

AGENDA

Planning & Zoning Board
City Commission Chambers
February 17, 2026, 8:30 a.m.

In accordance with the Americans with Disabilities Act with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. If hearing impaired, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service Number** 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

PUBLIC HEARING

ITEM 1: a. Compatibility review to allow for the construction of an accessory dwelling unit on property located at 204 Ariana Street. Owner: Janice Horzempa. Applicant: DBR Construction LLC. (ADU25-009)
b. Consideration of final decision.

ITEM 2: a. Minor modification of PUD (Planned Unit Development) zoning for Publix Super Markets to amend conditions of approval pertaining to lot coverage to allow for the construction of a 24' x 18' canopy structure for a printing cooling system on property located at 2107 W. Lanier Street. Owner: Publix Super Markets Inc. Applicant: Peachee Construction. (PUD25-020)
b. Consideration of final decision.

ITEM 3: a. Minor modification of PUD (Planned Unit Development) zoning for Orlando Health to amend the comprehensive sign plan on property located at 4000 Lakeland Highlands Road. Owner: Orlando Health Inc. Applicant: Nathan Milch. (PUD26-006)
b. Consideration of final decision.

ITEM 4: a. Major modification to an existing conditional use for Blake Academy to expand the boundaries of the school campus and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking on property located at 510 Hartsell Avenue. Owner: School Board of Polk County Rosabelle W Blake Academy. Applicant: Sarah Case, Next Level Planning & Permitting. (CUP25-006) **Note: Continued from a previous meeting.**
b. Consideration of final decision.

GENERAL HEARING

ITEM 5: Review minutes of the January meeting.

ITEM 6: Green Swamp Area of Critical State Concern Site Plan Approval for County Road 582 Storage to construct a 60,426 sq. ft. gravel parking / storage lot on property located at 3745 Old Polk City Road. Owner: GBA Lakeland 61 Land LLC Applicant: Kaitlyn Bater, Kimley-Horn and Associates, Inc. (SIT25-025)

ITEM 7: Report of City Commission action on Planning and Zoning Board recommendations along with Planning & Transportation Manager's Report.

ITEM 8: Audience.

ITEM 9: Adjourn.



Planning & Zoning Board General Application

General Information:

Project No:	ADU25-009	Application Date:	12/31/2025		
Associated Projects:					
Project Name:	ADU BUILD				
Subject Property Address:	204 ARIANA ST				
Parcel ID:	232824117500046080	Total Acreage:			
Applicant Name:	DBR CONSTRUCTION LLC)				
Applicant Address:	1113 N LAKE AVE	LAKELAND	FL	33805	
Owner Name:	HORZEMPA JANICE				
Owner Address:	204 ARIANA ST	LAKELAND	FL	33803	

Request:

Application Type:	Accessory Dwelling Unit				
Land Use					
Current	Residential Medium				(RM)
Proposed	Not Applicable				
Zoning					
Current	Two-Family				(RB-1)
Proposed	Not Applicable				

Sub Context District

Current	(UNH)	Urban Neighborhood
Proposed		

Explanation of Request: Compatibility review to allow for the construction of an accessory dwelling unit on property located at 204 Ariana Street.

Justification:

Concurrency:

Proposed Dwelling Units:	0	Project Floor Area:		Square feet
Type of Use:		Phase		Year

Estimate of Public Service Demand

Roadways	Daily Trips:	#Error		PM Peak Hour Trips:				
Potable Water		GPD	Wastewater		GPD	Solid Waste		PPD



863-855-7525 
shaun@dbrconstructionllc.com 
1725 George Jenkins Blvd Ste B 
Lakeland, FL 33815

December 31 2025

Letter of Explanation

ADU Build - 204 Ariana St Lakeland FL 33803

PARCEL ID - 23-28-24-117500-046080

The ADU being built at 204 Ariana St Lakeland FL 33803 will be used as a dwelling. A family member of the homeowner plans to reside in the ADU sometime after it is built.

Please direct all questions to Shaun Irwin with DBR Construction.

Thank you,



Shaun Irwin
GM - DBR Construction LLC
Call/Text - (863) 855-7525
shaun@dbrconstructionllc.com

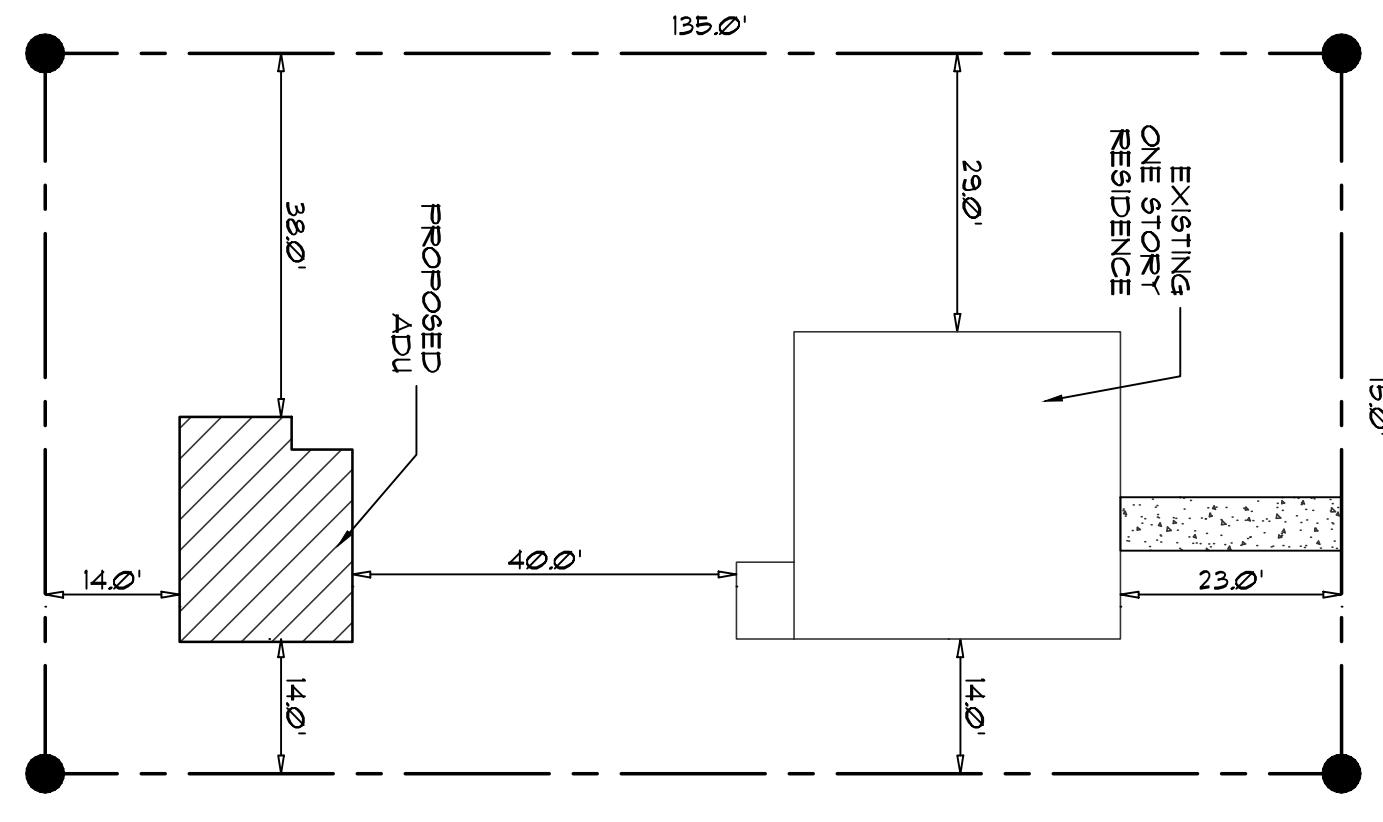
ABBREVIATIONS

AB	ANCHOR BOLT	ELEV.	ELEVATION
ACT	ACOUSTICAL CEILING TILE	EMER.	EMERGENCY
AFF.	ABOVE FINISHED FLOOR	ENCL.	ENCLOSURE
AGR.	AGGREGATE	EQ.	EQUAL
AL.	ALUMINUM	EQUIP.	EQUIPMENT
ALT.	ALTERNATE	E.W.	EACH WAY
APPROX.	APPROXIMATE	EW.C.	ELECTRIC WATER COOLER
ARCH.	ARCHITECTURAL	EXP.	EXPANSION
BD.	BOARD	EXT.	EXTERIOR
BLD.	BUILDING	F.A.	FIRE ALARM
BLK.	BLOCK	F.D.	FLOOR DRAIN
BLK.G.	BLOCKING	F.D.C.	FIRE DEPARTMENT CONNECTION
BOT.	BOTTOM	FDN.	FOUNDATION
BTRN.	BETWEEN	FEX.	FIRE EXTINGUISHER
BTRN.	BETWEEN	F.E.C.	FIRE EXTINGUISHER CABINET
BTRN.	BETWEEN	F.F.	FIRE EXTINGUISHER CABINET
B.W.	BUILT UP ROOFING	F.H.C.	FIRE-HOSE CABINET
B.W.	BOTH WAYS	F.I.	FINISH LINE
BLW.	CONTROL JT.	F.I.L.	FLOOR LINE
C.J.	CEILING	F.I.R.	FLUORESCENT
CL.G.	CAULKING	FIND.	FOUNDATION
CLR.	CLEAR	F.G.C.	FIRE-EXTINGUISHER CABINET
COL.	CONCRETE MASONRY UNIT	F.O.C.	FACE OF CONCRETE
CONC.	CONCRETE	F.O.S.	FULL SIZE
CONN.	CONNECTION	F.T.	FOOT OR FEET
CONT.	CONTINUOUS	F.T.G.	FOOTING
CERAM.	CERAMIC TILE	FURR.	FURRING
CT.	CERAMIC TILE	G.A.	GAUGE
DEG.	DEGREE	GAL.V.	GALVANIZED
DEPTHL.	DEPTH	G.C.	GENERAL CONTRACTOR
D.F.	DETAIL	G.L.	GLASS
DRAWS.	DRAWS	G.R.	GROOVE
DIA.G.	DIA.G.	G.Y.B.	GYPSUM BOARD
DIA.M.	DIA.METER	H.B.	HOSE BIBB
DN.	DN.	H.C.	HOLLOW CORE
DOWNSP.	DOWNSP.	H.D.	HANDICAPPED
DRAWS.	DRAWS	H.D.W.	HARDWOOD
E.	EAST	H.D.W.	HARDWOOD
E.A.	EXISTING	H.F.	HOLLOW METAL
E.J.	EACH	H.H.	HORN HANGER
EL.F.S.	EXPANSION JOINT	H.V.A.C.	HEATING, VENTILATION AND
EXTERIOR	EXTERIOR INSULATION AND	H.V.A.C.	HEATING, VENTILATION AND
ELEV.	ELEVATION	H.W.	HEIGHT
ELEC.	ELECTRICAL	H.W.D.	HELD
ID.	INSIDE DIA.METER	H.V.A.C.	HEATING, VENTILATION AND
INT.	INT.	H.W.D.	HELD
JAN.	JANITOR	H.W.D.	HELD
JNT.	JNT.	H.W.D.	HELD
JOINT	JOINT	H.W.D.	HELD
KIT.	KITCHEN	H.W.D.	HELD
LAB.	LABORATORY	H.W.D.	HELD
LAV.	LAVATORY	H.W.D.	HELD
LT.	LIGHT	H.W.D.	HELD
MAX.	MAXIMUM	H.W.D.	HELD
M.E.C.	M.E.C.	H.W.D.	HELD
M.F.R.	M.F.R.	H.W.D.	HELD
M.H.	M.H.	H.W.D.	HELD
M.I.N.	M.I.N.	H.W.D.	HELD
MISC.	MISCELLANEOUS	H.W.D.	HELD
M.O.	M.O.	H.W.D.	HELD
M.T.L.	METAL OPENING	H.W.D.	HELD
MUL.	MUL.	H.W.D.	HELD
N.	NORTH	H.W.D.	HELD
N.C.	NOT IN CONTRACT	H.W.D.	HELD
N.O.	NUMBER	H.W.D.	HELD
NORM.	NORM.	H.W.D.	HELD
N.T.S.	NOT TO SCALE	H.W.D.	HELD
O.C.	ON CENTER	H.W.D.	HELD
OD.	OUTSIDE DIAMETER	H.W.D.	HELD
O.U.N.	O.U.N.	H.W.D.	HELD
UNLESS OTHERWISE NOTED		H.W.D.	HELD

SYMBOLS LEGEND

	NUMBER SECTION APPEARS		REVISION
	NUMBER SHEET NUMBER WHERE DETAIL APPEARS		CENTER LINE
	ELEV. NUMBER		EARTH FILL
	SHEET NUMBER		

SITE PLAN



PROJECT

204 ARIANA ST, LAKELAND, FL. 33803

STRUCTURAL NOTES

GENERAL:

- All work to be in strict accordance with the Florida Building Code Residential 2013, 8th edition.
- Only written changes approved by the Engineer shall be permitted.
- General Contractor shall coordinate structural drawings with all other disciplines. Where there are conflicts in information presented in the drawings or if the drawings are unclear or insufficient in any manner that may inhibit the contractor's understanding of the project, such conflicts shall be brought to the Engineer's attention prior to bidding and the necessary adjustments shall be made per his instructions.
- Provide hurricane clips or anchors as all connections, with design specification for wood construction.
- For structural lumber provide the following grade and species: (or equivalent): Southern Pine Grade #1 dens w/ 10-15% min. strength & 28 days (ACI 4-310).
- All bolts used for construction shall be a min. of 1/2" diam. (ACI 4-310) and bring the contractor's attention prior to bidding and the necessary drawings.
- Provide framing members of sizes and of spacing given, or if not given, comply with the Manual for House Framing or the National Forest Products Association. Do not splice between supports.
- All wood framing shall be detailed and fabricated in accordance with design specification for wood construction.
- Provide normal weight aggregates in compliance with the requirements of Chloride - None
- Provide normal weight aggregates in compliance with the requirements of Chloride - None
- All concrete shall be detailed, fabricated, placed, supported and spaced in forms and secured in place in accordance with the procedures outlined in the latest edition of the "Building Code Requirements for Reinforced Concrete" (ACI 318-05 and the "Manual of Standard Practice for Detailing Reinforced Concrete Structures" ACI 315 latest edition).
- All bar splices and dowels shall lap as per requirements of ACI 318-05.

MASONRY:

- Design material and workmanship shall be in accordance with the ACI Standard Building Code requirements for concrete masonry structures: ACI 315-05 (ACI 330).
- Provide horizontal joint reinforcement in plan or notes as filled cells shall be grouted with 3000 psi concrete (B7 to 10" slump).
- Provide horizontal joint reinforcement at 24" o.c. vertical in all CMU walls.
- CMU corner blocks shall conform to ACI 3-30 (18 days strength 2000 psi) (min 2000 psi) laid in running bond.
- Normal shall be 1400 psi or 1400 psi.
- Provide vertical reinforcement in CMU walls of 115 at 4-0" max OC.
- Provide vertical reinforcement in CMU walls of 115 at 4-0" max OC.

FOUNDATIONS:

- Footings elevation based on minimum allowable soil bearing pressure of 2000 psi.
- If footing elevation occurs in disturbed, unstable or unsuitable soil, the Engineer shall be notified and necessary adjustments shall be made per his instructions.
- Caution shall be used when operating vibratory compaction equipment near existing structures to avoid the risk of damaging the existing structure.

VERIFICATION OF FIELD CONDITIONS:

- Contractor shall verify all field conditions and dimensions relative to same. Upon completion of all work, contractor shall call to the Engineer's attention any discrepancies between the drawings and the field conditions and dimensions and necessary adjustments made per their instructions.
- If there are any discrepancies between these structural notes and the specifications, the structure of the two shall govern.

WIND DESIGN DATA:

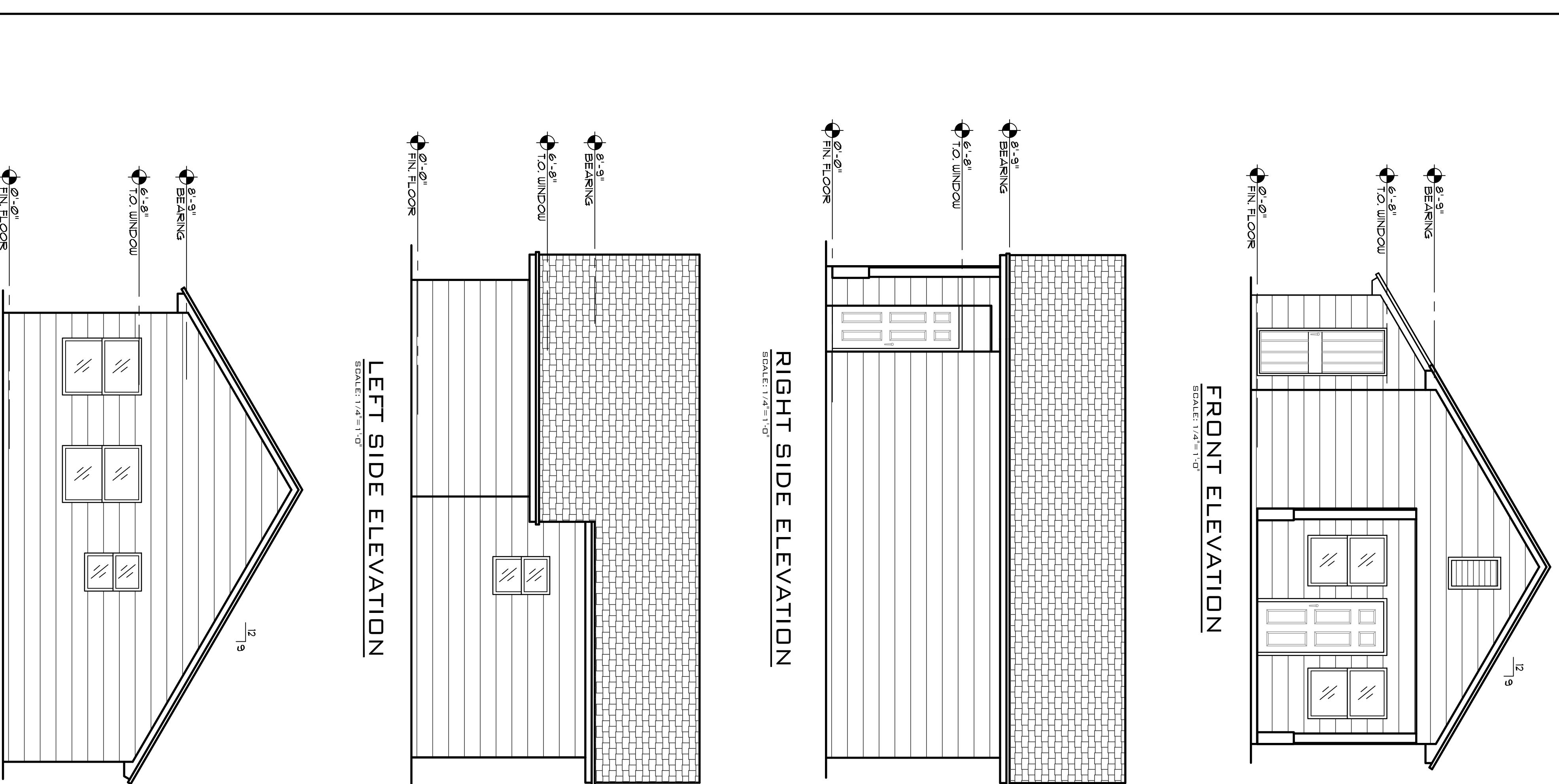
- ULTIMATE DESIGN WIND SPEED: 140 MPH
- NOMINAL DESIGN WIND SPEED: 108 MPH
- RISK CATEGORY: II
- EXPOSURE CATEGORY: C
- ENCLOSURE CLASSIFICATION: 4 INTERNAL PRESSURE COEF: ENCLOSURE (.40B)
- COMPONENTS & CLADDING: 5 - ROOF: (.40B) - WALLS: (.40B) - FFR: (.40B)

