite/pane pattern as the original window. Muntins/grids must be dimensional and mounted to the exterior glass, approximately of the same dimension as the original window;**
  - Must be installed with a recess inside the casing of the window opening to produce a shadow line (flush installation is not permitted); box or block frame windows are recommended as fin/flange windows do not produce an adequate recess.
  - Double or grouped windows may not be separated by a standard mull bar and must be separated by a wood or similar material mullion of the same dimension as the original mullion.
  - Window must be trimmed out with wood or similar material of the same design, profile, and dimension as the original, including angled sill and top drip edge. It is recommended that the original window trim and casing be preserved.
  - Non-historic windows such as jalousie, awning, and aluminum single-hung sash windows, may be replaced with windows that are typical for the architectural style of the building.
  - Possible substitutes must be approved by the Historic Preservation Board.

#### ANALYSIS:

---

Regarding the request for the addition, staff finds the requested addition is consistent with the Standards as it does not disturb the spatial relationships that characterize the house, and the essential form and integrity of the subject house is maintained. The new addition is differentiated from the house by its subordinate massing and perpendicular orientation, which is similar to the orientation of the detached garage to be demolished. However, for further differentiation from the house, staff recommends not using a simulated divided lite appearance on the building addition's windows, especially as the addition is located at the rear of the property and will not be highly visible from the street. Additionally, the proposed simulated divided lite configuration of the windows on the addition are not consistent with the divided lite configuration of the home's historic windows.

In evaluating the proposed addition with the Design Guidelines, the materials of the and addition reflect the materials of the existing house and meet the intent of the Design Guidelines. The scale of proposed

addition's windows, wall cladding, and roof pitch and form is consistent with the Craftsman Bungalow style of the subject house. Furthermore, the addition is appropriately placed on the rear elevation of the house.

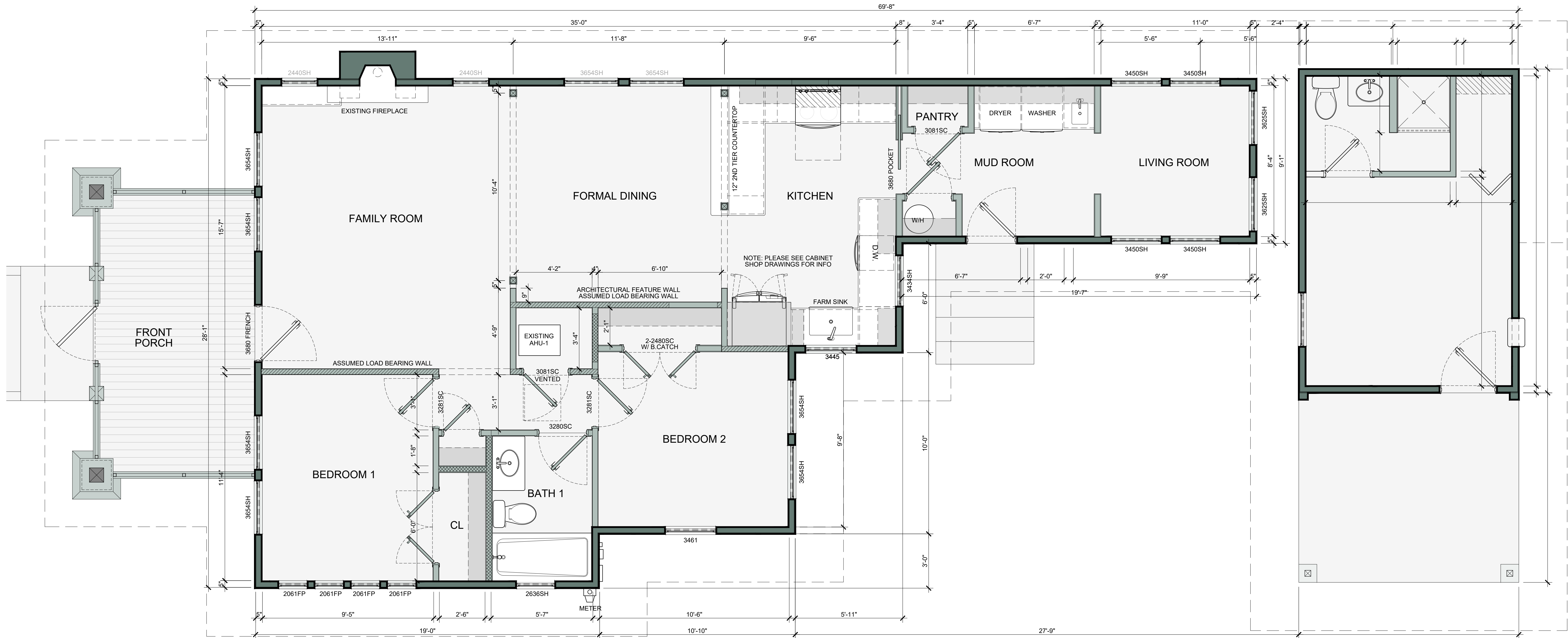
Regarding the request for replacement windows, typically, this type of request can receive approval under Minor Review (staff-level review) if the request is justified and complies with the Standards and Design Guidelines. Historic windows are character-defining features of a historic building, and the removal of repairable historic windows and installation of inappropriate replacement windows can adversely affect the architectural integrity of a building. As the request is not consistent with the Standards and Design Guidelines, and staff was not provided adequate evidence to show that the historic windows are deteriorated beyond reasonable repair, this request could not be approved at the Minor Review level. Additionally, the proposed replacement windows do not match the divided lite appearance of the historic double-hung sash (9-over-1 and 9-over-9 lite configuration) and casement (9-lite configuration) windows. For these reasons, staff recommends that the historic wood windows be repaired by a qualified window restoration professional instead of being replaced as requested.

