

## AGENDA

Planning & Zoning Board  
City Commission Chambers  
February 17, 2026, 8:30 a.m.

In accordance with the Americans with Disabilities Act with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service Number** 1-800-955-8770 (VOICE), for assistance.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

## PUBLIC HEARING

- ITEM 1:**
- Compatibility review to allow for the construction of an accessory dwelling unit on property located at 204 Ariana Street. Owner: Janice Horzempa. Applicant: DBR Construction LLC. (ADU25-009)
  - Consideration of final decision.
- ITEM 2:**
- Minor modification of PUD (Planned Unit Development) zoning for Publix Super Markets to amend conditions of approval pertaining to lot coverage to allow for the construction of a 24' x 18' canopy structure for a printing cooling system on property located at 2107 W. Lanier Street. Owner: Publix Super Markets Inc. Applicant: Peachee Construction. (PUD25-020)
  - Consideration of final decision.
- ITEM 3:**
- Minor modification of PUD (Planned Unit Development) zoning for Orlando Health to amend the comprehensive sign plan on property located at 4000 Lakeland Highlands Road. Owner: Orlando Health Inc. Applicant: Nathan Milch. (PUD26-006)
  - Consideration of final decision.
- ITEM 4:**
- Major modification to an existing conditional use for Blake Academy to expand the boundaries of the school campus and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking on property located at 510 Hartsell Avenue. Owner: School Board of Polk County Rosabelle W Blake Academy. Applicant: Sarah Case, Next Level Planning & Permitting. (CUP25-006) **Note: Continued from a previous meeting.**
  - Consideration of final decision.

## GENERAL HEARING

- ITEM 5:** Review minutes of the January meeting.

**ITEM 6:** Green Swamp Area of Critical State Concern Site Plan Approval for County Road 582 Storage to construct a 60,426 sq. ft. gravel parking / storage lot on property located at 3745 Old Polk City Road. Owner: GBA Lakeland 61 Land LLC Applicant: Kaitlyn Bater, Kimley-Horn and Associates, Inc. (SIT25-025)

**ITEM 7:** Report of City Commission action on Planning and Zoning Board recommendations along with Planning & Transportation Manager's Report.

ITEM 8: Audience.

ITEM 9: Adjourn.




Planning & Zoning Board General Application

General Information:									
Project No:		ADU25-009			Application Date:		12/31/2025		
Associated Projects:									
Project Name:		ADU BUILD							
Subject Property Address:		204 ARIANA ST							
Parcel ID:		232824117500046080			Total Acreage:				
Applicant Name:		DBR CONSTRUCTION LLC)							
Applicant Address:		1113 N LAKE AVE			LAKELAND		FL	33805	
Owner Name:		HORZEMPA JANICE							
Owner Address:		204 ARIANA ST			LAKELAND		FL	33803	
Request:									
Application Type:		Accessory Dwelling Unit							
Land Use									
Current		Residential Medium				(RM)			
Proposed		Not Applicable							
Zoning									
Current		Two-Family				(RB-1)			
Proposed		Not Applicable							
Sub Context District									
Current		(UNH)				Urban Neighborhood			
Proposed									
Explanation of Request:		Compatibility review to allow for the construction of an accessory dwelling unit on property located at 204 Ariana Street.							
Justification:									
Concurrency:									
Proposed Dwelling Units:		0	Project Floor Area:				Square feet		
Type of Use:					Phase			Year	
Estimate of Public Service Demand									
Roadways		Daily Trips:	#Error		PM Peak Hour Trips:				
Potable Water			GPD	Wastewater		GPD	Solid Waste		PPD



863-855-7525 

shaun@dbrconstructionllc.com 

1725 George Jenkins Blvd Ste B   
Lakeland, FL 33815

December 31 2025

## Letter of Explanation

**ADU Build - 204 Ariana St Lakeland FL 33803**

**PARCEL ID - 23-28-24-117500-046080**

The ADU being built at 204 Ariana St Lakeland FL 33803 will be used as a dwelling. A family member of the homeowner plans to reside in the ADU sometime after it is built.

Please direct all questions to Shaun Irwin with DBR Construction.