DRAWING INDEX	
SHEET	DESCRIPTION
C1	COVER SHEET, SITE PLAN
A1	FOUNDATION PLAN DETAILS
A2	FLOOR PLAN
A3	ROOF PLAN
A4	ELEVATIONS
A5	SECTION & SHEATHING PATTERN
A6	DETAILS
E1	ELECTRICAL PLAN



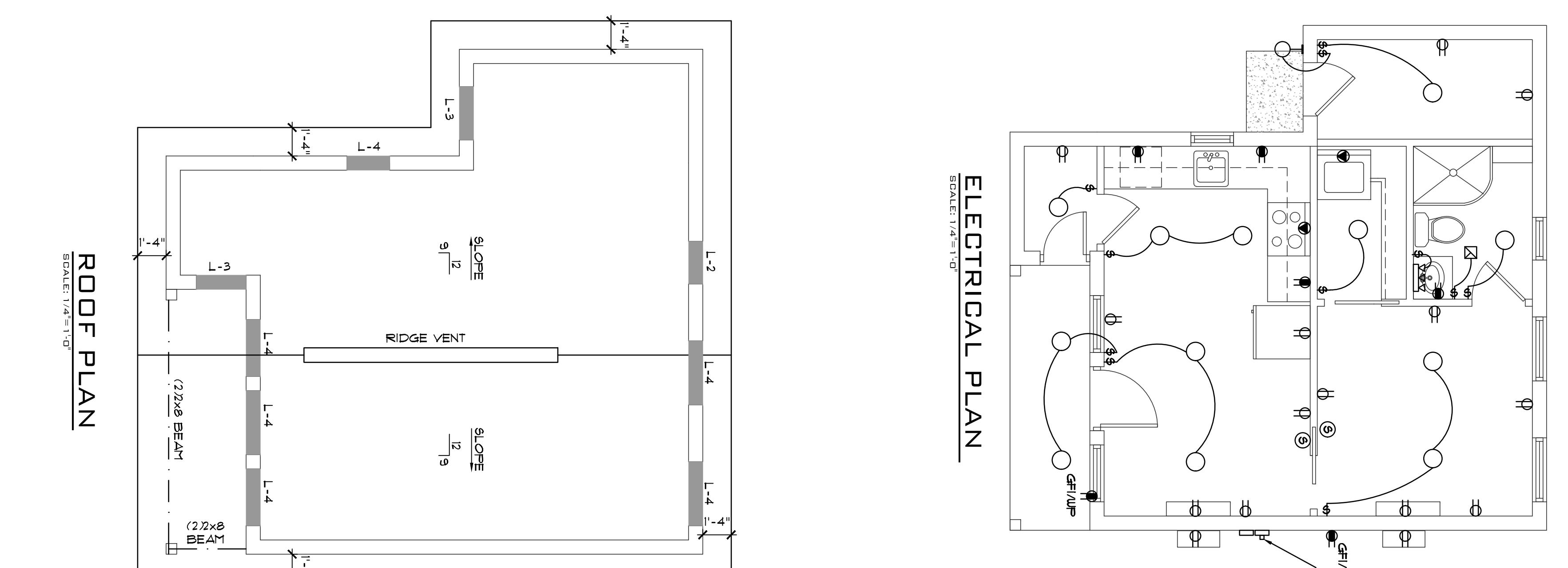
202 DORIS DRIVE SUITE 103
LAKELAND, FL 33813
PH. (863) 667-0500
FAX. (863) 667-0501
www.orbengineering.com

This document has been electronically signed and sealed by Julie Orlowski P.E. on the Date
and Time Set. Said document is deemed valid and signed and sealed and the signatures
must be verified on any electronic copies.



REAR ELEVATION

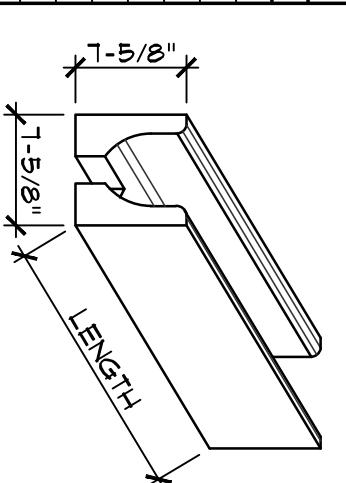
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

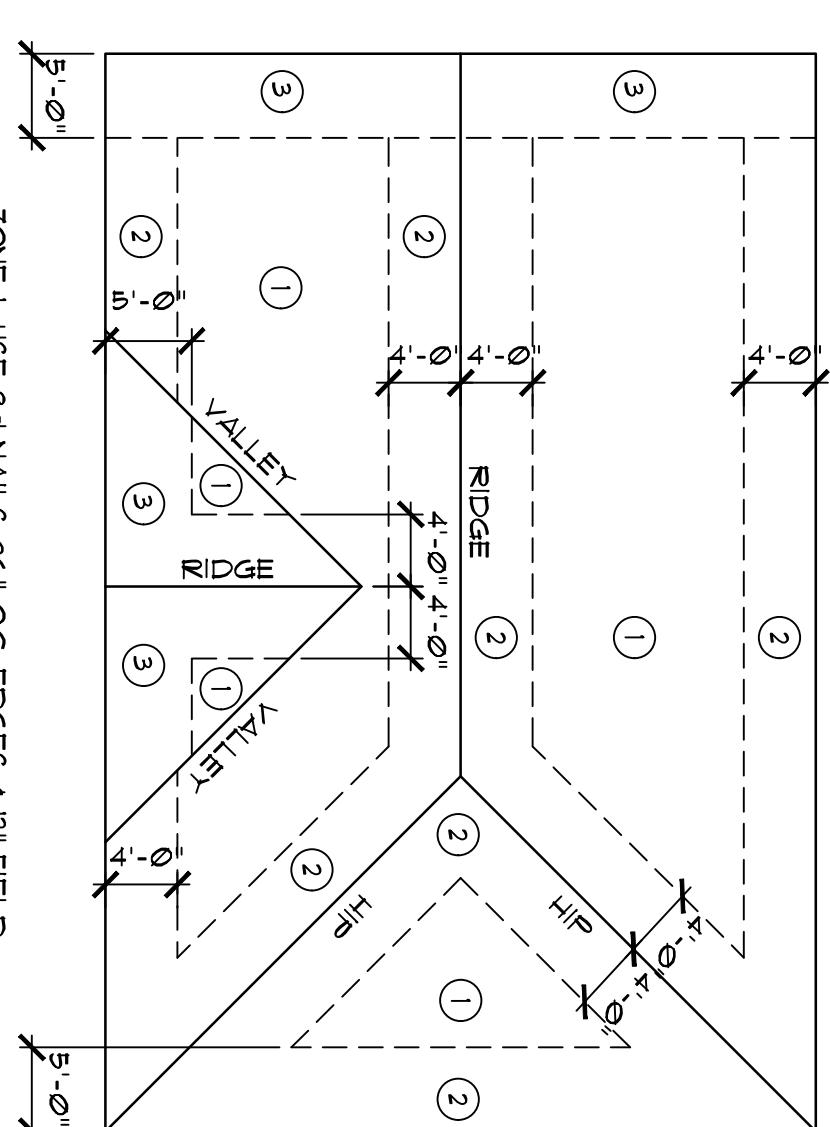
ROOF NOTE:
REFER TO TRUSS ENGINEERING
PACKAGE FOR TRUSS IDENTIFICATION
& ADDITIONAL INFORMATION

LINTEL SCHEDULE		
TYPE	CLEAR SPAN	LENGTH
L-1	1'-6"	2'-10"
L-2	2'-2"	3'-6"
L-3	2'-8"	4'-0"
L-4	3'-2"	4'-6"
L-5	4'-0"	5'-4"
L-6	4'-6"	5'-10"
L-7	5'-2"	6'-6"
L-8	6'-2"	7'-6"
L-9	7'-0"	8'-4"
L-10	8'-0"	9'-4"
L-11	9'-2"	10'-6"
L-12	10'-0"	11'-4"
L-13	11'-2"	12'-6"
L-14	12'-0"	13'-4"
L-15	12'-8"	14'-0"
L-16	13'-4"	14'-8"
L-17	14'-0"	15'-4"
L-18	16'-0"	17'-4"



SCALE: N.T.S.

ROOF SHEATHING NAILING PATTERN



NEW HOME PROJECT FOR AT 204 ARIANA ST, LAKELAND, FL 33803

PROJECT —————

NEW HOME PROJECT FOR AT
204 ARIANA ST,
LAKELAND, FL 33803

<u>DATE</u>	<u>ISSUE</u>	xx-xx-xx
<u>REVISIONS</u>		△

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THE PROPRIETARY
WORK PRODUCT AND
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YOU TO A CLAIM FOR
DAMAGES FROM ORB
ENGINEERING INC.

SECTION A-1

SCALE: $3/4" = 1'-0"$

48" O.C. MAX. IN POURED CELL (25" MINIMUM LAP)

FIN. FL.

4" PERFORATED

1'-0" 6"

3"

1'-0" 3"

1'-4"

4"

SECTION

SECTION A-1

SCALE: $3/4" = 1'-0"$

4" CONC. SLAB PER FOUNDAT. PLAN

#5 VERT. IN FILLED CELL

SEE PLAN

FIN. FL.

10" - 5 CONC.

SECTION A-1

3

4" CONCRETE SLAB
PER FOUNDAT. PLAN

FIN. FL.

-4"

1'-0" Ø

3"

3"

1'-0" Ø

(2) 5" CONCRETE

SCALE: 3/4" = 1'-0"

CHASE THRU FOOTING

CONC. FOOTING

#5 CONT.

6"

6"

CAST IN PLACE SLEEVE 1" GREATER DIAM. THAN CONDUIT

*5 W/25" MIN. LAP AT EACH SIDE

SCALE: 3/4" = 1'-0"

A vertical architectural section drawing of a wall. The wall has a thickness of 1' 0" and a height of 8' 0". A scale bar at the bottom indicates a scale of 3/4" = 1' 0".

A circular scale factor diagram with a horizontal line through the center. The left half is labeled 'A 1' and the right half is labeled '2'. Below the line, the text 'SCALE: 3/4" = 1'-0" is written vertically.

SECTION
A 1

CHASE THRU FLOOR
AT EACH SIDE

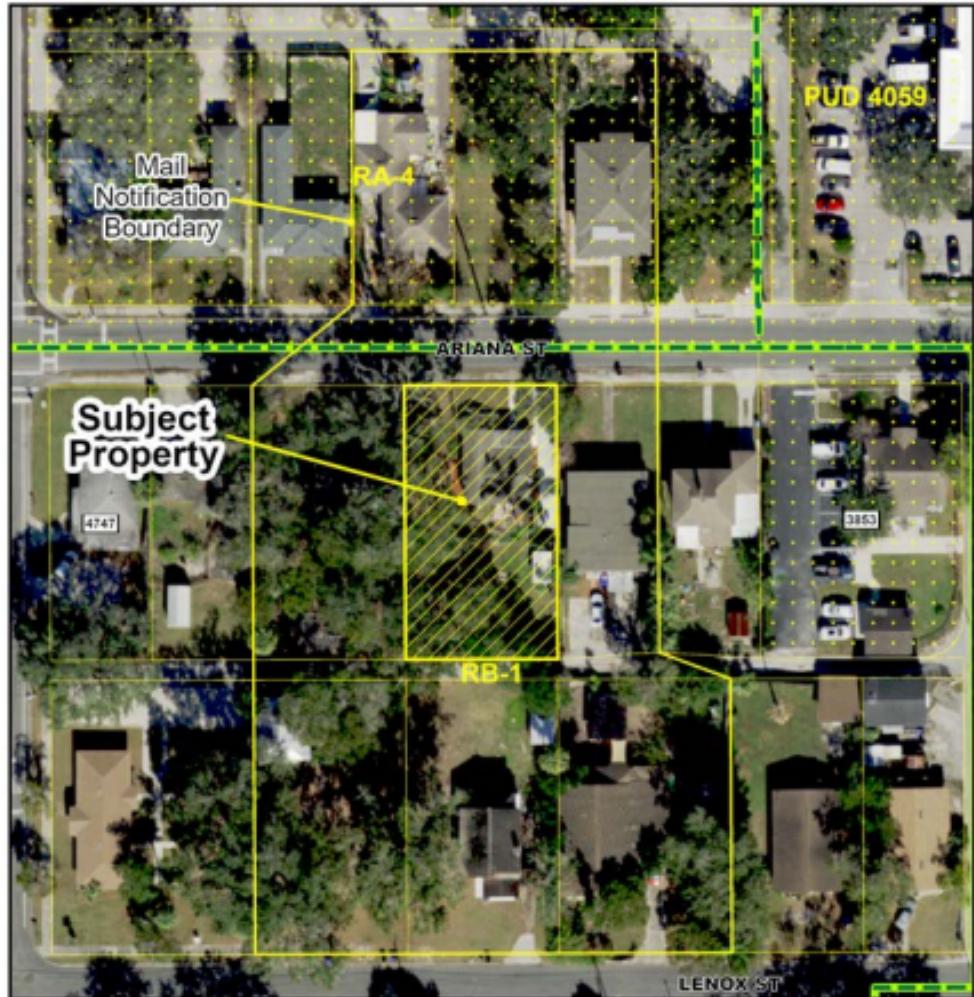
PRODUCT APPROVAL		
PRODUCT	MANUFACTURER	PROD. A
SHINGLES ROOF	TAMKO BUILDING PRODUCTS	FL 18355.1
WINDOWS	PGT INDUSTRIES	FL 239.1
EXT. DOOR	THERMA TRU CORP.	FL 13459
SOFFIT	KAYCAN	FL 24564
RIDGE VENT	GAF	FL 5027.2
UNDERLAYMENT	TAMKO BUILDING PRODUCTS	FL 12328.1
GAF	EVERGUARD PRO ROOF SYSTEMS	FL 5293.1
LINTEL	CAST CRETE	FL 158.1
SIDING	JAMES HARDIE	FL 10477
BUILDING AREA		
FLOOR A/C AREA	395.9 SF.	
FRONT PORCH	46.5 SF.	
OUTDOOR STORAGE	608 SF.	
LITTER BOX	23.4 SF.	
TOTAL UNDER ROOF	5266.6 SF.	

NEW HOME PROJECT FOR AT 204 ARIANA ST, THE BREEZE

FOUNDATION PLAN

FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE 12-18-25



File Number: ADU25-009

Present Zoning: RB-1

Context: Urban Neighborhood

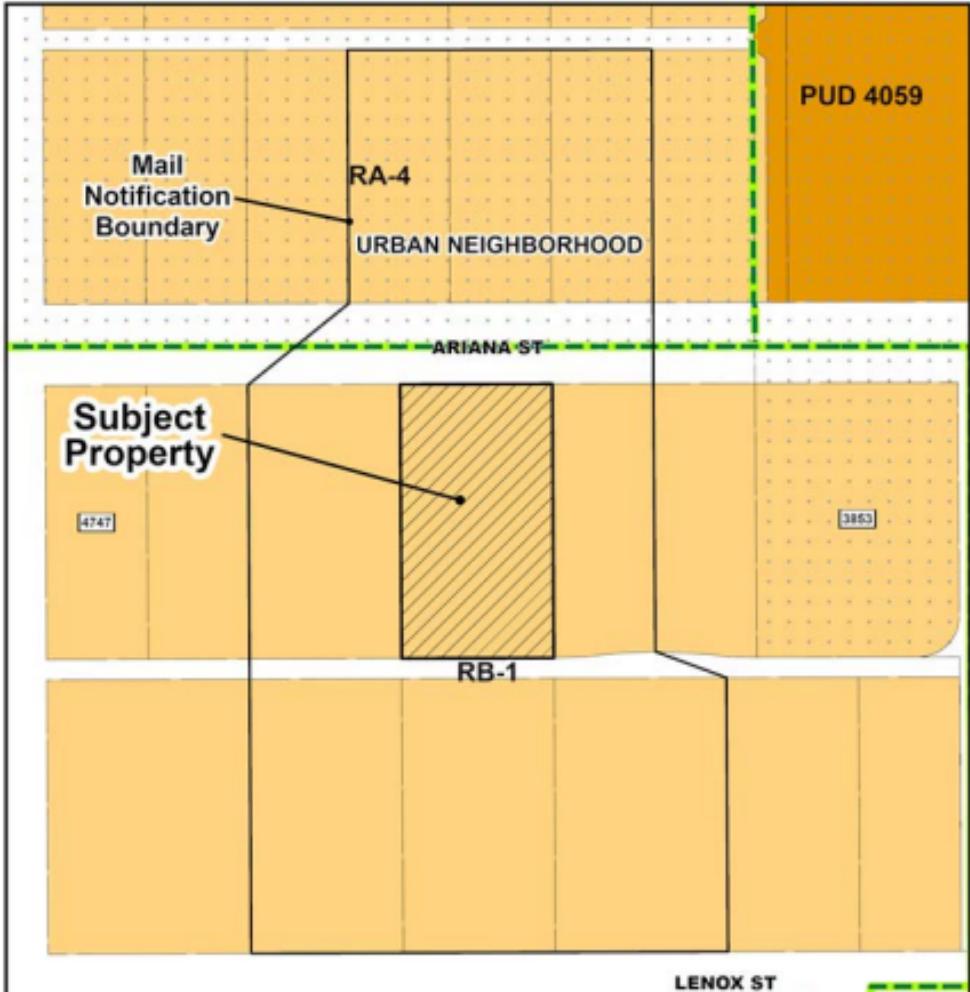
Proposed Zoning: Compatibility Review
for an Accessory
Dwelling Unit

February 2026

- Subject Property
- Mail Notification Boundary
- Zoning
- 4567 Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Railroad