#### **STAFF RECOMMENDATION:**

---

1. Final Approval of the requested addition with the following conditions, to be reviewed and approved by staff prior to the issuance of a building permit:
  - a. Windows shall be recessed to provide a shadow line.
  - b. Windows shall not have a simulated divided lite appearance.
2. Denial of the request to replace the historic wood windows.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation  
Liaison to the Historic Preservation Board



EXISTING FLOOR PLAN

SCALE 3/8" = 1'-0"

GENERAL NOTES

1. REFER TO DOCUMENTS FOR STRUCTURAL, ELECTRICAL, MECHANICAL FOR ADDITIONAL DETAILS AND GENERAL NOTES. SYMBOLS, ABBREVIATIONS, AND OTHER FEATURES MAY VARY IN OTHER DOCUMENTS. SOME ITEMS ARE REFERENCED FOR OTHER DISCIPLINES. IF ANY INCONSISTENCY OCCURS BETWEEN DOCUMENTS AND/OR SPECIFICATIONS, CONTRACTOR MUST NOTIFY THE ENGINEER FOR CLARIFICATION.
2. ALL CONTRACTORS MUST BECOME FAMILIAR WITH THE THE SCOPE OF WORK AND SITE CONDITIONS AS DESCRIBED WITHIN THESE DOCUMENTS. THE CONTRACTOR SHALL VERIFY, INVESTIGATE, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THIS PROJECT. IF ANY CONDITIONS REQUIRE ATTENTION OR MODIFICATION, THEY MUST NOTIFY THE ENGINEER BEFORE PROCEEDING.
3. ALL MATERIALS USED IN THE CONSTRUCTION OF THE BUILDING WHICH ARE COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 61G20-3.006 RULES SHALL HAVE CURRENT FLORIDA PRODUCT APPROVAL.
4. ALL DIMENSIONS AND DETAILS RELATING TO FIXTURES, APPLIANCES, AND PRODUCTS FEATURED IN THE DOCUMENTS MAY VARY. PRODUCTS MAY BE UPDATED BY THE MANUFACTURER OR ACCEPTABLE EQUIVALENTS OF THE PRODUCTS MAY BE PROVIDED. CONTRACTORS TO VERIFY PRIOR TO INSTALLATION.
5. MINIMUM CORRIDOR WIDTH IS 44 INCHES; MINIMUM CORRIDOR FINISH IS CLASS B (GYPSUM).
6. WHEN APPLICABLE, REFER TO ENLARGED PLANS AND DETAIL REFERENCES FOR DIMENSIONS WITHIN THOSE AREAS.
7. THIS BUILDING REQUIRES A FIRE SEPARATION DISTANCE IN ACCORDANCE WITH TABLE 602 OF THE FLORIDA BUILDING CODE, 7TH EDITION (2020).
8. PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S. TO BE DONE BY THE LOCAL FIRE SAFETY INSPECTOR.
9. ALL GLAZING WITHIN A 48 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.

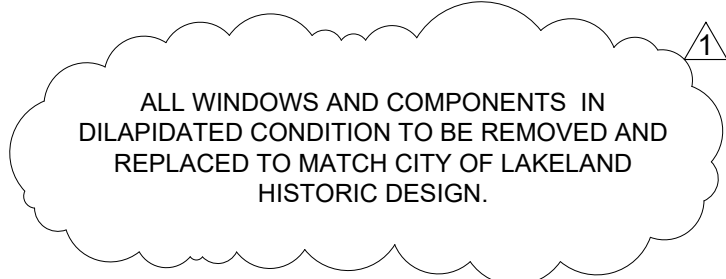


MOOSEH@DIGITAL.NET

LAKELAND, FL 33803  
E100B PLAN - CONCEPT 5



D11

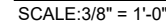


SCALE: 3/8" = 1'-0"

1. CONTRACTOR TO MAINTAIN AND PROTECT CLEAR EXIT PATHS THROUGHOUT THE BUILDING TO THE PUBLIC WAY AT ALL TIMES.
2. CONTRACTOR TO PROVIDE MINIMUM 1 WEEK LEAD TIME NOTICE TO OWNER FOR ANY SHUT DOWN REQUIRED.
3. COMPLETE ALL DEMOLITION WORK SHOWN AND SPECIFIED. COORDINATE DEMO SCHEDULES AND PREPARATION FOR FUTURE WORK WITH OWNERS REPRESENTATIVE.
4. COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND SAFETY ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
5. PLAN ALL DEMOLITION WORK FOR MINIMAL INTERRUPTIONS TO OWNERS ONGOING OPERATIONS. PROTECT ALL EXISTING STRUCTURES AND ADJACENT AREAS AFFECTED BY CONTRACTORS OPERATION.
6. REMOVE ALL MATERIALS AND DEBRIS BY CONTRACTOR TO BE REMOVED TO OWNER TO BE RECYCLED.
7. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION. COORDINATE REMOVAL OF TELEPHONES, P.A. SYSTEMS, INTERCOMS, ETC. WITH OWNER.
8. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE OWNER.
9. NOISE DURING DEMOLITION AND CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
10. ALL EXISTING SERVICES AND UTILITIES SHALL BE MAINTAINED TO DEPARTMENTS OR AREAS THAT ARE IN OPERATION AND SERVED BY THESE UTILITIES AND SERVICES. COORDINATE ALL DISRUPTIONS OR REPAIRS OF EXISTING UTILITIES AND SERVICES.
11. EXISTING ITEMS, EQUIPMENT, PLUMBING FIXTURES ETC. TO REMAIN IN PLACE SHALL BE PROTECTED FROM DIRT AND DAMAGE DURING DEMOLITION AND CONSTRUCTION.
12. ALL AREAS TO BE DEMOLISHED OR DISTURBED BY ANY DEMOLITION SHALL BE PATCHED AND PAINTED TO CORRESPOND TO NEIGHBOR WALL COVERINGS, IF PAINTING IS REQUIRED, ENTIRE WALL SHALL RECEIVE PAINT TO AVOID MISMATCH OF COLOR.
13. REMOVAL OF CERAMIC TILE ANDS GROUT BEDS FROM EXISTING WALLS AND FLOORS SHALL INCLUDE PREPARATION FOR NEW CONSTRUCTION.
14. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
15. ALL DEMOLITION ACTIVITIES SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTIONS OF THE NORMAL FUNCTIONS OF THE OWNERS OCCUPIED AREAS.
16. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO OWNERS OCCUPIED AREAS ADJACENT TO AREAS BEING DEMOLISHED. CONTRACTOR SHALL OSHA REQUIREMENTS. CORRECTIONS OR EXTENSIONS ARE REQUIRED AND IS RESPONSIBLE FOR DAMAGE CAUSED BY RAIN, SNOW, ICE AND WIND.
17. TEMPORARY BARRICADES OR CAUTION TAP AS PERTAINING TO CONTRACTORS ACTIVITIES SHALL BE INSTALLED TO PREVENT POSSIBLE INJURY TO PERSONS IN AND AROUND DEMOLITION AND CONSTRUCTION AREAS IN ACCORDANCE WITH OSHA REQUIREMENTS. COORDINATE WITH OWNER.
18. REMOVE ALL FLOOR FINISHES IN AREA OF WORK UNLESS OTHERWISE NOTED. WHERE REMOVAL OF FLOOR COVERINGS AND RESILIENT WALL BASE ARE REQUIRED, REMOVE ONLY WHAT IS NECESSARY TO COMPLETE REMOVAL OF DEMOLITION. REMOVE ALL FLOOR FINISHES INCLUDING BASEBOARD, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.