N





File Number: ADU25-009

Present Zoning: RB-1

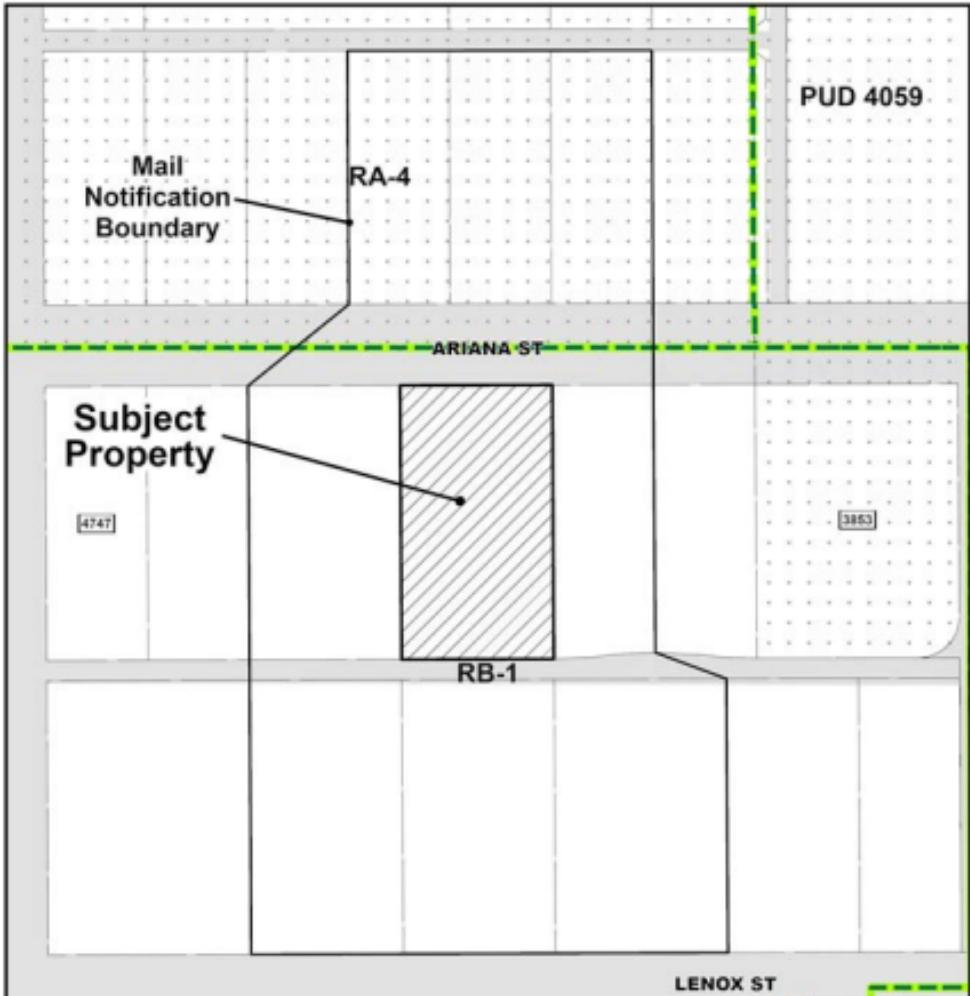
Context: Urban Neighborhood

Proposed Zoning: Compatibility Review
for an Accessory
Dwelling Unit

February 2026

- Subject Property
- Mail Notification Boundary
- Zoning
- 4747 Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Railroad





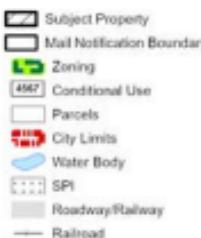
File Number: ADU25-009

Present Zoning: RB-1

Context: Urban Neighborhood

Proposed Zoning: Compatibility Review
for an Accessory
Dwelling Unit

February 2026





228 S Massachusetts Avenue
Lakeland FL 33801
planning@lakelandgov.net

January 30, 2026

RE: 204 Ariana Street - Project No. ADU25-009

Dear Property Owner:

This letter is to advise you that DBR Construction LLC., on behalf of Janice Horzempa, requests a compatibility review to allow for the construction of an accessory dwelling unit on property located at 204 Ariana Street. The subject property is legally described as follows:

DIXIELAND PB 1 PG 67 BLK T LOT 8 & E1/2 OF LOT 9

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, February 17, 2026**, in the Lakeland Electric Building rooms 1A/B, 501 E. Lemon Street. As an owner of property adjacent to this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing or you may submit your views to the Community Development Department, 863-834-6011 or planning@lakelandgov.net, prior to the February 17th meeting.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



Planning & Zoning Board General Application

General Information:

Project No:	<u>PUD25-020</u>		Application Date:	12/12/2025					
Associated Projects:									
Project Name:	PSM PRINT SHOP CHILLER SHADE STRUCTURE								
Subject Property Address:	2107 LANIER ST W								
Parcel ID:	232822094000001010		Total Acreage:	2.2					
Applicant Name:	PEACHEE CONSTRUCTION								
Applicant Address:	6205 NEW TAMPA HWY		LAKELAND	FL	33815				
Owner Name:	PUBLIX SUPER MARKETS INC								
Owner Address:	PO BOX 32018		LAKELAND	FL	33802				

Request:

Application Type:	Planned Unit Development	Minor Modification
Land Use		
Current	Business Park	(BP)
Proposed	Not Applicable	
Zoning		
Current	Planned Unit Development	(PUD) 4354
Proposed	Not Applicable	

Sub Context District

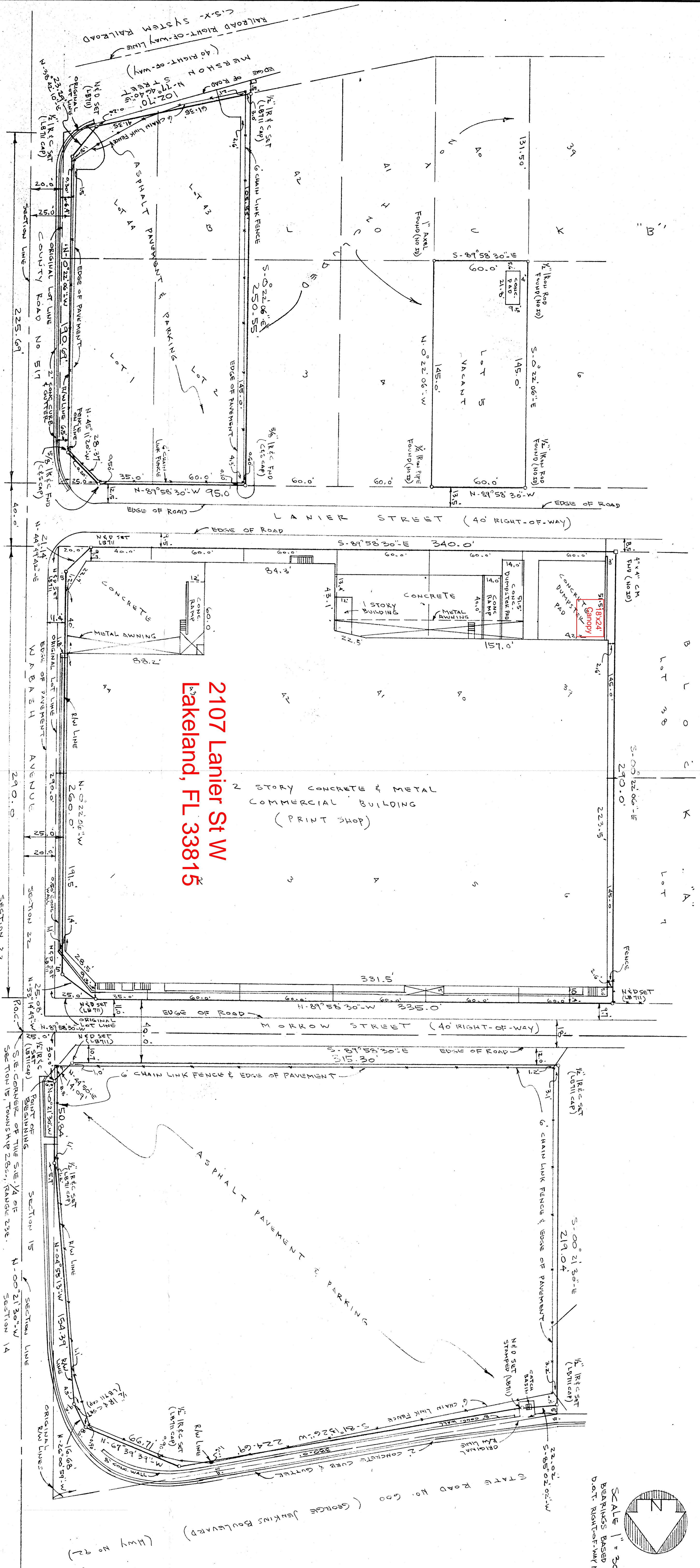
Current	(SSP)	Suburban Special Purpose
Proposed		
Explanation of Request:	Furnish and install free standing 24'x18' shade structure to cover new chillers for printers	
Justification:	The OEM (Original Equipment Manufacturer) for the new chiller units recommends that the units be protected from the weather. The canopy will not be attached to the existing building and will be installed over the existing concrete slab.	

Concurrency:

Proposed Dwelling Units:	0	Project Floor Area:		Square feet
Type of Use:		Phase		Year

Estimate of Public Service Demand

Roadways	Daily Trips:	#Error		PM Peak Hour Trips:		120	
Potable Water	3000	GPD	Wastewater	2550	GPD	Solid Waste	2000 PPD



Lots 1 through 6 and Lots 39 through 44 of Block "A" AND Lots 1, 2, 5, 43 and 44 of Block "B" all being in OAKS ADDITION, according to the plat thereof recorded in Plat Book 6, Page 6 of the public records of Polk County, Florida, LESS AND EXCEPT rights-of-way

AND

Begin 25.0 feet West of the Southeast corner of Section 15, Township 28S., Range 23E., run North to South boundary line of State Hwy. 17, run Southwesterly along South boundary line 330.0 feet, run South to South line of Section 30 run East to point of beginning LESS road right-of-way and less additional right-of-way, the above description being more fully described as follows: Begin at the Southeast corner of the Southeast 1/4 of Section 15, Township 28S., Range 23E., Polk County, Florida, run thence N-89°58'30"-W. along the south line thereof a distance of 25.0 feet, run thence N-00°21'30"-W. and parallel with the East line of the Southeast 1/4 of said Section 15 a distance of 30.0 feet to a point on the right-of-way line for Wabash Avenue also being the point of beginning for this description continue thence along the right-of-way lines of Wabash Avenue and State Road No. 600 (George Jenkins Boulevard) (as located this date February 17, 1998) the following 6 courses, (1) N-00°21'30"-W., 50.84 feet, (2) N-04°55'13" 154.39 feet, (3) N-26°00'59"-W. 16.68 feet, (4) N-67°39'39"-W., 66.71 feet, (5) S-81°13'26"-W., 224.69 feet, (6) S-85°02'02"-W., 22.02 feet, run thence S-00°21'30"-E. and parallel with the East line of the Southeast 1/4 of said Section 15 a distance of 219.04 feet to a point on the North right-of-way line of Morrow Street, run thence S-89°58'30"-E. along said right-of-way line a distance of 315.30 feet, to a point that lies S-44°50'W. and a distance 14.09 feet from the point of beginning, continue thence along the right-of-way line for Morrow Street N-44°50'-E. a distance of 14.09 feet to the point of beginning.

Type of Survey: Boundary & Improvement Location

SURVEYOR'S NOTE:

This office of surveyor has not abstracted this parcel from any recorded claims of title, easements, rights-of-way or restrictions. The presence or absence of any such claims not certified hereon unless otherwise indicated by record plat or document as shown and furnished by client. No un

Bearings based on D.O.T. right-of-way maps
Section No. 16010-2511

"A" AND Lots 1, 2, 5, 43 and 44 of Block "B" all being in OAKS
in Plat Book 6, Page 6 of the public records of Polk County,

is a true and accurate representation of that survey and it meets the minimum technical standards set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

SURVEYOR'S NOTE:

ND
Lots 1, 2, 5, 43 and 44 of Block "B" all being in OAKS
Book 6, Page 6 of the public records of Polk County,

EDWARDS-PANTER SURVEYING, INC. (LB 711)

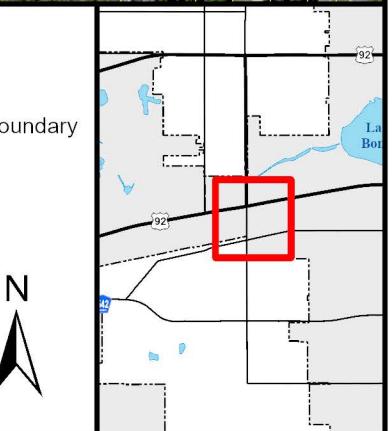
6025

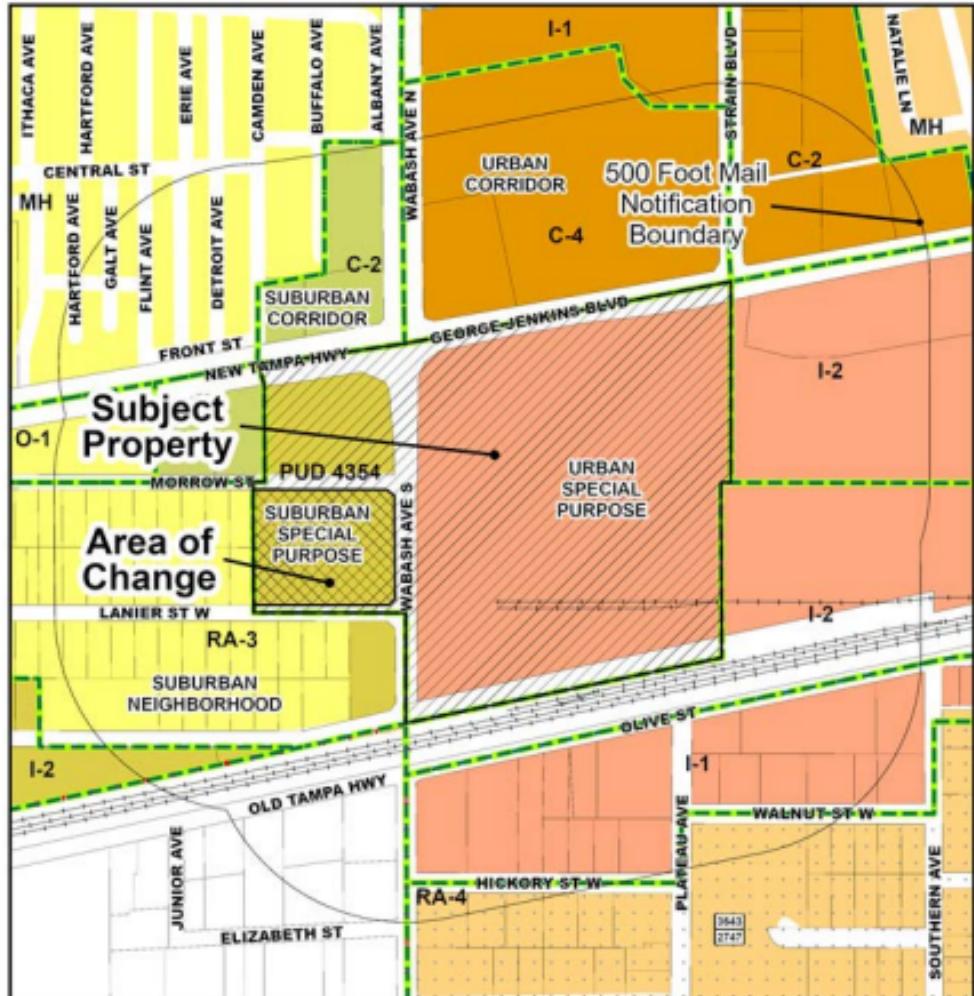


File Number: PUD25-020

Present Zoning: PUD 4354
 Present Context: Suburban Special Purpose
 Proposed Zoning: Minor Modification of PUD Zoning
 for Publix Supermarkets to Allow a
 Free-Standing Shade Structure for
 a Printing Cooling System

February 2026



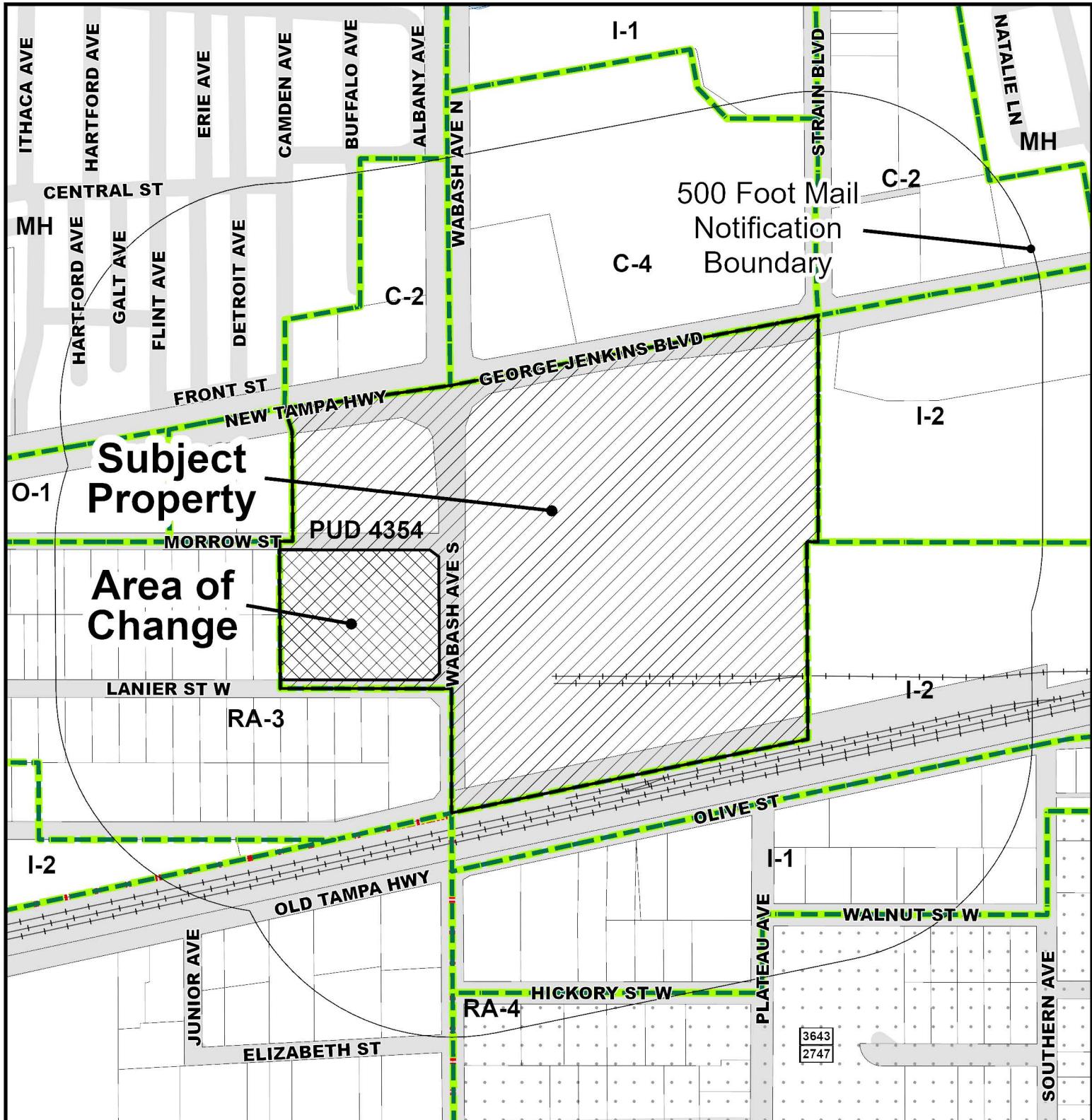


File Number: PUD25-020

Present Zoning: PUD 4354
 Present Context: Suburban Special Purpose
 Proposed Zoning: Minor Modification of PUD Zoning for Publix Supermarkets to Allow a Free-Standing Shade Structure for a Printing Cooling System

February 2026

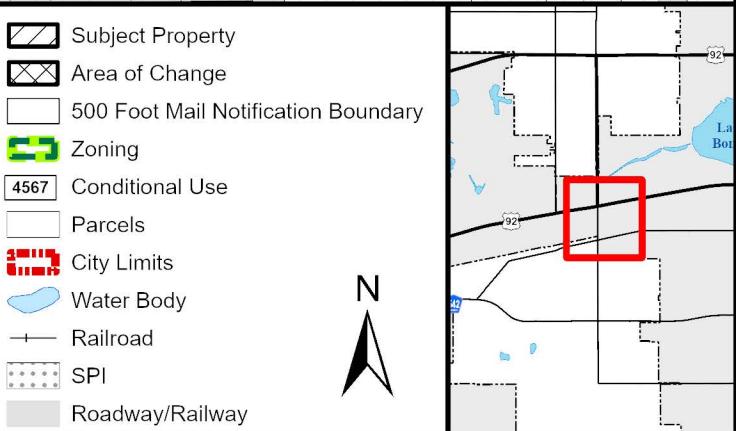




File Number: PUD25-020

Present Zoning: **PUD 4354**
 Present Context: **Suburban Special Purpose**
 Proposed Zoning: **Minor Modification of PUD Zoning**
for Publix Supermarkets to Allow a
Free-Standing Shade Structure for
a Printing Cooling System

February 2026





228 S Massachusetts Avenue
Lakeland FL 33801
planning@lakelandgov.net

January 30, 2026

RE: 2107 W. Lanier Street - Project No. PUD25-020

Dear Property Owner:

This letter is to advise you that Peachee Construction, on behalf of Publix Super Markets Inc., requests a minor modification of PUD (Planned Unit Development) zoning to amend conditions of approval pertaining to lot coverage to allow for the construction of a 24' x 18' canopy structure for a printing cooling system on property located at 2107 W. Lanier Street. The subject property is legally described as follows:

OAKS ADD PB 6 PG 6 BLK A LOTS 1 THRU 6 & 39 THRU 44

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, February 17, 2026**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 500 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing or you may submit your views to the Community Development Department, 863-834-6011 or planning@lakelandgov.net, prior to the February 17th meeting.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



Planning & Zoning Board General Application

General Information:

Project No:	PUD26-006		Application Date:	2/3/2026		
Associated Projects:						
Project Name:	ORLANDO HEALTH LAKELAND HIGHLANDS HOSPITAL - SIGNAGE UPDATE					
Subject Property Address:	4000 LAKELAND HIGHLANDS RD					
Parcel ID:	242904273502000010	Total Acreage:	76.98			
Applicant Name:	NATHAN MILCH					
Applicant Address:	1414 KUHL AVE.	ORLANDO	FL	32806		
Owner Name:	ORLANDO HEALTH INC					
Owner Address:	1414 KUHL AVE	ORLANDO	FL	32806		

Request:

Application Type:	Planned Unit Development	Minor Modification
Land Use		
Current	Office Center	(OC)
Proposed	Not Applicable	
Zoning		
Current	Planned Unit Development	(PUD) 5839
Proposed	Not Applicable	

Sub Context District

Current	
Proposed	

Explanation of Request: Minor modification of PUD (Planned Unit Development) zoning for Orlando Health to amend the comprehensive sign plan on property located at 4000 Lakeland Highlands Road

Justification:

Concurrency:

Proposed Dwelling Units:	0	Project Floor Area:		Square feet		
Type of Use:				Phase		Year

Estimate of Public Service Demand

Roadways	Daily Trips:	#Error		PM Peak Hour Trips:		0	
Potable Water	0	0 GPD	Wastewater	0	0 GPD	Solid Waste	0 PPD

ATTACHMENT "C"



Attachment C Orlando Health Campus Lakeland, Florida

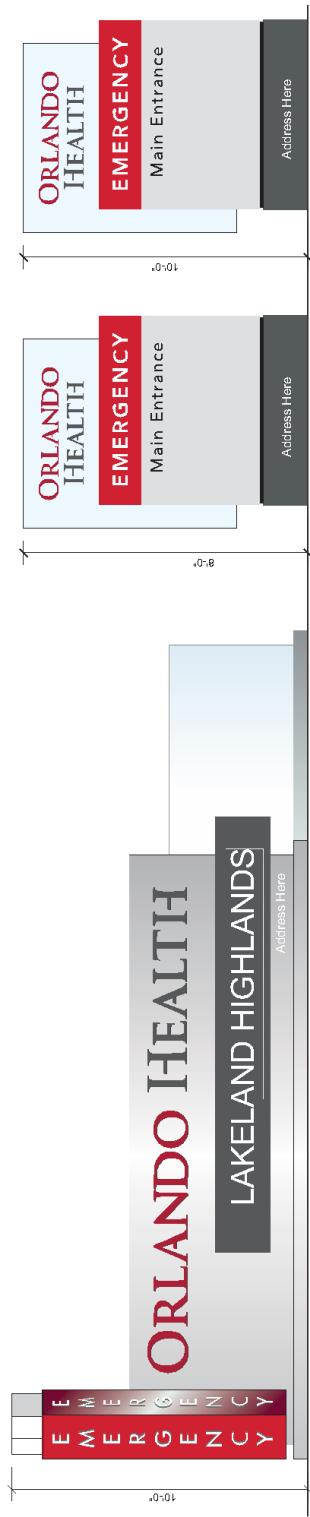
ATTACHMENT "D"



Attachment D Orlando Health Campus Lakeland, Florida

ATTACHMENT "D-1"

EXTERIOR FAMILY OF SIGNS





Sign Type CC1



Sign Type CC2

CC1.2

PRIMARY BLDG ID

ORLANDO HEALTH | WATSON CLINIC

SIMULATED NIGHTVIEW: NTS

(1) PRIMARY ID CHANNEL LETTERSETS

422.53 Sq. Ft (4'5" x 95'8")

"ORLANDO" :	
Const:	Alum cans
Face:	Milk white acrylic w/ 3M dual-color film digitally printed Cherry Red PMS 187
Retainers:	Alum Paint: Black, satin Illum: w/intern. white LEDs Mtch: flush to wall.

"WATSON CLINIC":
Const: Alum cans
Face: Milk white acrylic
3M dual-color film dic
printed Jade PMS 330
Retainers: Alum
Paint: Black, satin
Illum: w/ intern. white
Mtd. flush to wall.

POWER / LED SPECS:
Principal Qwik Mod 2 LED's
1034 LED modules = 3.9 A
18 qty - 60 watt power supplies
1 qty 20 Amp Circuit @ 277V

WIGEN TOWNSHIP AS SHOWN

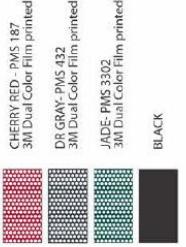
An architectural rendering of a modern, multi-story hospital building. The building features a grid-like facade with numerous windows. A prominent feature is a large, light-colored rectangular section on the left side. The roofline is flat with some overhanging eaves. In the foreground, a small sign reads "ORLANDO HEALTH WATSON CLINIC". The overall style is clean and professional, typical of modern medical facility design.

WEST ELEVATION: NTS

CC1.2

Scale: 3/32" = 1'

COLOR SCHEDULE:



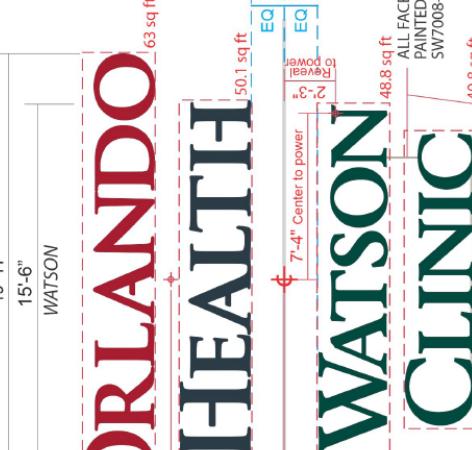
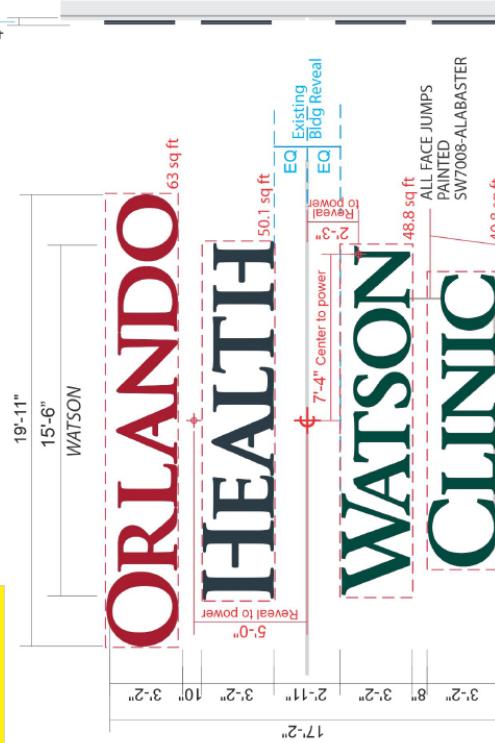
PRIMARY ELECTRIC BY OTHERS
Electrical Requirements (1) 20 AMP Circuit @ 277V

SIGN TYPE CC1.2

CC1.3

PRIMARY BLDG ID

NOTE: ELEVATION WILL REQUIRE JUMPS @ FACE ON WATSON CLINIC AS SHOWN



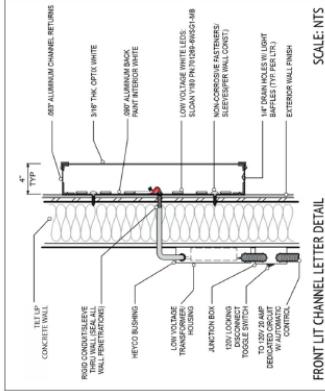
4"

"ORLANDO":
Const: Alum cans
Face: Milk white acrylic w/
3M dual-color film digitally
printed Cherry Red PMs 187
Retainers: Alum
Paint: Black, satin
Illum: w/ intern. white LEDs
Mtd. flush to wall.

"HEALTH":
Const: Alum cans
Face: Milk white acrylic w/
3M dual-color film digitally
printed Swedish Gray PMs 432
Retainers: Alum
Paint: Black, satin
Illum: w/ intern. white LEDs
Mtd. flush to wall.

"WATSON CLINIC":
Const: Alum cans
Face: Milk white acrylic w/
3M dual-color film digitally
printed Jade PMs 3302
Retainers: Alum
Paint: Black, satin
Illum: w/ intern. white LEDs
Mtd. flush to wall.

SIMULATED NIGHTVIEW: NTS



FRONT LIT CHANNEL LETTER DETAIL

COLOR SCHEDULE:



All signage to be installed in compliance
with National Electrical Code - NEC 2020
All signage to be constructed and installed
according to ETL Standards.

Electrical Requirements (1 1/20 AMP Circuit @ 277v
PRIMARY ELECTRIC BY OTHERS

END

(1) PRIMARY ID CHANNEL LETTERSET

Scale: 3/16" = 1'



NORTH ELEVATION: NTS

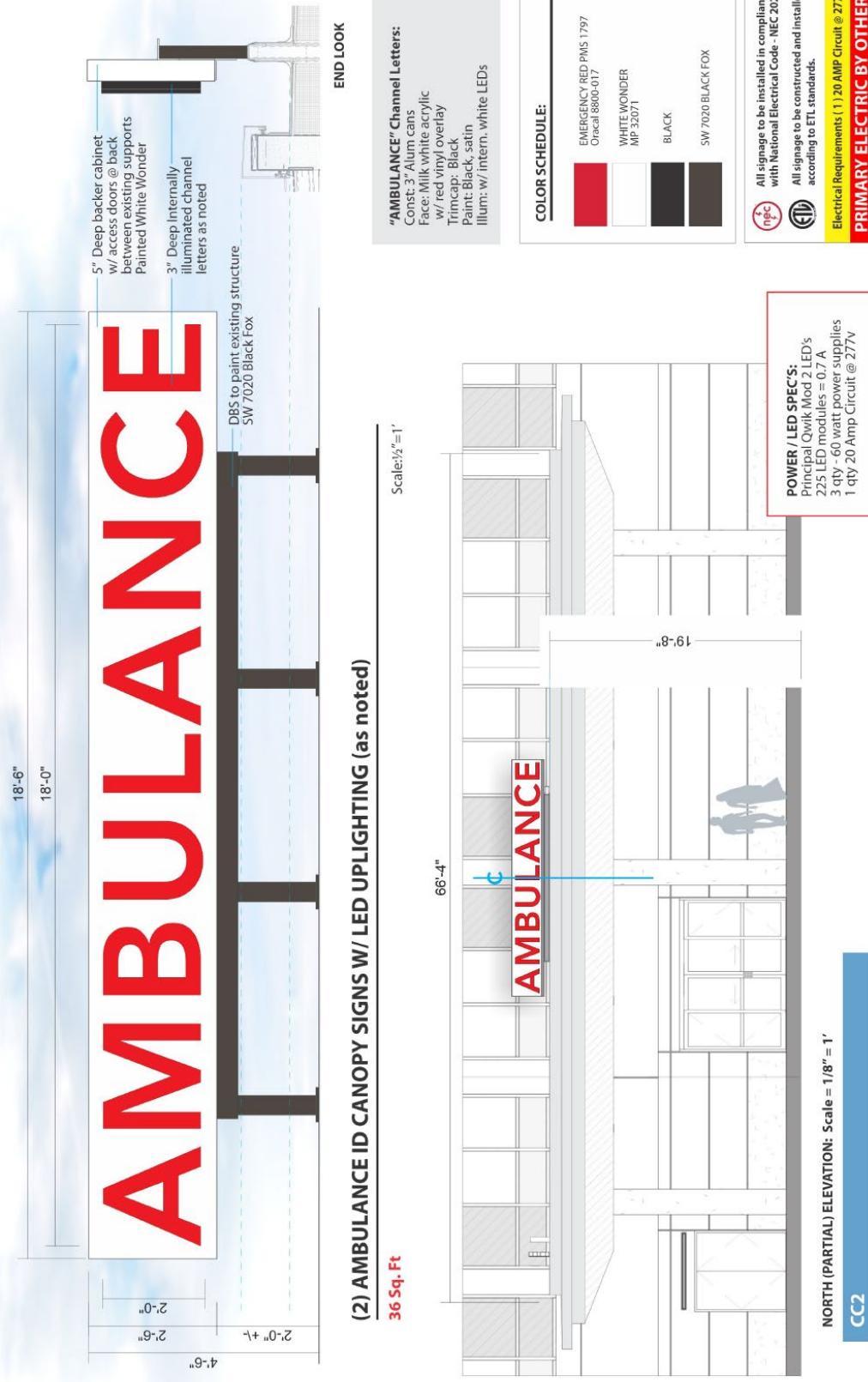
CC1.3

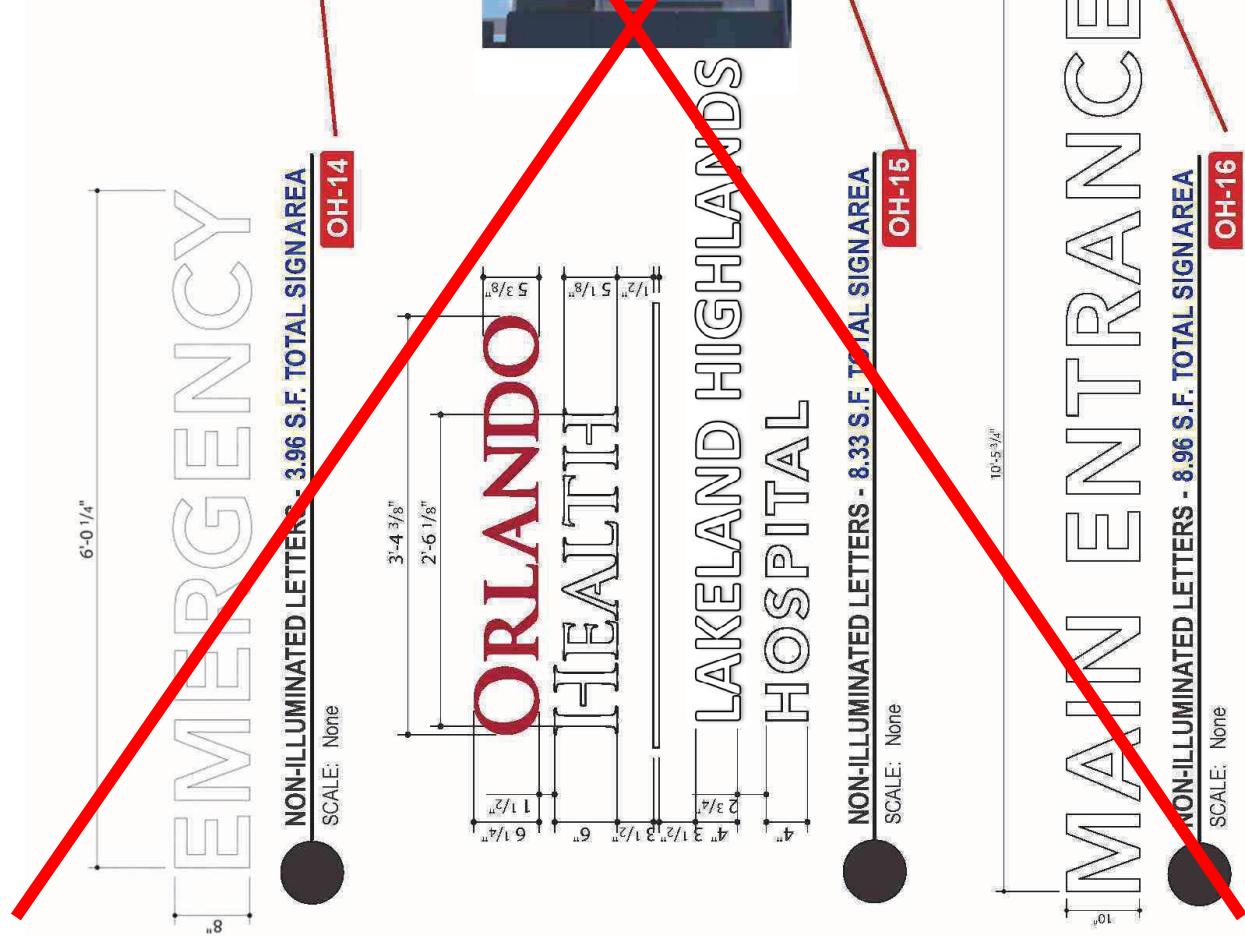
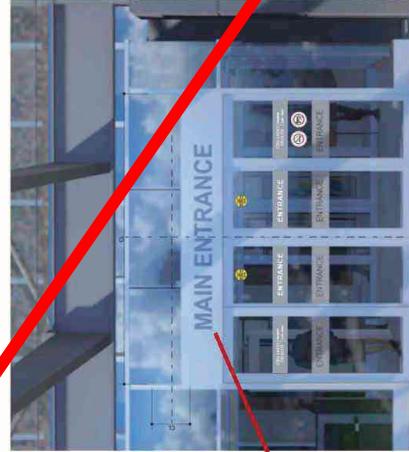
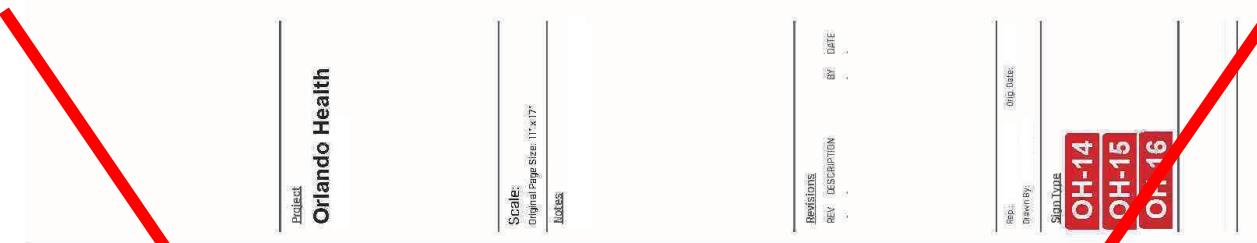
SIGN TYPE CC1.3

CC2

AMBULANCE / CANOPY

SIGN TYPE CC2





SIGN TYPE OH.14

OH.14

EMERGENCY

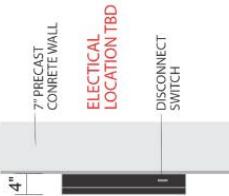
EMERGENCY

SIMULATED NIGHTVIEW: NTS

17'-9"

2'-0"

EMERGENCY



(1) EMERGENCY ID CHANNEL LETTERSET

35.5 Sq. Ft

END LOOK

Scale: 1/2" = 1'



SOUTH (PARTIAL) ELEVATION: Scale = 1/8" = 1'

OH.14

COLOR SCHEDULE:



"EMERGENCY":
Const: Alum cans
Face: Milk white acrylic w/
3M dual-color film digitally
printed Emergency red PMS 1797
Trimcap: Black
Paint: Black, satin
Illum: w/ Intern. white LEDs
Mtd. flush to wall.