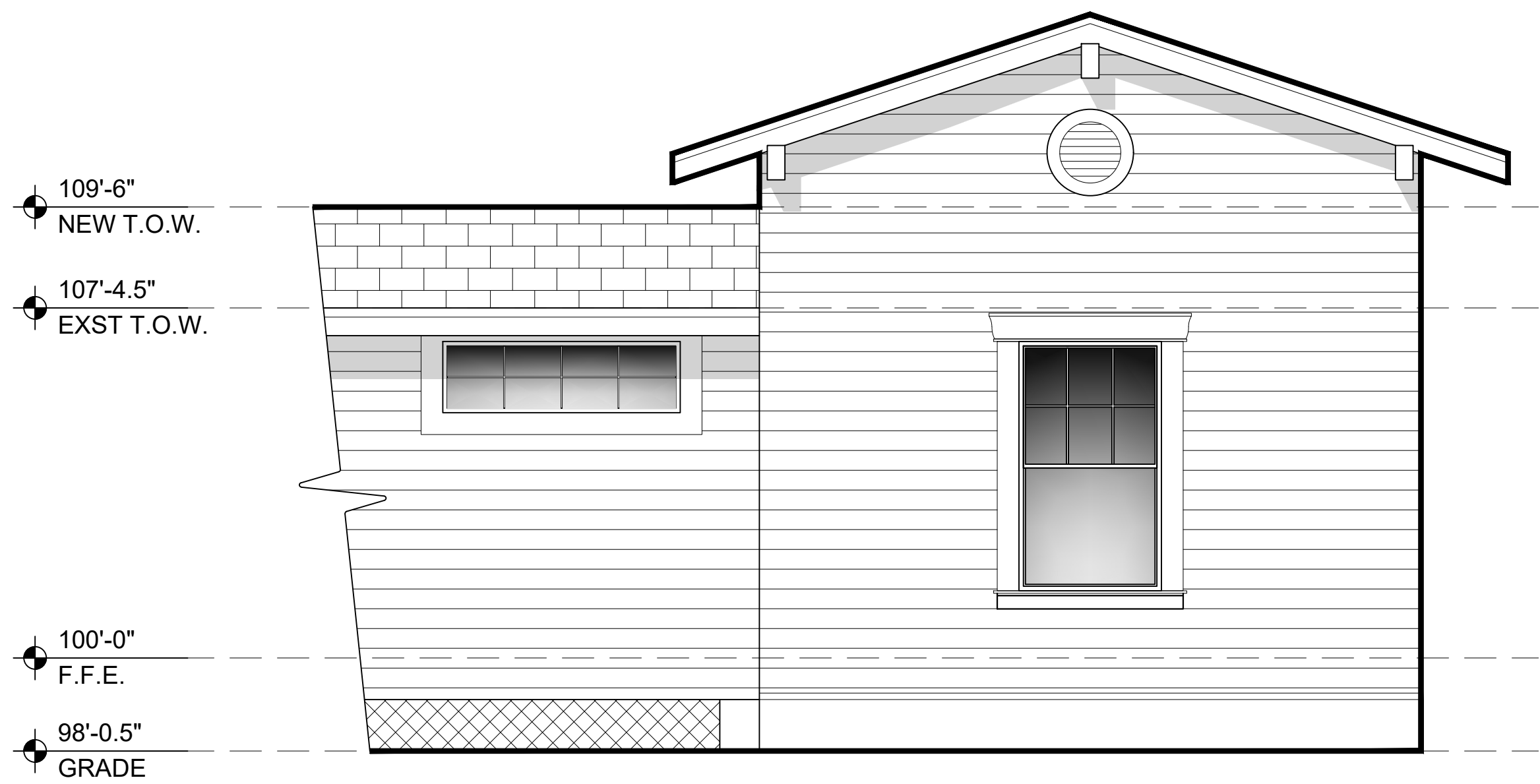
21. REMOVE ALL CEILINGS IN AREA OF WORK UNLESS OTHERWISE NOTED. ALL ACoustICAL CEILINGS AND RELATED SUPPORT SYSTEMS TO BE REMOVED SHALL INCLUDE CEILING TILES, LIGHT FIXTURES, GRILLES, NON-FLUORESCENT LIGHTS, ELECTRIC COMMUNICATIONS, ETC.
22. AT CONSTRUCTION ACCESS CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS TO REPAIR ALL DISTURBED ELEMENTS.
23. REMOVE ALL RESILIENT TILE, CARPET, AND VINYL BASE WITHIN LIMITS OF WORK UNLESS OTHERWISE NOTED. FILL WITH FLOOR FINISH TO RECEIVE NEW FLOOR.
24. REMOVE ALL EXISTING CORNER GUARDS AND HANDRAILS WITHIN THE LIMITS OF WORK. PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISH.
25. WHERE EXISTING PARTITIONS ARE REMOVED, FILL FLOOR RECESSES FLUSH WITH SURROUNDING FLOOR SURFACES TO PROVIDE A SMOOTH SUBSTRATE FOR NEW FLOOR FINISHES. AT CORRIDORS FILL RECESSES FROM REMOVED VINYL TILE.
26. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF ALL EXISTING ITEMS WHICH WILL BE RELOCATED/ REUSED IN THIS PROJECT.
27. REMOVE ALL EXISTING WALLS TO BE REMOVED FROM FLOOR TO STRUCTURE ABOVE AND INCLUDE ALL MECHANICAL, ELECTRICAL, EQUIPMENT, ETC. PREPARE ALL DISTURBED AREAS FOR NEW CONSTRUCTION.
28. REMOVE ALL MILLWORK IN AREA OF WORK UNLESS OTHERWISE NOTED. ALL BASE CABINETS, COUNTER TOPS, UPPER CABINETS AND SHELVS SHOULD BE REMOVED AND ALL WALLS TO REMAIN SHOULD BE REPAIRED AND FINISHED TO MATCH SURROUNDING AREA.