POWER / LED SPEC'S:
Principal Qwik Mod 2 LED's
225 LED modules - 0.7 A
3 qty - 60 watt power supplies
1 qty 20 Amp Circuit @ 277v

All signage to be installed in compliance
with National Electrical Code - NEC 2020
All signage to be constructed and installed
according to IFC standards.

Electrical Requirements (1) 20 AMP Circuit @ 277v

PRIMARY ELECTRIC BY OTHERS

OH.15

FCO WALL ID

8'-5 3/4"

ORLANDO
HEALTH[®]

WATSON
CLINIC

Lakeland Highlands Hospital



(1) ID FCO LETTERSET

13.49 Sq. Ft

"ORLANDO" 2.7 sq ft
"HEALTH" 3.19 sq ft
"Lakeland Highlands Hospital" 4.92 sq ft

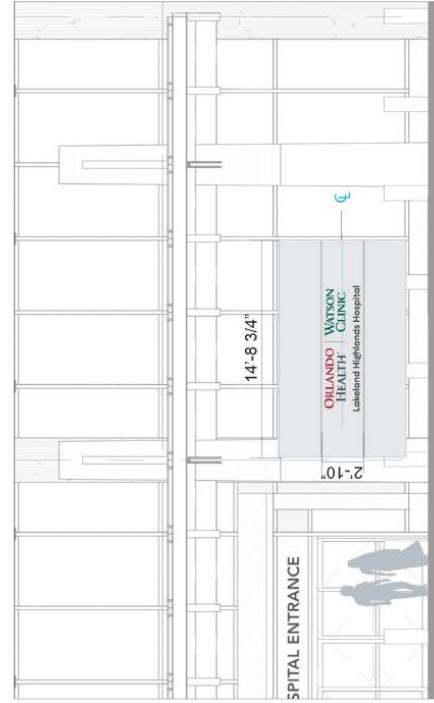
Scale: 3/4" = 1'

SIGN TYPE OH.15

END LOOK

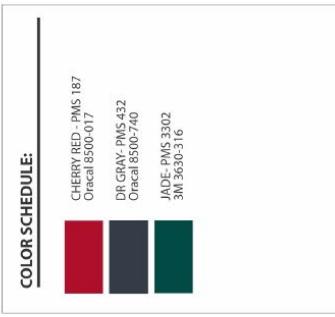


EXISTING CONDITION



SOUTH (PARTIAL) ELEVATION: Scale = 1/8" = 1'

OH.15



OH.16

HOSPITAL ENTRANCE

VERIFY MATERIALS & ATTACHMENT

HOSPITAL ENTRANCE

11'-9"

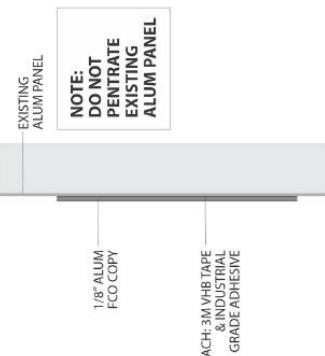
10'

(1) ENTRANCE FCO LETTERSET

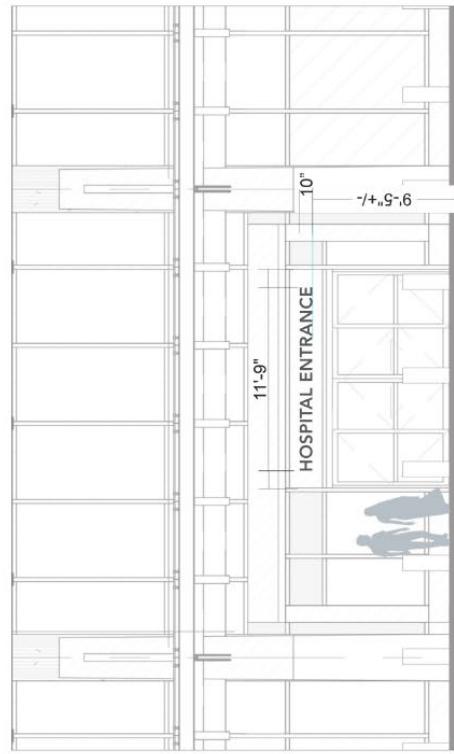
8.9 Sq. Ft

Scale: $\frac{3}{4}'' = 1'$

SIGN TYPE OH.16



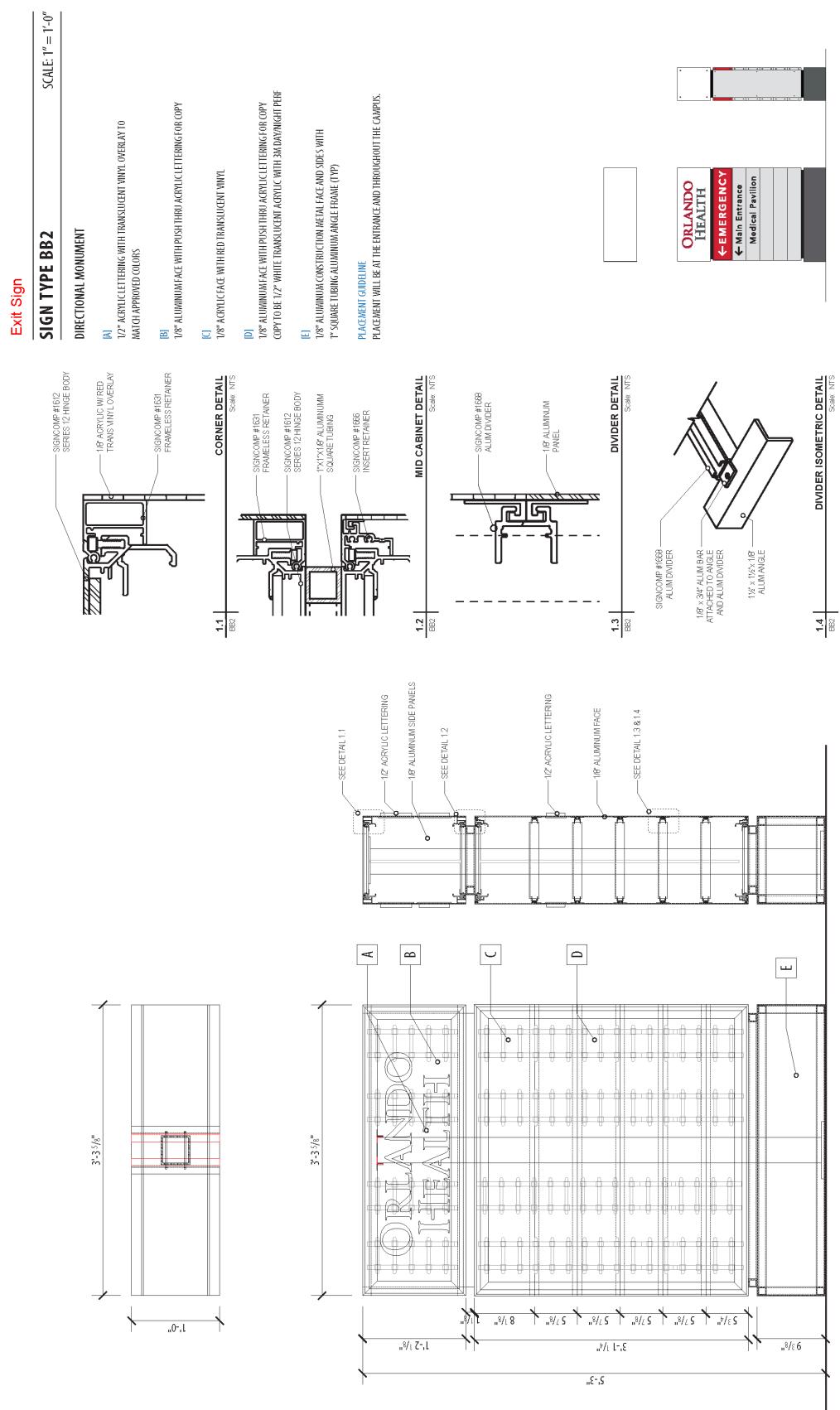
END LOOK



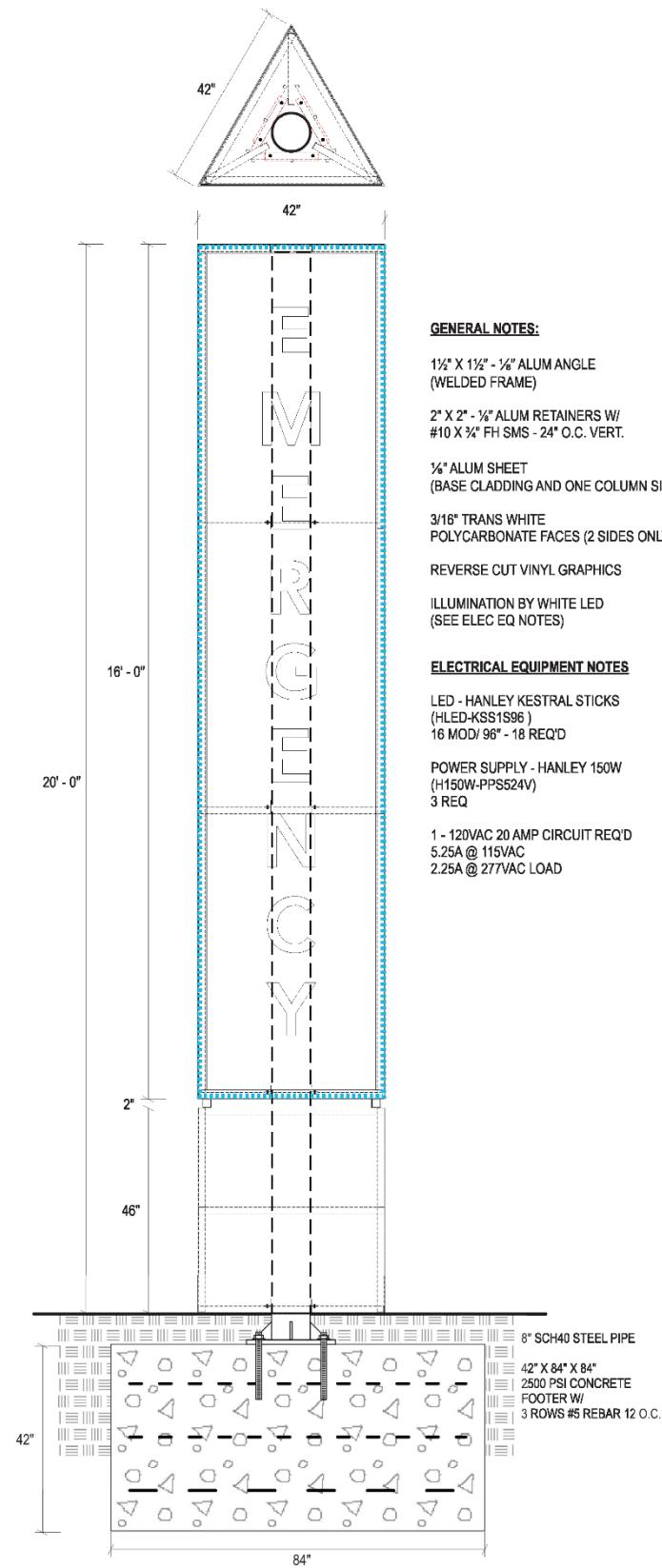
SOUTH (PARTIAL) ELEVATION: Scale = 1/8" = 1'

OH.16

SIGN TYPE BB2



SIGN TYPE BB4

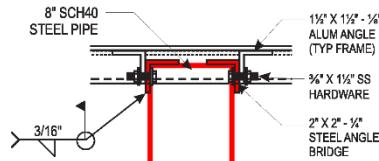


Color Schedule

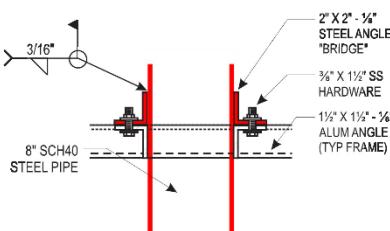
C1		EMERGENCY
		Matthews Paint MP74807 Pantone® 1797C "Red"
C2		Oracal Vinyl (translucent) 8800-016 Pantone® 1797C "Red"
C2		Matthews Paint MP540 Pantone® 425C "Grey"
C7		Translucent White Polycarbonate

GRAPHIC APPEARANCE - NOT TO SCALE

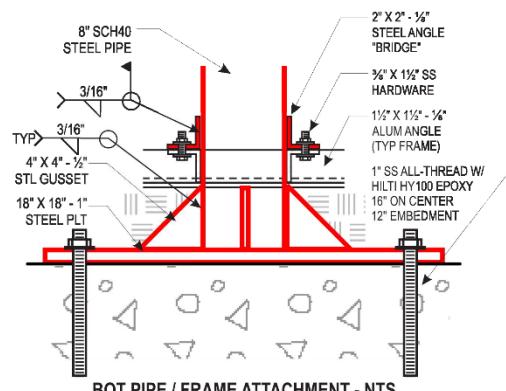
Note: COPY APPEARS ON ONLY THE
(2) POLYCARBONATE FACES
(3rd FACE IS BLANK ALUM PTD RED)



TOP PIPE / FRAME ATTACHMENT - NTS



CTR PIPE / FRAME ATTACHMENT - NTS

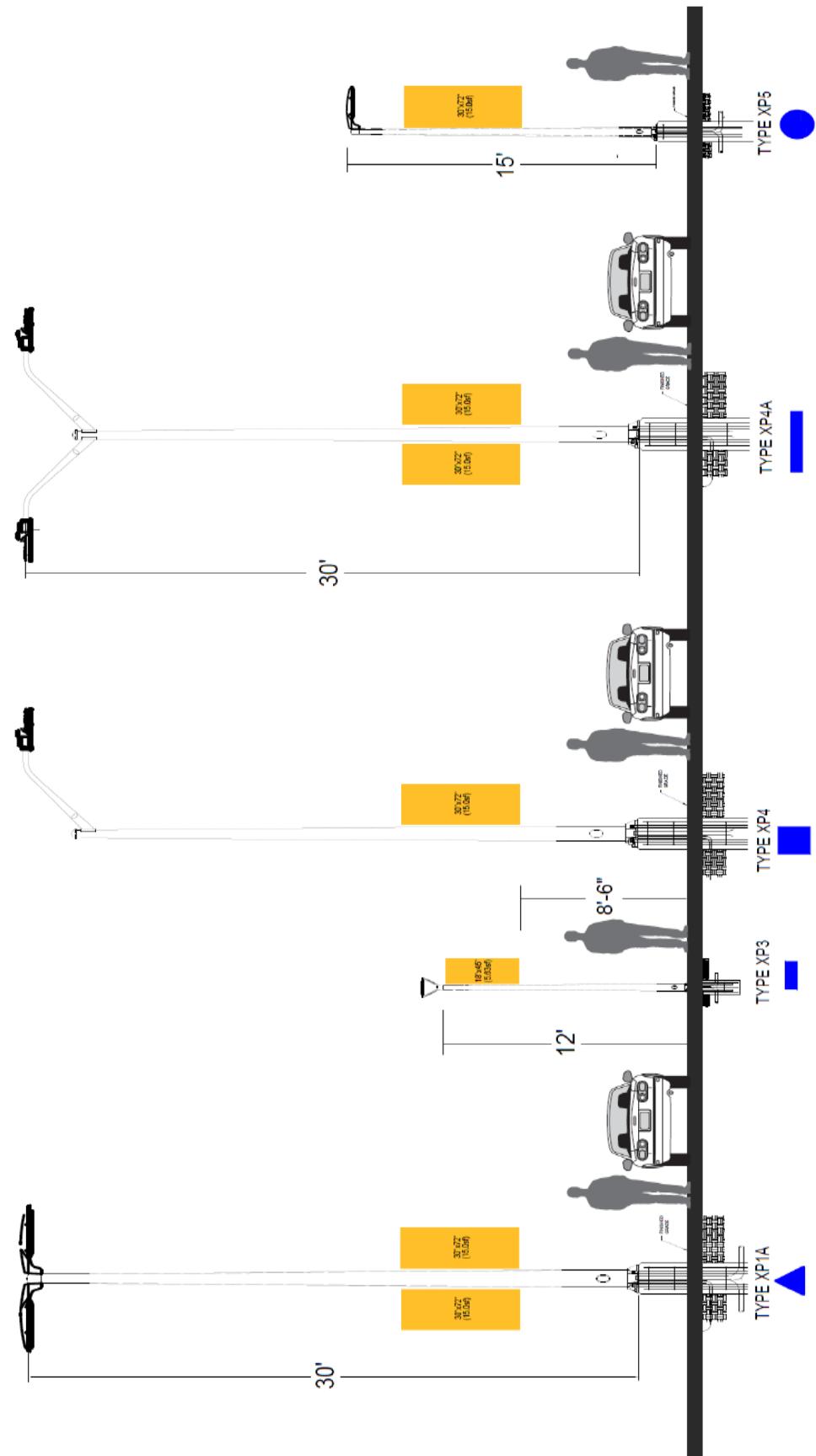


BOT PIPE / FRAME ATTACHMENT - NTS

LIGHT POLE BANNER TABLE

Light Pole Banner Table

Pole Type	Symbol	Quantity
XP1A	▲	13 (30.0sf x 13 = 390.0sf)
XP3	■	11 (5.63sf x 11 = 61.93sf)
XP4	■■	24 (15.0sf x 24 = 360.0sf)
XP4A	■■■	24 (30.0sf x 24 = 720.0sf)
XP5	●	6 (15.0sf x 6 = 90.0sf)
Total:		1,621.93sf



ATTACHMENT D-2

Sign Type	Max Height	Size (SF)	Quantity	Total Area (SF)
AA1	10'	209	2	418.0
AA2	10'	60	3	180.0
AA3	4'-2"	40	1	40.0
AA4	4'-2"	40	1	40.0
BB1	7'	26	3	78.0
BB2	5'-3"	12.5	19	237.5
BB4 Emergency Pylon Sign	20'	56	1	56.0
CC1.1 Hospital Building Sign 1	6'	464	1	464.0
CC1.2 Hospital Building Sign 2	6'	464	1	464.0
CC1.3 Hospital Building Sign 3	6'	240.5	1	240.5
CC2 Ambulance Canopy Sign	2'	18	2	36.0
OH-14 Emergency Canopy Sign	2'	35.5	1	35.5
OH-15 Hospital Entrance Wall Sign (Pedestrian)	2'-8"	8.5	1	8.5
OH-16 Hospital Entrance Wall Sign (Door)	0'-10"	8.9	1	8.9
Sub-Total				2,306.90
APPROVED PUD				3,030.79
Difference				-723.89
Light Pole Banners				
XP1A	6'	15	13	195.0
XP3	3'-9"	5.63	11	61.93
XP4	6'	15	24	360.0
XP4A	6'	15	24	360.0
XP5	6'	15	6	90.0
Sub-Total				1,066.93
TOTAL				3,373.83
Difference				-343.04

Notes

- 1) Buildings signage and internal wayfinding for outparcels are not included in the above calculations and shall be additional signage permitted in accordance with signage standards for the C-1 zoning district.
- 2) Exact colors and sign designs can be adjusted without need to amend this Comprehensive Sign Plan as long as total area listed above does not change.
- 3) Locations are approximate and may be adjusted based on detailed site plans without the need to modify this Comprehensive Sign Plan.
- 4) Text can be modified during sign permit application and review as long as total copy area of signs is not greater than the maximum total area identified above for the identified signs.
- 5) Exact design of Sign AA1 to be determined during sign plan application and review process, but shall be no greater than 250 sf.
- 6) The Owner agrees to regular maintenance and replacement of signage in accordance with the approved Master Sign Plan provisions.