29. REMOVE ALL MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING SUCH AS TACK BOARD, CHALKBOARDS, SHELVS, CURTAIN TRACKS, MOBILE PARTITIONS ETC. COORDINATE WITH OWNER FOR REMOVAL OR RELOCATION. SEE DEMOLITION SCHEDULE.
30. REMOVE ALL PORTABLE ITEM, SUCH AS HOT TAP, FURNISHINGS, TOILET EQUIPMENT, DESKS, BEDS, TABLES, CHAIRS, DRAPERIES, ETC. WILL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
31. REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE PIPING, WASTE LINES, ETC. LINES TO BE CAPPED WITH WALLS, CEILINGS, ETC. AS REQUIRED. REF. MECHANICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION.
32. REMOVAL OF EXISTING HVAC SHALL INCLUDE DUCT WORK HANGERS, GRILLES, DIFFUSERS, THERMOSTAT, ETC. AS REQUIRED. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
33. REMOVE ALL EXISTING ELECTRICAL CONDUIT BOXES, WIRE, CABLE, SMOKE DETECTORS, FIRE ALARMS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, TELEPHONE OUTLETS, AND LIGHTING FIXTURES. BRANCH CIRCUIT REMOVAL SHALL BE BACK TO PANEL BOARD OR FIRST REMAINING ACTUAL JUNCTION BOX. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
34. ALL EXISTING WIRING, CONDUIT, ETC. OR PORTIONS THEREOF, REMOVED DURING DEMOLITION, SHALL BE DISPOSED OF BY THE CONTRACTOR.



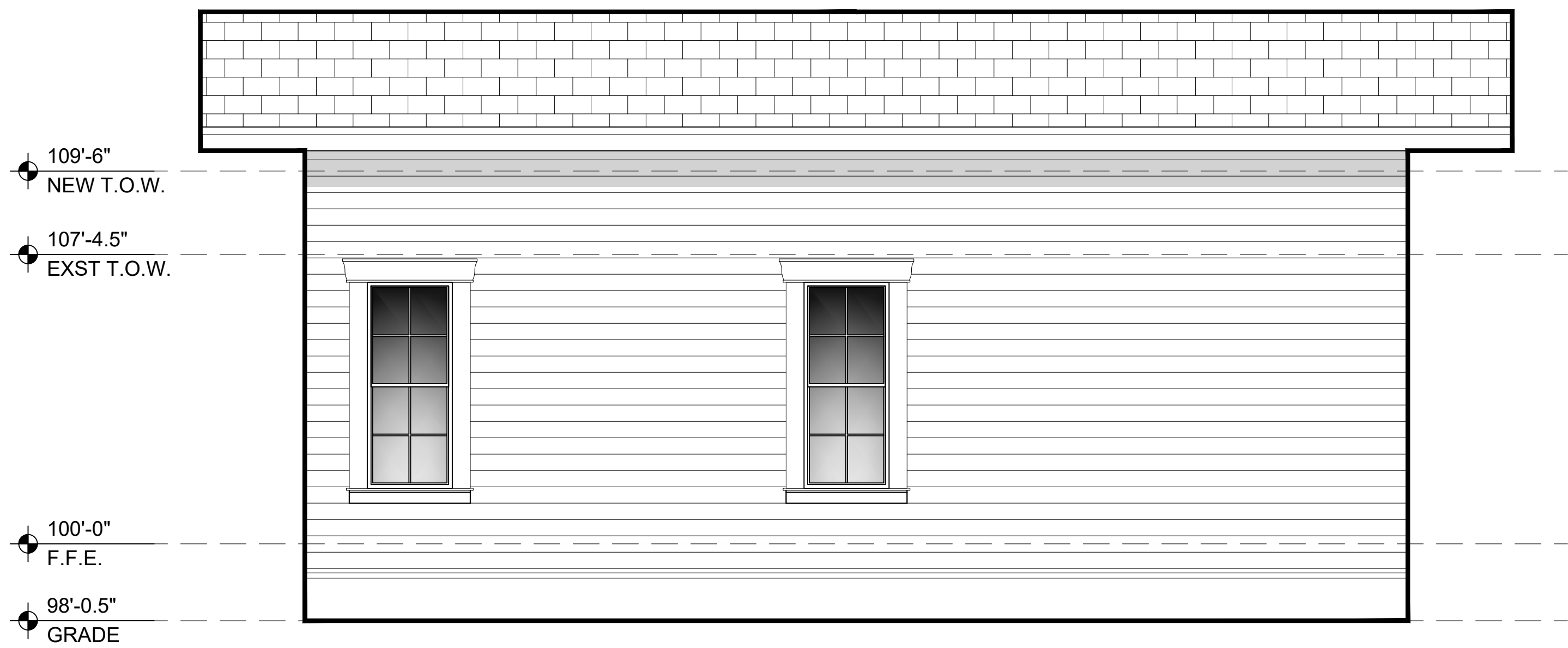


4. REFER TO DOCUMENTS FOR STRUCTURAL, ELECTRICAL, MECHANICAL FOR ADDITIONAL DETAILS AND GENERAL NOTES, SYMBOLS, ABBREVIATIONS, AND OTHER FEATURES MAY VARY IN OTHER DOCUMENTS. SOME ITEMS ARE REFERENCED FOR OTHER DISCIPLINES, IF ANY INCONSISTENCY OCCURS BETWEEN DOCUMENTS AND/OR SPECIFICATIONS, CONTRACTOR MUST NOTIFY THE ENGINEER FOR CLARIFICATION.
2. ALL CONTRACTORS MUST BECOME FAMILIAR WITH THE THE SCOPE OF WORK AND SITE CONDITIONS AS DESCRIBED WITHIN THESE DOCUMENTS. THE CONTRACTOR SHALL VERIFY, INVESTIGATE, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THIS PROJECT. IF ANY CONDITIONS REQUIRE ATTENTION OR MODIFICATION, THEY MUST NOTIFY THE ENGINEER BEFORE PROCEEDING.
4. ALL MATERIALS USED IN THE CONSTRUCTION OF THE BUILDING WHICH ARE COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 61G20-3.006 RULES SHALL HAVE CURRENT FLORIDA PRODUCT APPROVAL.
4. ALL DIMENSIONS AND DETAILS RELATING TO FIXTURES, APPLIANCES, AND PRODUCTS FEATURED IN THE DOCUMENTS MAY VARY. PRODUCTS MAY BE UPDATED BY THE MANUFACTURER OR ACCEPTABLE EQUIVALENTS OF THE PRODUCTS MAY BE PROVIDED. CONTRACTORS TO VERIFY PRIOR TO INSTALLATION.
5. MINIMUM CORRIDOR WIDTH IS 44 INCHES; MINIMUM CORRIDOR FINISH IS CLASS B (GYPSUM). WHEN APPLICABLE, REFER TO ENLARGED PLANS AND DETAIL REFERENCES FOR DIMENSIONS WITHIN THE RIGID AREAS.
7. THIS BUILDING REQUIRES A FIRE SEPARATION DISTANCE IN ACCORDANCE WITH TABLE 602 OF THE FLORIDA BUILDING CODE, 7TH EDITION (2020).
6. PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S. TO BE DONE BY THE LOCAL FIRE SAFETY INSPECTOR.
9. ALL GLAZING WITHIN 48 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.