ATTACHMENT D-2

Sign Type	Max Height	Size (SF)	Quantity	Total Area (SF)
AA1	10'	209	2	418.0
AA2	10'	60	3	180.0
AA3	4' 2"	40	1	40.0
AA4	4' 2"	40	1	40.0
BB1	7'	26	3	78.0
BB2	5' 3"	12.5	19	237.5
BB4 Emergency Pylon Sign	20'	56	1	56.0
CC1.1 Hospital Building Sign 1	6'	422.53	1	422.53
CC1.2 Hospital Building Sign 2	6'	422.53	1	422.53
CC1.3 Hospital Building Sign 3	17' 2"	284	1	284
CC2 Ambulance Canopy Sign	2' 6"	46.25	2	92.5
OH.14 Emergency Canopy Sign	2'	35.5	1	35.5
OH.15 Hospital Entrance Wall Sign (Pedestrian)	2'6"	21.25	1	21.25
OH.16 Hospital Entrance Wall Sign (Door)	10"	10	1	10
Sub-total				2337.81
Approved PUD				3030.79
Difference				-692.98
Light Pole Banners				
XP1A	6'	15	13	195
XP3	3' 9"	5.63	11	61.93
XP4	6'	15	24	360
XP4A	6'	15	24	360
XP5	6'	15	6	60
Sub-total				1066.93
TOTAL				3404.75
Difference				+373.95

Notes

- 1) Buildings signage and internal wayfinding for outparcels are not included in the above calculations and shall be additional signage permitted in accordance with signage standards for the C-1 zoning district.
- 2) Exact colors and sign designs can be adjusted without need to amend this Comprehensive Sign Plan as long as total area listed above does not change.
- 3) Locations are approximate and may be adjusted based on detailed site plans without the need to modify this Comprehensive Sign Plan.
- 4) Text can be modified during sign permit application and review as long as total copy area of signs is not greater than the maximum total area identified above for the identified signs.
- 5) Exact design of Sign AA1 to be determined during sign plan application and review process, but shall be no greater than 250 sf.
- 6) The Owner agrees to regular maintenance and replacement of signage in accordance with the approved Master Sign Plan provisions.



File Number: PUD26-006

Present Zoning: PUD 5839

Present Context: Suburban Special Purpose

Proposed Zoning: Minor Modification of PUD Zoning
for Orlando Health to Amend the
Comprehensive Sign Plan

February 2026

Subject Property

Zoning

Future Land Use

Conditional Use

Parcels

City Limits

Water Body

SPI

Railroad

N



PUD 4300

5619

LD

POLK PKWY

POLK PKWY

LAKELAND HIGHLANDS RD

RA-3

5619

RA-3

SUBURBAN SPECIAL PURPOSE

PUD 5839

SANLAN GOLF DR

Subject
Property

File Number: PUD26-006

Present Zoning: PUD 5839

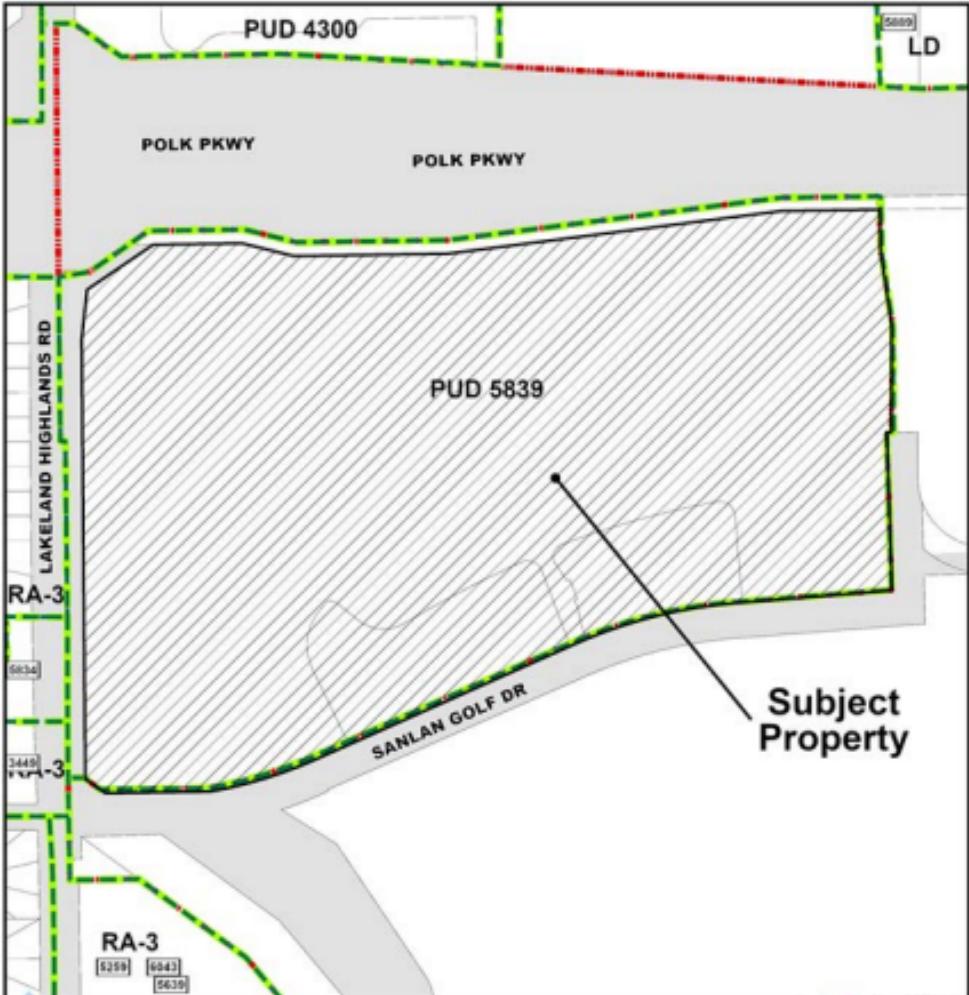
Present Context: Suburban Special Purpose

Proposed Zoning: Minor Modification of PUD Zoning
for Orlando Health to Amend the
Comprehensive Sign Plan

February 2026

- Subject Property
- Zoning
- Future Land Use
- Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Railroad





File Number: PUD26-006

Present Zoning: PUD 5839

Present Context: Suburban Special Purpose

Proposed Zoning: Minor Modification of PUD Zoning
for Orlando Health to Amend the
Comprehensive Sign Plan

February 2026

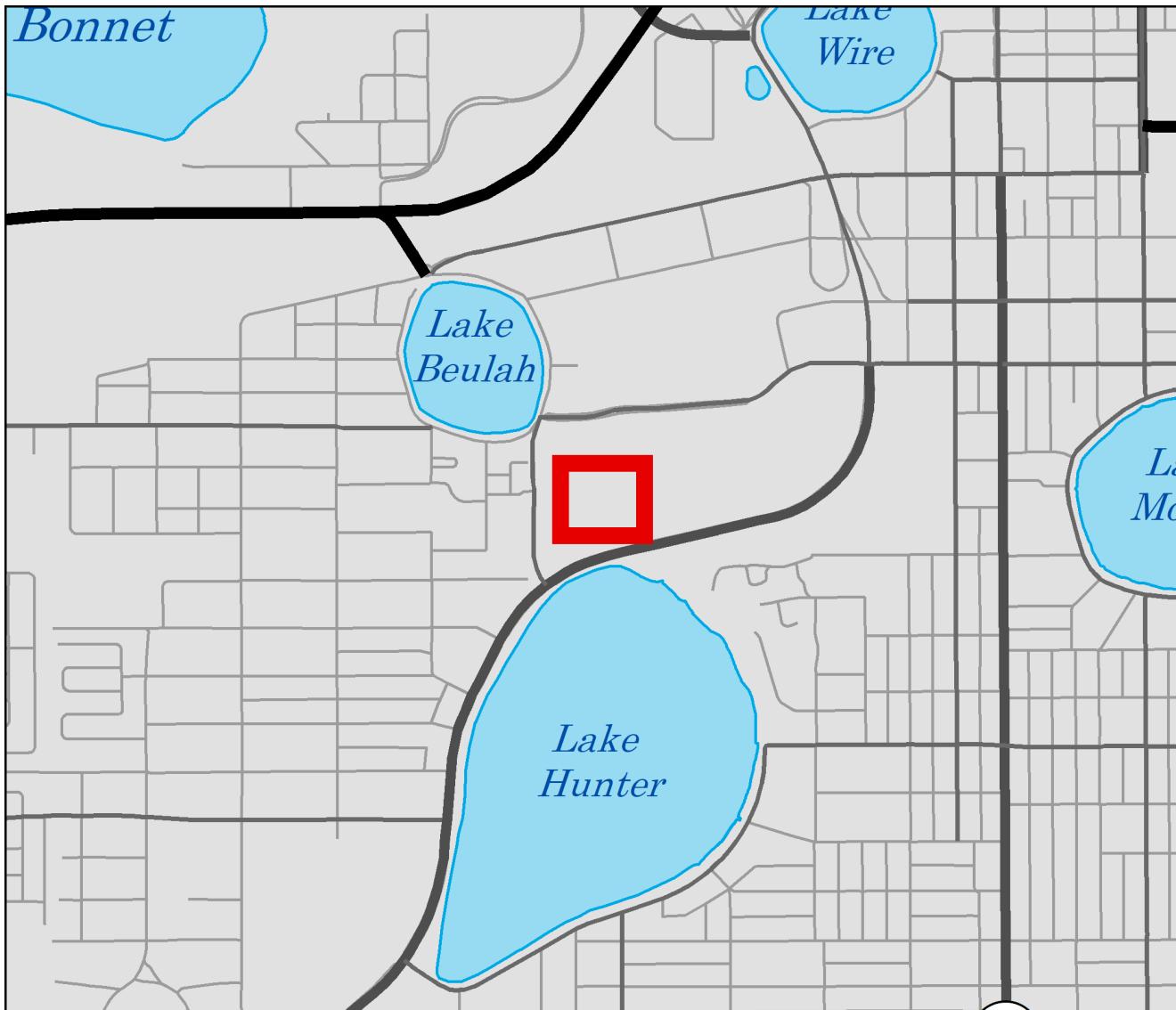


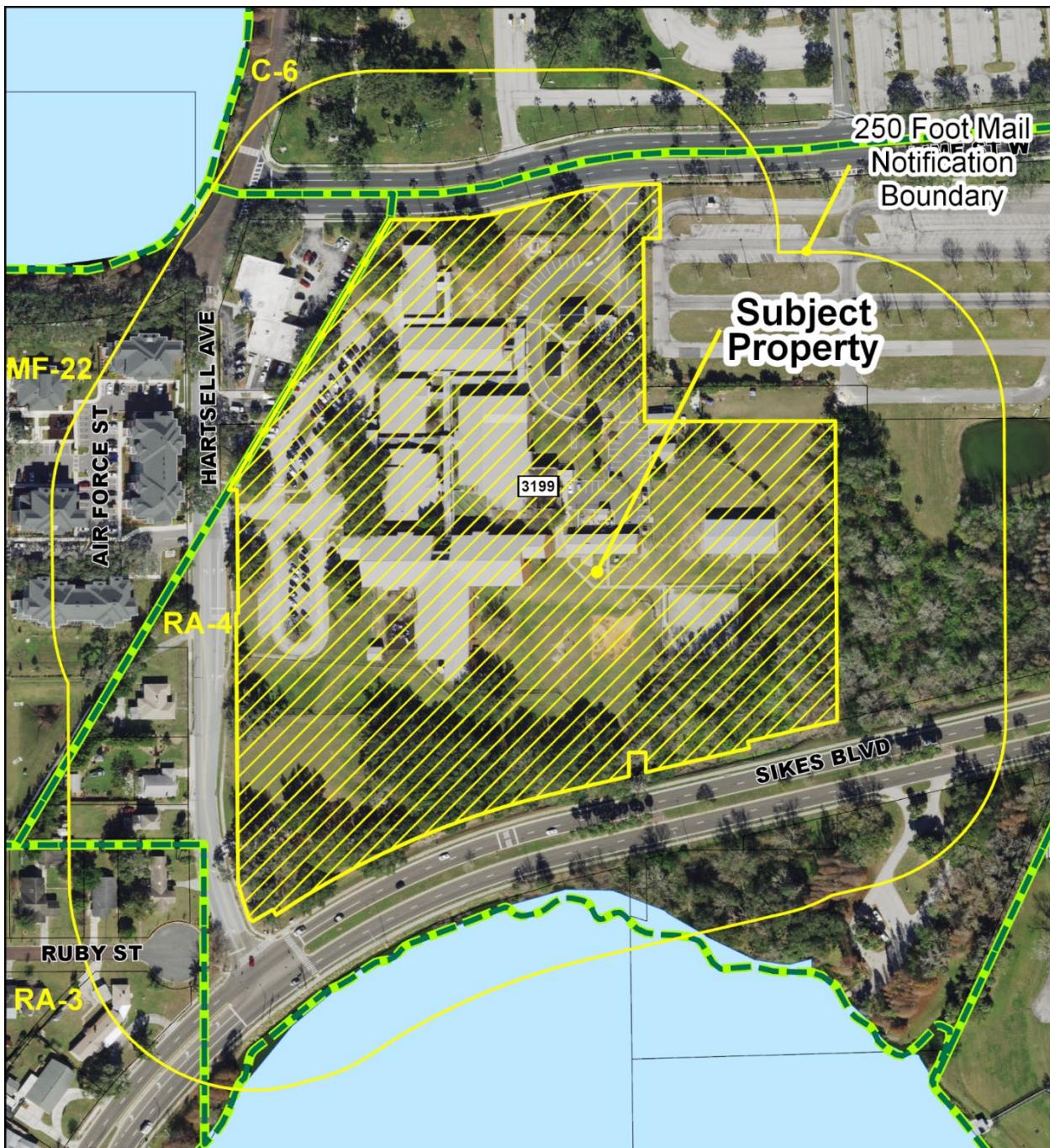


Community & Economic Development Staff Recommendation

Date:	February 17, 2026	Reviewer:	Damaris Stull
Project No:	CUP25-006	Location:	510 Hartsell Avenue
Owner:	School Board of Polk County R.W. Blake Academy		
Applicant:	Sarah Case, Next Level Planning & Permitting		
Current Zoning:	RA-4 (Single-Family Residential)	Future Land Use:	Residential High (RH)
Context District:	Urban Neighborhood (UNH)		
P&Z Hearing:	August 19, 2025	P&Z Final Decision:	February 17, 2026
Request:	Major modification to an existing conditional use for Blake Academy to expand the boundaries of the school campus and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking on property located at 510 Hartsell Avenue.		

1.0 Location Maps





2.0 Background

2.1 Summary

Sarah Case, Next Level Planning & Permitting, on behalf of the Polk County School Board, requests a major modification to an existing conditional use for R.W. Blake Academy to expand the school boundaries and allow for the construction of a new 15,291 sq ft gymnasium with associated off-street parking on property located at 510 Hartsell Avenue. A map of the subject property is included as Attachment "B."

2.2 Subject Property

The subject property, approximately 15.04 acres in area, is located east of Hartsell Avenue, south of W. Lime Street, and north of State Road 563/Sikes Boulevard. The subject property has a future land use designation of Residential High (RH) with a RA-4/UNH (Single-Family Residential/Urban Neighborhood context sub-district) zoning classification.

The subject property is currently improved with a primary school that was constructed in 1989 according to the Polk County Property Appraiser. According to the Property Appraiser, improvements on the school campus consist of eight buildings with a total floor area of 118,472 sq. ft. and six 864 sq. ft. portable classrooms buildings.

The school is allowed under the RA-4 zoning through a conditional use permit which was approved by the City Commission in 1990 (Ordinance 3199). From 1991 - 2001, the subject property operated as Rosabelle W. Blake Elementary, a public school which provided education for students in grades K - 5. In 2002, the elementary school transitioned to R.W. Blake Academy, a public magnet school, which provides education for students in grades K – 8.

2.3 Project Background

The purpose of this request is to amend the existing conditional use approval to expand the existing school boundaries and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking. A revised site development plan, which shows the overall campus, proposed gym and associated off-street parking, is included as Attachment "C."

2.4 Existing Uses of Adjacent Properties

Boundary	Existing Land Use	FLUM	Zoning	Context
North	RP Funding Center / Veterans Park	RAC	C-6	PCR/USP
South	Lake Hunter	N/A	N/A	N/A
East	Vacant / RP Funding Center Parking Lot	RH	RA-4	UNH
West	Single-Family and Multi-Family Residential	RM/RH	RA-4/MF-22	UNH

2.5 Attachments

Attachment A: Legal Description

Attachment B: Base Map of Subject Property

Attachment C: Revised Site Development Plan

3.0 Discussion

The requested major modification of the conditional use is necessary due to the acquisition of additional land by the Polk County School Board following the adoption of the original conditional use in 1990. The proposed expansion area, approximately 1.54 acres in area, is located south of the existing school campus, north of Sikes Boulevard and east of Hartsell Avenue

The school currently does not have a dedicated gymnasium. During inclement weather, indoor physical education activities are held in a small building which was not designed for athletic activities. The proposed 15,291 sq. ft. gym will provide students with a modern space which will be used for physical education classes, after school athletic programs, and as an assembly area for school events.

During the review of the conditional use application, staff determined that one of the existing portable classroom buildings, located to the south of the RP Funding Center parking lot, encroaches into unimproved right-of-way for W. Walnut Street. Historic aerial imagery and City's permitting records suggest that the encroaching portable classroom was installed between 2011 and 2014 without a building permit. As a condition for approval, the right-of-way encroachment will need to be addressed, through either the vacation of the right-of-way or relocation of the encroaching portable classroom building elsewhere on the school's campus.

The initial public hearing for this request was held on August 19, 2025. The applicant, however, requested multiple continuances until the School Board agreed to all listed conditions, specifically those related to the buffer and landscaping requirements. Due to the amount of time that had passed since the initial public hearing, the request was readvertised with a second hearing before the Board on February 17, 2026.

3.1 Transportation and Concurrency

The subject property lies to the north side of State Road 563 (Sikes Boulevard), a four-lane divided Urban Minor Arterial operated by the Florida Department of Transportation that is currently operating at an acceptable Level of Service (LOS) D and on the east of Hartsell Avenue, an Urban Local Road maintained by the City of Lakeland and operating at an acceptable LOS C. Per the Polk Transportation Planning Organization's 2025 Roadway Network Database, the Two-Hour Average Volume during the PM Peak Period for Sikes Boulevard is 1,054 Northbound and 1,012 Southbound vehicles (directional service volume/capacity of 1,630 vehicles) and the Two-Hour Average Volume for Hartsell Road is 115 Northbound and 120 Southbound vehicles (directional service volume/capacity of 790 vehicles).

The subject property is located within the Central City Transit Supportive Area as designated in the Comprehensive Plan within which multimodal level-of-service standards have been adopted to recognize available transit service and bicycle/pedestrian networks. The Lakeland Area Mass Transit District (Citrus Connection) operates one route along Sikes Boulevard adjacent to the subject property via its Red Line with 60-minute frequencies. This route provides connecting services to Lakeland-Linder International Airport, Lakeside Village, and the Downtown Terminal. The subject property is

also located approximately 300 feet from a transit shelter on the Citrus Connection's Westside Circulator, with 60-minute frequencies from the Downtown terminal through the Westgate-Central Neighborhoods and the Wabash Avenue corridor. A sidewalk exists along the site's Hartsell Avenue and Sikes Boulevard frontages, with construction scheduled to begin later this fiscal year on the Hartsell Avenue Trail that will replace the existing sidewalk. The Hartsell Avenue Trail will expand the City's Lake-to-Lake Bikeway network, providing an enhanced bicycle/pedestrian route between Lake Hunter and Lake Beulah as part of larger connection to western Lakeland and Bonnet Springs Park. Since the proposed gymnasium will not increase student enrollment, it is expected to have a de minimis impact on the surrounding transportation network.

3.1 Comprehensive Plan Compliance

The Community and Economic Development Department reviewed this request for compliance with Lakeland Comprehensive Plan: Our Community 2030 and it is our opinion that the request is consistent with the Comprehensive Plan.

4.0 Recommendation

4.1 Community and Economic Development Staff

The Community and Economic Development Department reviewed this request and recommended approval of the modification of the conditional use. Letters of notification were mailed to ten (10) property owners within 250 feet of the subject property and no objections were received.

4.2 The Planning & Zoning Board

It is recommended that the request for a major modification of a conditional use, as described above and in Attachments "A", "B," and "C" be approved, subject to the following conditions.

Ordinance 3199, as amended.

1. Permitted Uses: A public school for grades Pre-K – 8 and those accessory uses typically associated with a school of this grade level, such as outdoor education programs, athletic fields and basketball courts.
2. Site Development Plan: The project shall be developed in substantial accordance with the proposed site development plan, Attachment "C." With the approval of the Director of Community & Economic Development, minor changes may be made at the time of site plan review without requiring a modification of the conditional use.
3. Development Standards: In accordance with the RA-4/Urban Neighborhood context sub-district except that setbacks shall be in accordance with the site development plan, Attachment "C."
4. Buffering and Landscaping: Required buffering and landscaping design shall defer to the Office of Safe Schools in accordance with the Marjory Stoneman Douglas High School Public Safety Commission, to ensure no conflicts with required school safety and security standards.
5. Outdoor Lighting
 - a. Non-Athletic Lighting: Outdoor lighting fixtures used shall be shielded in accordance with Section 4.6 of the Land Development Code.
 - b. Athletic Lighting and Outdoor Recreation Facilities: Any outdoor lighting fixtures used for athletic fields and outdoor recreation facilities shall use full cut-off or directionally

shielded luminaires such that all light emitted is directed to the playing field/court and shielded to minimize light glare and trespass onto adjacent properties. The use of outdoor athletic lighting shall not be permitted between the hours of 10:00 PM and 7:00 AM.

6. Portable Classrooms Buildings: The six existing portable classroom buildings located on the site may continue to be used provided that the right-of-way encroachment is addressed. The encroachment may be resolved through either the vacation of the right-of-way or the relocation of the encroaching structure elsewhere on the school campus. To initiate the right-of-way vacation process, Polk County Public Schools shall submit a request to the City of Lakeland Office of Real Estate & Property Information. If the request to vacate the right-of-way is approved, the former right-of-way may be combined with the real property which comprises the school's campus without requiring a modification to the conditional use permit.

7. Transportation

- a. A six-foot-wide ADA-compliant sidewalk connection shall be provided between Building No. 11 (new gymnasium) and the existing internal sidewalk network, which provides access to the programmed Hartsell Avenue Trail at the existing designated school crosswalk.
- b. Bicycle parking shall be provided in compliance with Section 4.11.6 of the City Land Development Code. Alternate bike rack/enclosures from City standards shall be allowed to maximize number of bicycle positions and limit space when not within 100-feet of right of way.

ATTACHMENT "A"

Legal Description

All that part of Blks 15, 18, 19, 20 & 21 of Riggins and Stephenson Addition to Lakeland as recorded in Deed Book P, PG 92,

AND part of Blk A of Brown's Addition as recorded in PB 1, PG 47-A,

AND that part of Blks C & D, Scally and Bassett Subdivision of Railroad right-of-way as recorded in PB 4-B, PG 58,

AND part of Lakeland Civic Center as recorded in PB 71, PG 41, public records of Polk County, Florida,

AND that part of platted alleys within above-described blocks,

AND that part of Willow, Brown, Hickory, Walnut and Olive Streets and part of Lincoln Avenue rights-of-way, containing 13 5± acres

And Brown's addition, plat book 1, page 47a, block "b", lots 1 thru 6, lying north of Sikes boulevard and east of Hartsell avenue.

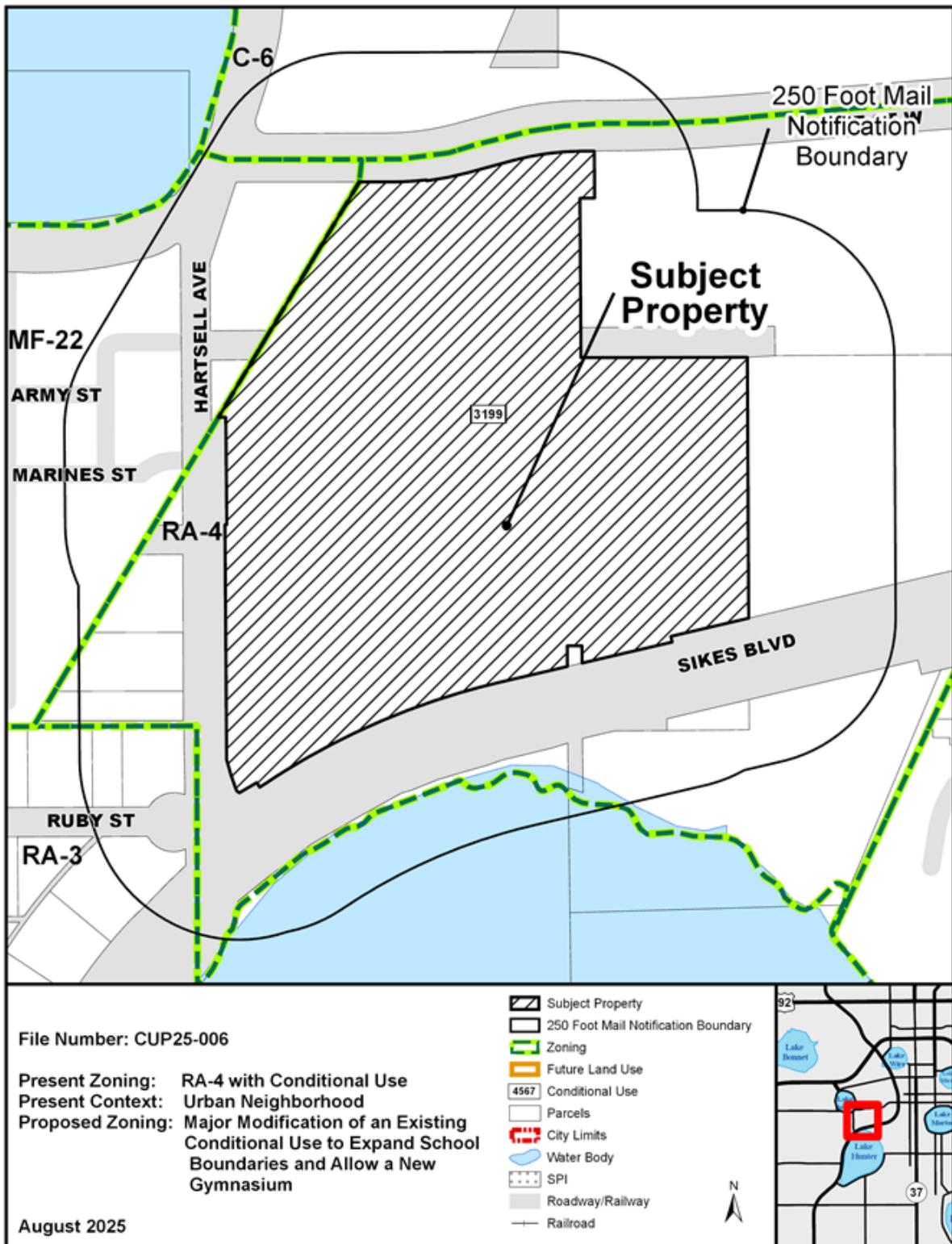
And Riggins & Stephensons addition to Lakeland, deed book "p", page 92, block 22, all lots lying north of Sikes Boulevard

Less the west 25 feet of the south 145 feet of lot 2, block 21 of Riggins & Stephenson's addition to Lakeland as recorded in deed book p, page 92, of the public records of Polk County, Florida.

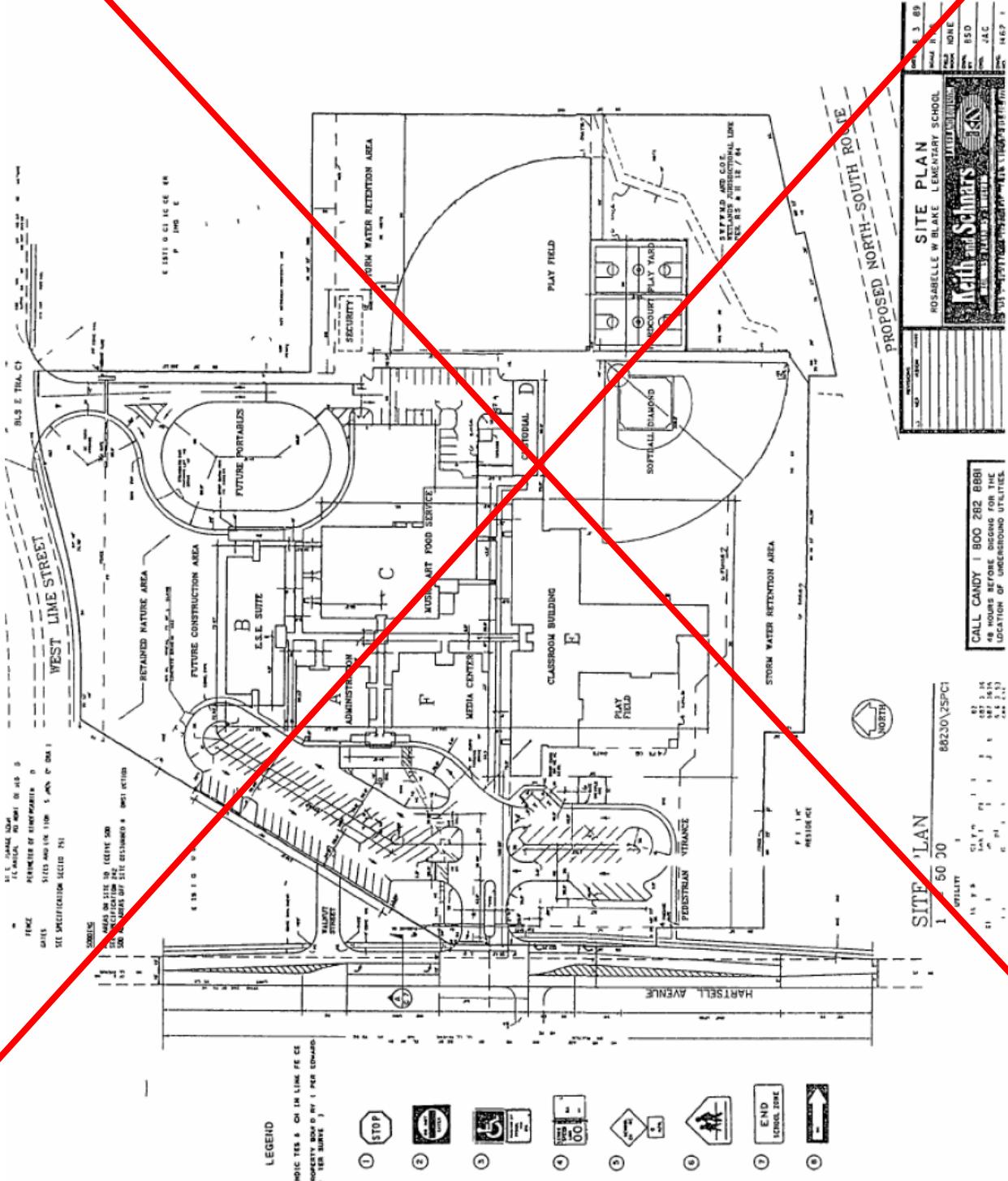
AND LESS

That portion of lot 5, block a, Brown's addition, as recorded in plat book 1, page 47a, of the public records of Polk County, Florida, lying within the right of way of Hartsell Avenue. (platted as Hunter Avenue.).

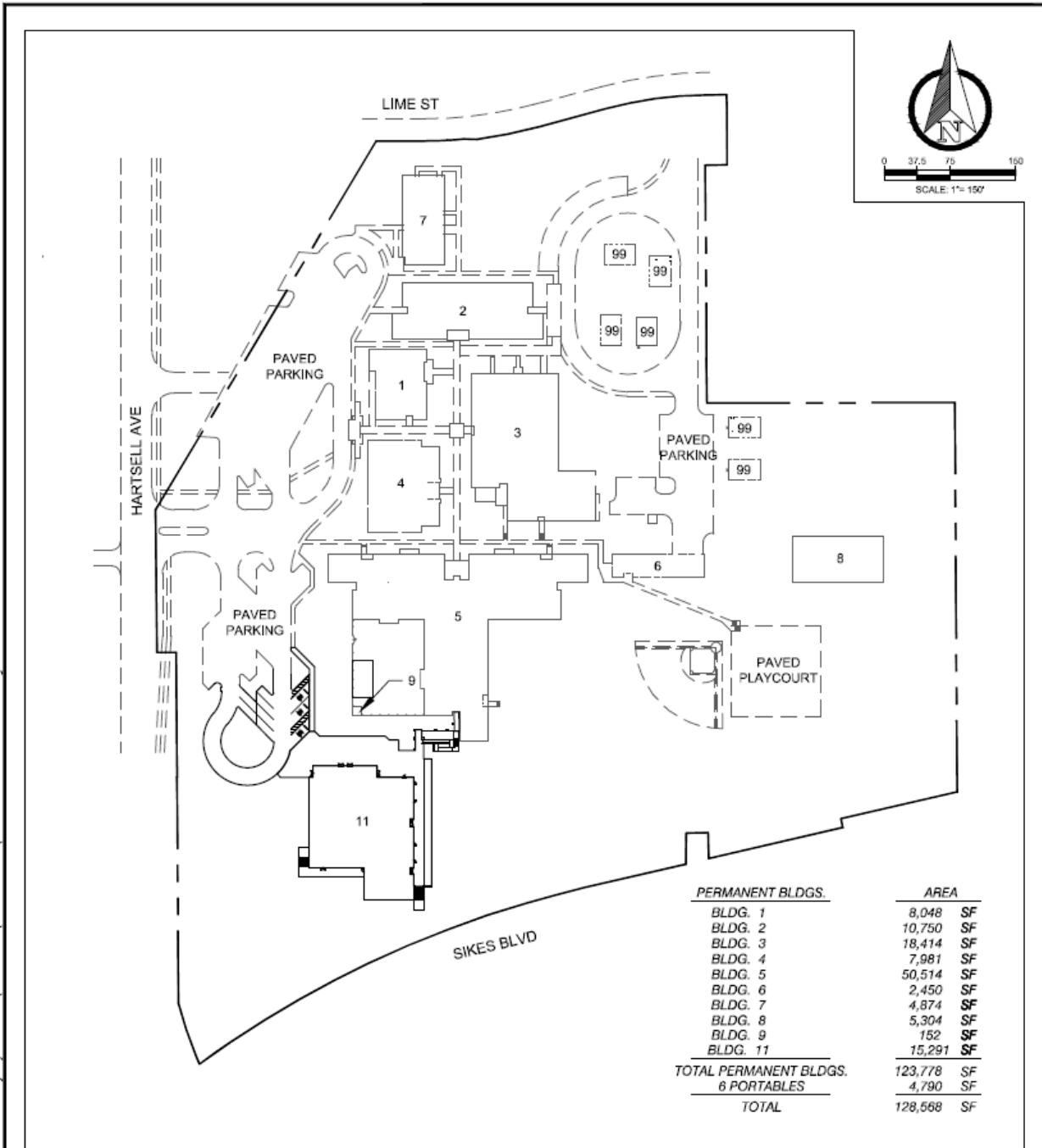
ATTACHMENT "B"



~~ATTACHMENT "C"~~



ATTACHMENT "C"



PARCEL ID# 23-28-24-119000-015010



GADD
& ASSOCIATES
CIVIL ENGINEERING & CONSULTING
4685 E COUNTY ROAD 540A
LAKELAND, FL 33813
PHONE: (863) 940-9979
Certificate of Authorization #30194
www.GaddCivil.com

**R.W. BLAKE ACADEMY
GYMNASIUM**

510 HARTSELL AVE
LAKELAND, FL 33815

Site Plan

3.8

MINUTES

Planning & Zoning Board

City Commission Chambers

Wednesday, January 21, 2026

8:30 a.m.