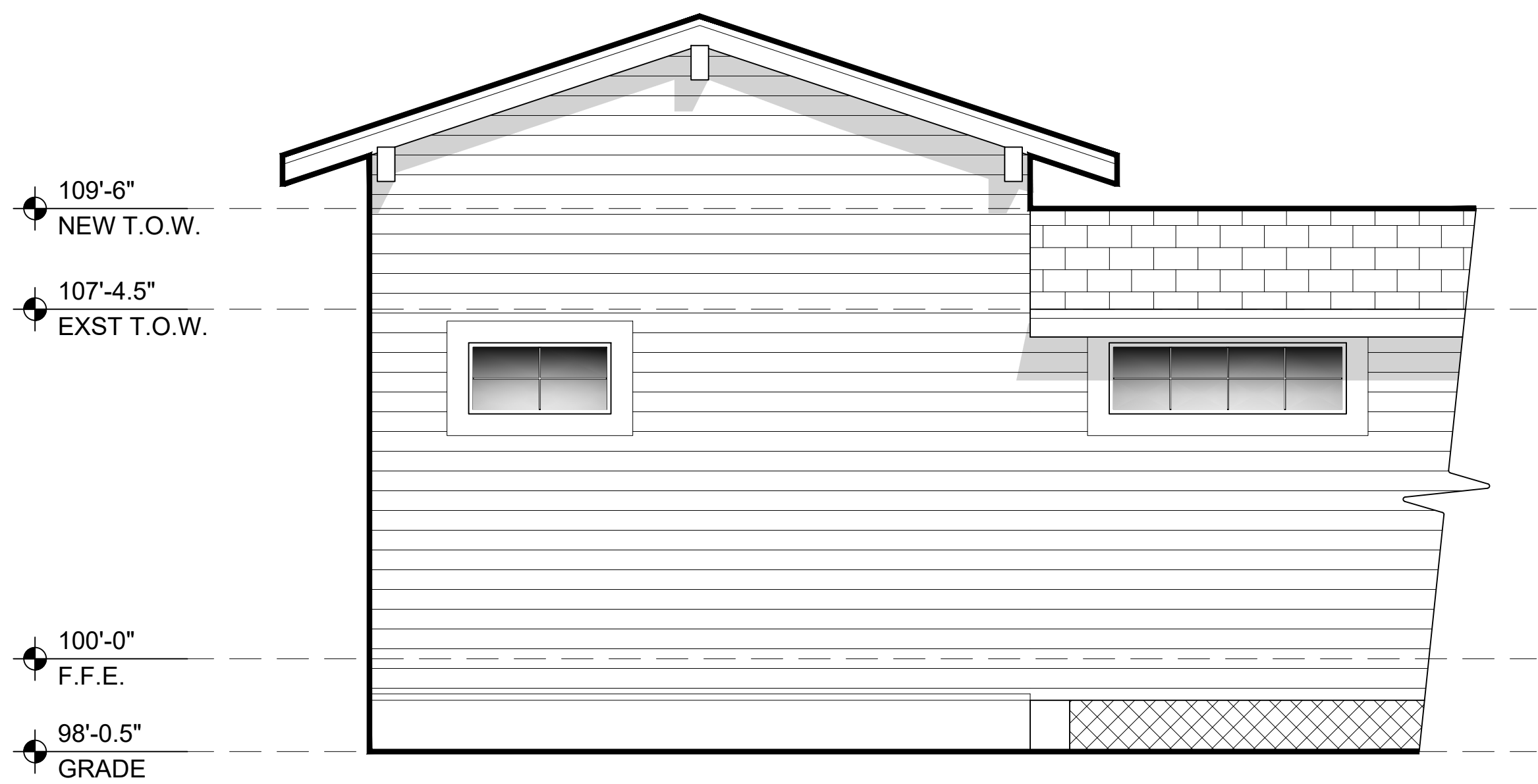
- SV:1.0



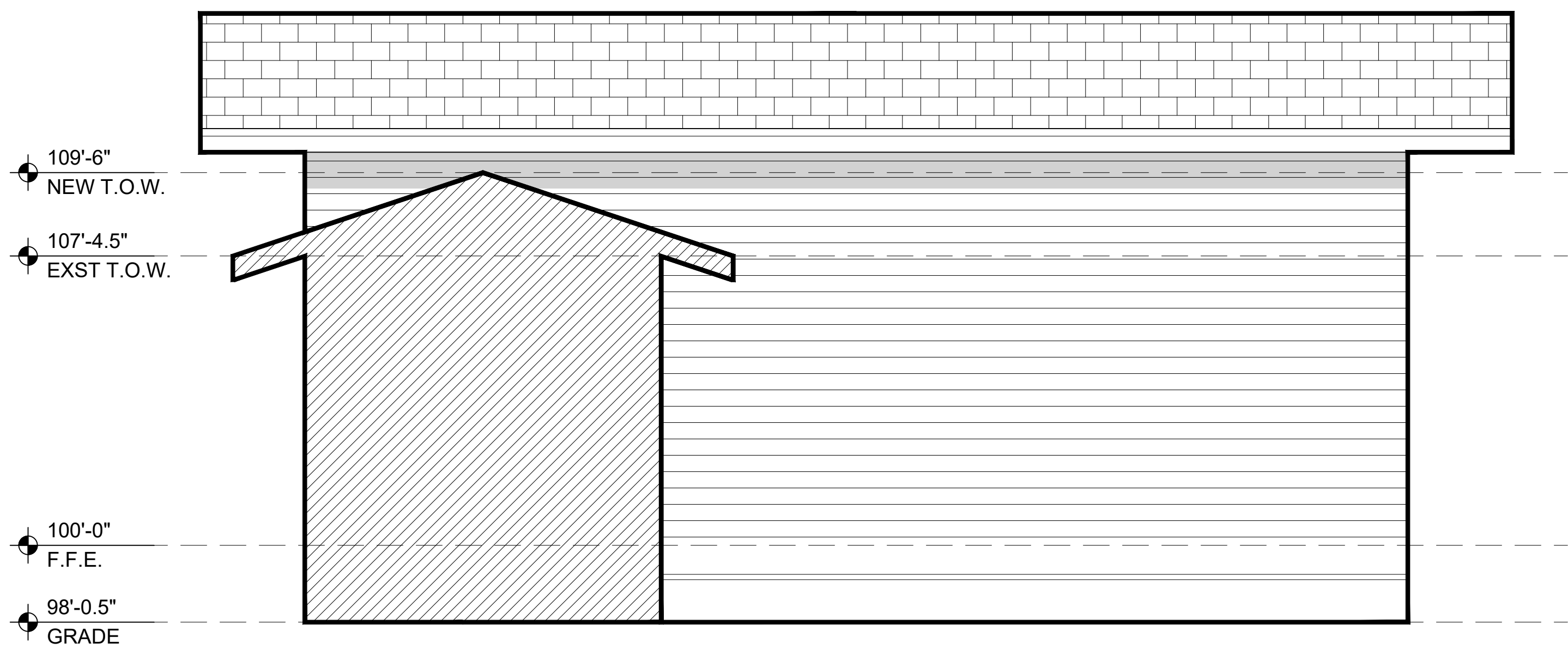
EXTERIOR ELEVATION - SOUTH SIDE  
SCALE: 3/8" = 1'-0"