The City of Lakeland Planning and Zoning Board met in Regular Session. Board Members, Terry Dennis, Jolián Rios, Veronica Rountree, Susan Seitz and Jeri Thom were present. Community & Economic Development staff Chuck Barmby, Urban Planning & Transportation Manager; Matthew Lyons, Executive Planner; Audrey McGuire, Executive Planner; Damaris Stull, Senior Planner and Christelle Burrola, Board Secretary, were present. Assistant City Attorney Alex Landback was also present.

PUBLIC HEARING

NO NEW PUBLIC HEARING ITEMS

GENERAL MEETING

ITEM 5: Review minutes of the November meeting.

Susan Seitz made a motion for approval of staff's recommendation. Veronica Rountree seconded the motion and it passed 5—0.

ITEM 6: Major modification to an existing conditional use for Blake Academy to expand the boundaries of the school campus and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking on property located at 510 Hartsell Avenue. Owner: School Board of Polk County Rosabelle W Blake Academy. Applicant: Sarah Case, Next Level Planning & Permitting. (CUP25-006) **Note: Applicant requests an additional one-month continuance until February 17th**

Sarah Case, 3825 S. Florida Avenue, requested a one-month continuance until February 17th.

Susan Seitz made a motion to continue the item until February 17th and readvertise the item due to the amount of time that has lapsed since the initial public hearing. Jolián Rios seconded the motion and it passed 5—0.

ITEM 8: Report of City Commission action on Planning and Zoning Board recommendations along with Planning & Transportation Manager's Report.

Chuck Barmby reviewed the recent actions of the City Commission. Mr. Barmby also reviewed the new cases for the January hearing.

ITEM 9: Audience.

There were no comments from the audience.

ITEM 10: Adjourn.

There being no further discussion, the meeting was adjourned at 8:40 AM.

Respectfully Submitted,

Jeri Thom, Chair

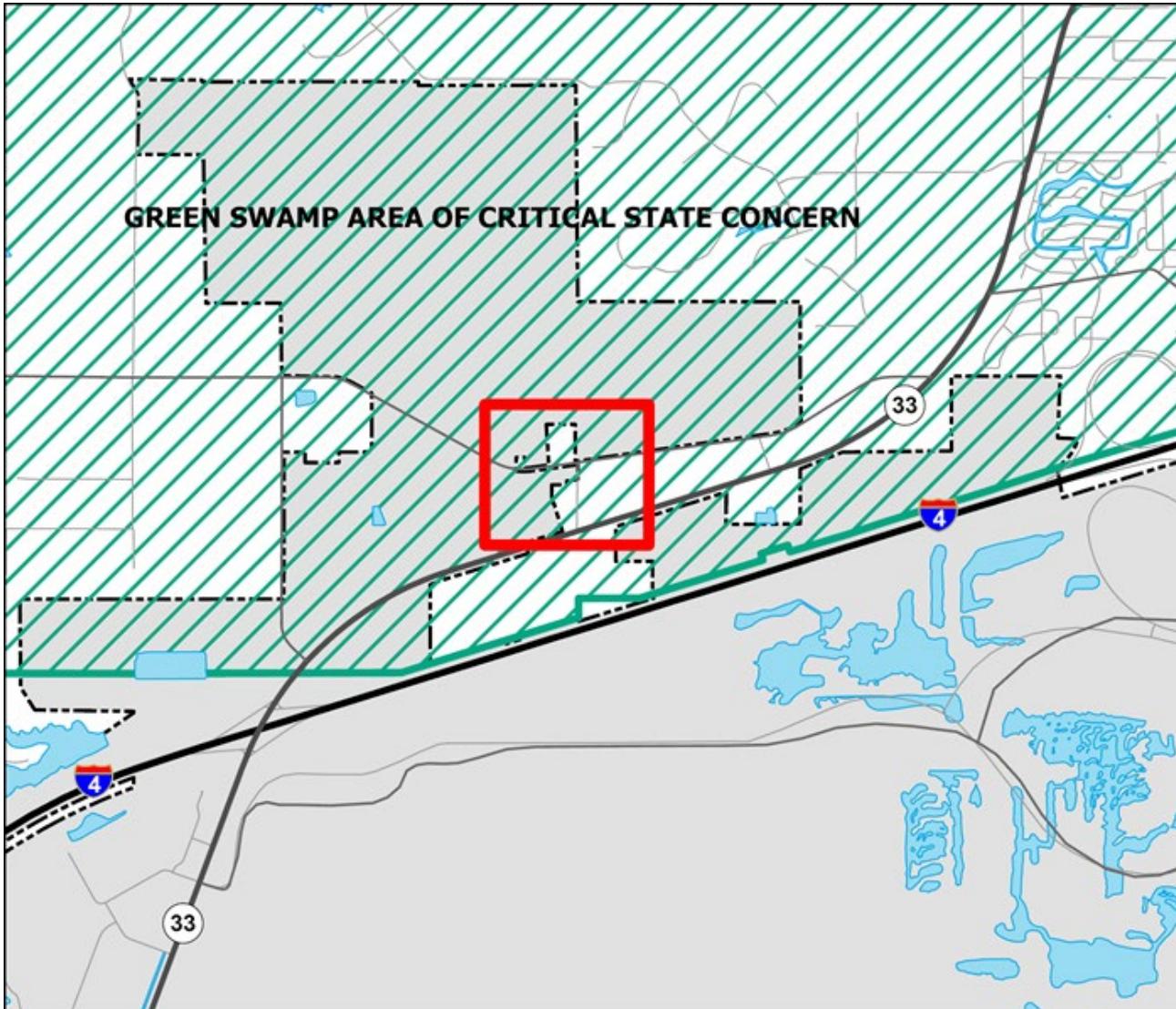
Bessie Reina, Secretary

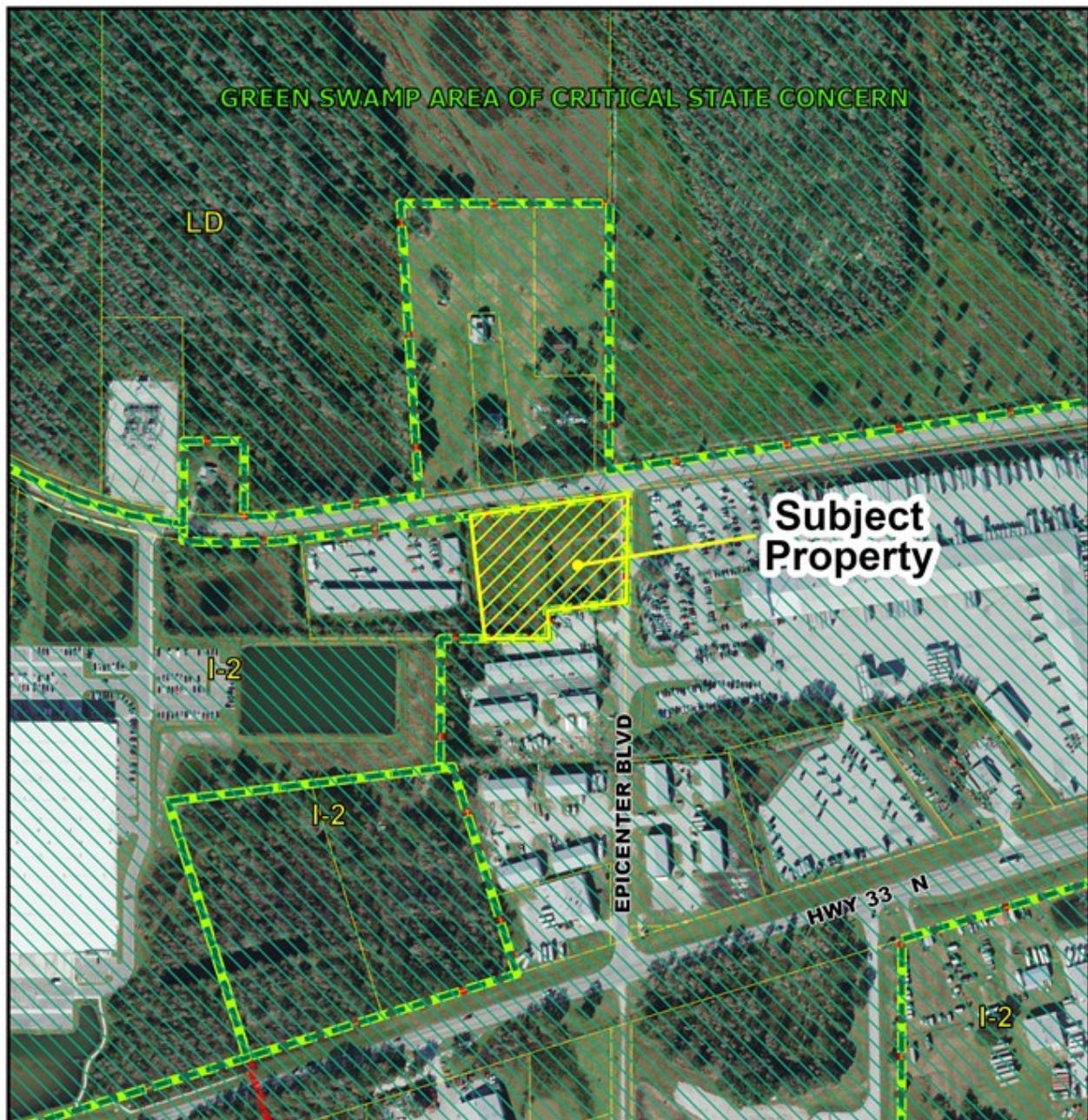


Community & Economic Development Staff Recommendation

Date:	February 17, 2026	Reviewer:	Audrey McGuire
Project No:	SIT25-025	Location:	3745 Old Polk City Road
Owner:	GBA Lakeland 61 Land LLC		
Applicant:	Kaitlyn Bater, Kimley-Horn and Associates, Inc.		
Current Zoning:	I-2 (Medium Industrial)	Future Land Use:	Business Park (BP)
Context District:	Suburban Special Purpose (SSP)		
P&Z Hearing:	February 17, 2026	P&Z Final Decision:	February 17, 2026
Request:	Green Swamp Area of Critical State Concern Site Plan Approval for County Road 582 Storage to construct a 60,426 sq. ft. gravel parking / storage lot on property located at 3745 Old Polk City Road.		

1.0 Location Maps





2.0 Background

2.1 Summary

Kaitlyn Baker, Kimley-Horn and Associates, Inc., on behalf of GBA Lakeland 61 Land, LLC, requests site plan approval to construct a new 60,426 sq. ft. gravel parking / outdoor storage lot on property located at 3745 Old Polk City Road. A map of the subject property is included as Attachment "A."

2.2 Subject Property

The project site consists of approximately 2.44 acres located south of Old Polk City Road, west of Epicenter Boulevard within the Green Swamp Area of Critical State Concern (ACSC). The Green Swamp is a 322,000-acre region of Central Florida designated in 1974 by the legislature for its statewide environmental resource significance. Rainwater drains across the surface of this vast area, creating the headwaters of four of the State's major rivers (the Withlacoochee, Ocklawaha, Hillsborough and Peace) and percolating through the soil to replenish the Floridan aquifer system, the primary source of drinking water for most Floridians.

2.3 Project Background

Due to these unique environmental features, development in the Green Swamp must adhere to special guidelines which address key issues of state concern. These guidelines are found in Section 6.3 of the Land Development Code and include special limitations on density and intensity, prohibitions of certain uses, flood plain and wetland protection provisions, and the requirement to conduct a land survey of the property to identify endangered, threatened, and/or species of special concern for certain developments.

2.4 Attachments

Attachment "A": Subject Property Map

Attachment "B": Site Development Plan

3.0 Discussion

Pursuant to Article 6, Section 6.3.11.1, Planning and Zoning Board review and approval is required for all site plans and subdivision plan approvals within the Green Swamp ACSC. The site plan (Attachment "B") depicts development of a 60,426 sq. ft. gravel parking / outdoor storage area with an associated stormwater management system. The subject property is zoned I-2 (Medium Industrial) and has a Future Land Use classification of Business Park (BP). In accordance with Table 6.3-4 of the Land Development Code (Green Swamp Non-Residential Development), the maximum impervious surface ratio (ISR) is 70%. At 41%, the proposed site plan falls below the maximum ISR allowed by Table 6.3-4.

Project landscaping has been designed to be "Florida-Friendly" and utilizes native species to minimize irrigation needs. Subject to permit modification, the project utilizes an existing stormwater management system designed to comply with City of Lakeland, Southwest Florida

Water Management District, and Florida Department of Transportation requirements. The subject property is less than five acres in area and does not meet the threshold requiring a land survey to identify endangered, threatened, and/or species of special concern.

3.1 Transportation and Concurrency

The project is not expected to further degrade levels-of-service on the surrounding roadway network. As required per Section 6.3.7, the owner submitted a voluntary petition for inclusion of the subject property into the Lakeland Area Mass Transit District (LAMTD), which was approved by its Board of Directors and subsequently ratified by the City Commission on January 5, 2026 via Ordinance No. 6131.

3.2 Green Swamp Area of Critical State Concern Compliance

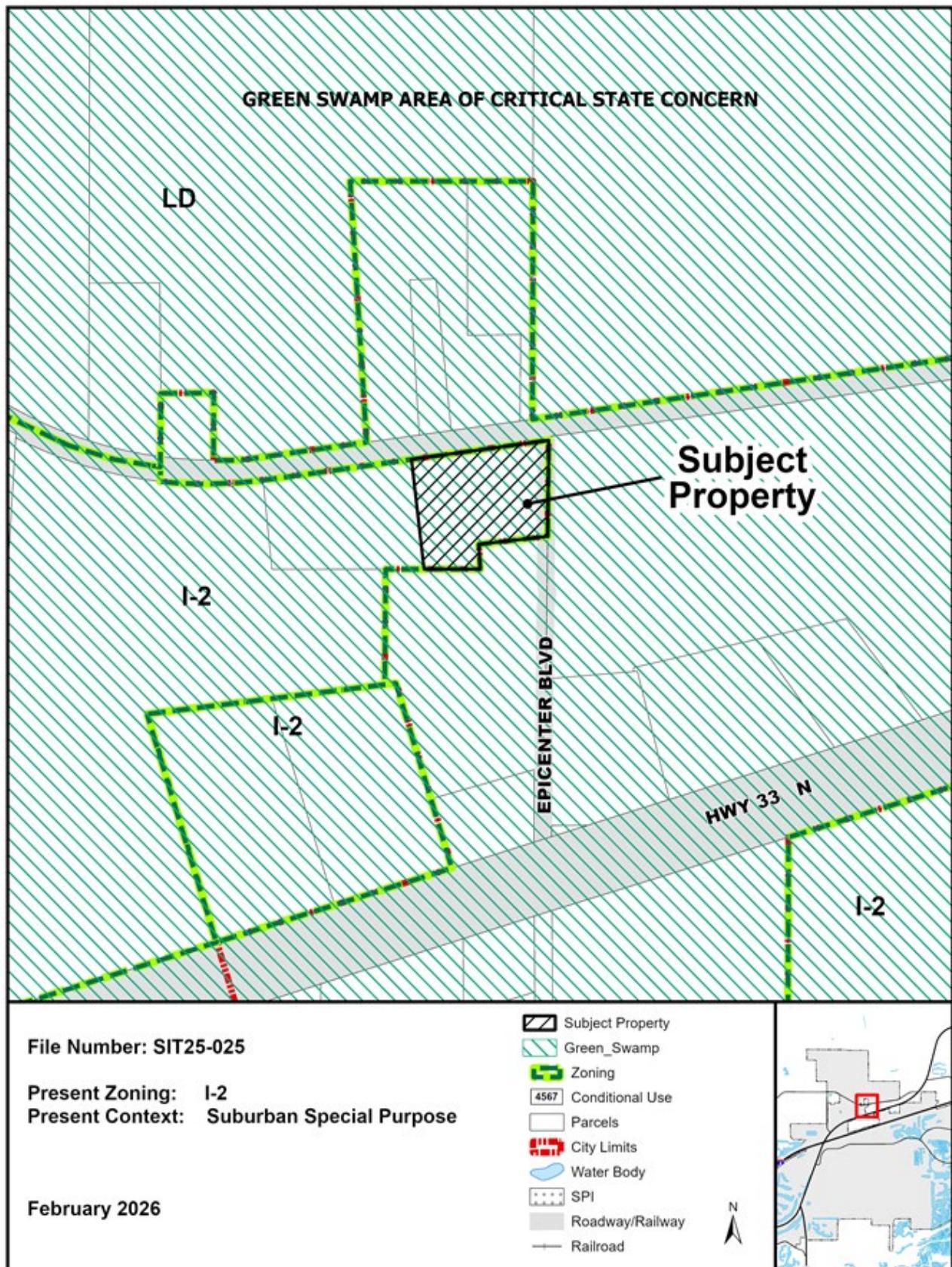
The Community & Economic Development Department reviewed the proposed site development plan for compliance with Section 6.3 and finds the development request to be consistent with the requirements for the Green Swamp ACSC.

4.0 Recommendation

4.1 Community Development Staff

It is recommended that the Planning and Zoning Board approve the site plan as proposed and render it to the State Land Planning Agency (Department of Commerce) in accordance with Section 6.3 of the Land Development Code.

ATTACHMENT "A"



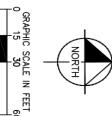
ATTACHMENT "B"

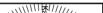
Plotted by: Wright, Drew Sheet Set#K-101 SITE IMPROVEMENTS PLAN 07-2016 05-13-2006 05-13-2006 K:\\VLM\\(046638)001 County Road 5823.CAD\\PlanSheets\\C-101 SITE IMPROVEMENTS PLAN.dwg
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of and/or improper use of this document without written authorization and adaptation by Kliney-Horn and Associates, Inc. shall be without liability to Kliney-Horn and Associates, Inc.



SITE DATA

PARCEL ID:	202711010000010
ZONING:	INDUSTRIAL
CONTAINING DISTRICT:	SUBURBAN/CORPORATE
MAXIMUM ISR:	70%
PROVIDED ISR:	70%
REQUIRED LANDSCAPE BUFFER:	9.3' TYPE A BUFFER
PROVIDED LANDSCAPE BUFFER:	9.3' TYPE A BUFFER



101-C 101 REF ID: SHEET NUMBER	CR 582 AND EPICENTER BLVD. PREPARED FOR QBA LAKELAND 61 LAND LLC CITY OF LAKELAND FLORIDA	SITE IMPROVEMENTS PLAN	KHA PROJECT 04653-0001 DATE 04-01-2025 AS SHOWN DESIGNED BY SDS DRAWN BY SDS CHECKED BY KMB		Kimley Horn <small>© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 109 SOUTH KENTUCKY AVENUE, LAKELAND FL 33801 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM REG. NO.: 35106</small>
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Report of City Commission Action on Planning and Zoning Board Recommendations

Tuesday, February 17, 2026

Meeting of February 2, 2026

NO NEW ITEMS

Meeting of January 20, 2026

Ordinances (Second Reading)

Proposed 26-001; Annual Update to the Capital Improvements Element of the Lakeland Comprehensive Plan: Our Community 2030, Including Updates to the Five-Year Schedule of Capital Improvements. (CPA25-001) Approved 7—0, Ordinance 6132