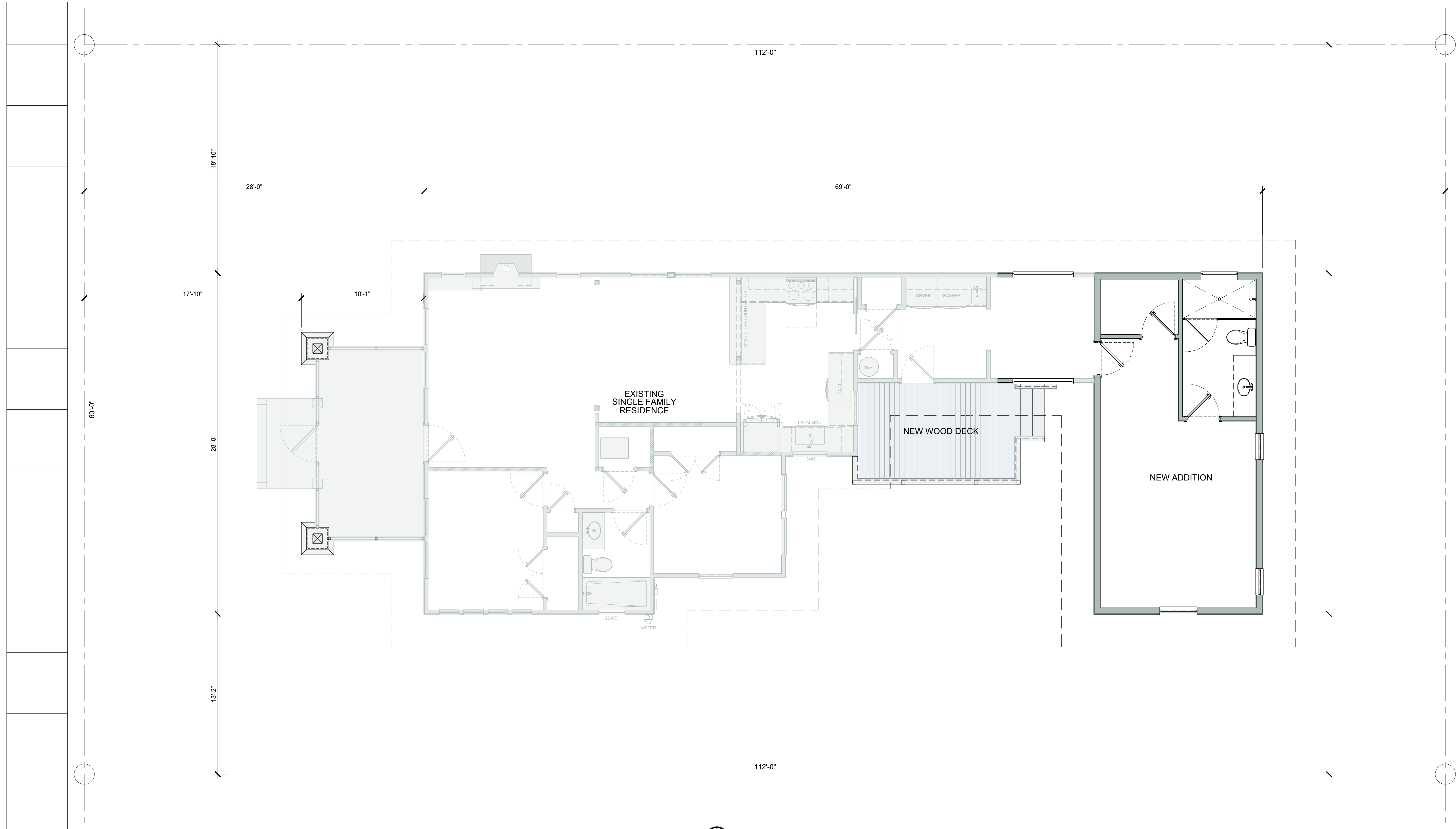
EXTERIOR ELEVATION - EAST SIDE  
SCALE: 3/8" = 1'-0"



EXTERIOR ELEVATION - NORTH SIDE  
SCALE: 3/8" = 1'-0"



EXTERIOR ELEVATION - WEST SIDE  
SCALE: 3/8" = 1'-0"



 **SITE PLAN**  
SCALE 3/16" = 1'-0"



## Elevations

Front Elevation



South Side Elevation



North Side Elevation



Rear Elevation





## Elevations

### Mother in Law Suite Side Elevations



### Mother in Law Suite Rear Elevation





