Thank you,

Shaun Irwin

GM - DBR Construction LLC








Call/Text - (863) 855-7525

shaun@dbrconstructionllc.com

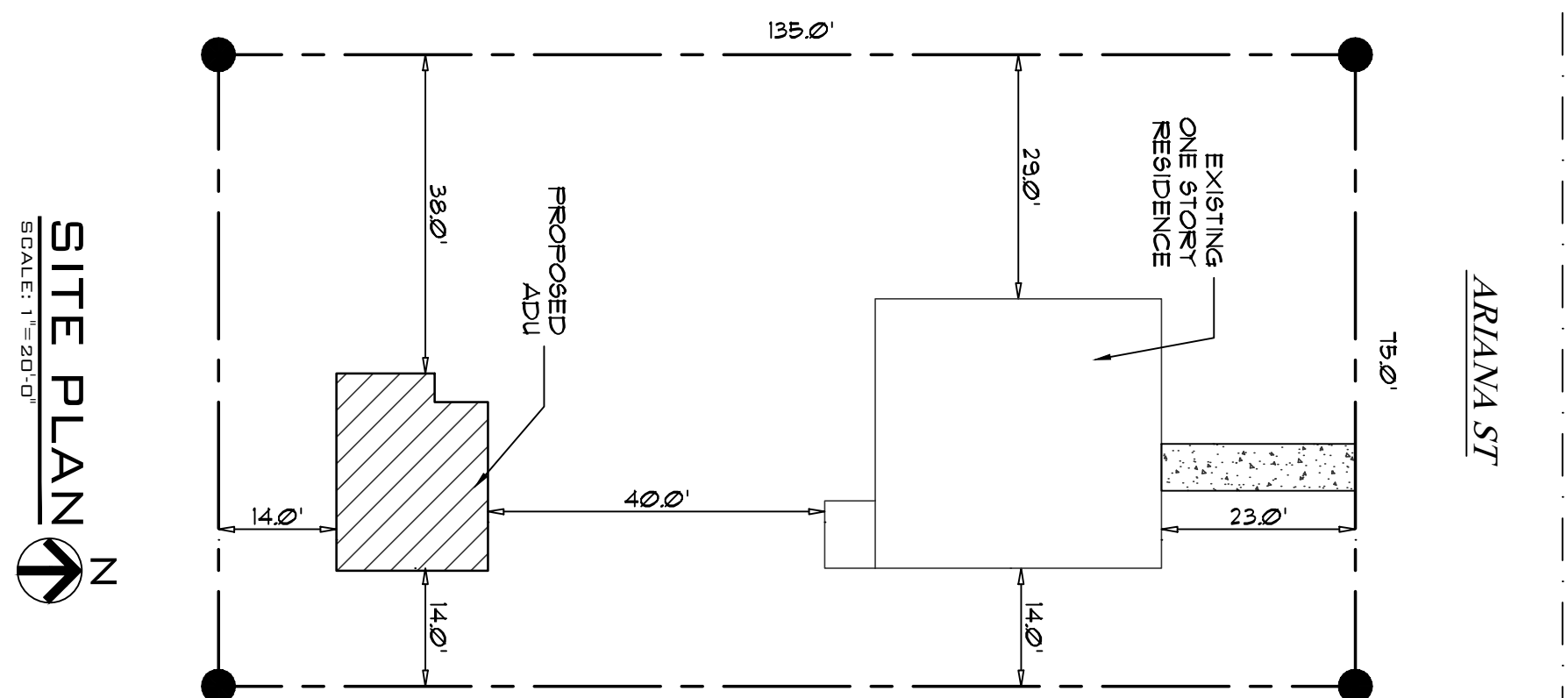


## ABBREVIATIONS

AB.	ANCHOR BOLT	ELEV.	ELEVATION
AC.	ACROPHICAL CEILING TILE	EXTER.	EXTERCENCY ENCLOSURE
AD.	ADJUSTABLE FLOOR	ENCLOSURE	ENCLOSURE
AE.	AGGREGATE	EQ.	EQUIP.
AF.	ALUMINUM	EQUIP.	EQUIPMENT
AG.	ALTERNATE	EXP.	EXPANSION
AH.	APPROXIMATE	EXT.	EXTENSION
AI.	ARCHITECTURAL		
AL.	BOARD		
AM.	BUILDING		
AN.	BLOCK		
AO.	BLOCKING		
AP.	BEAM		
AQ.	BOTTOM		
AR.	BETWEEN		
AS.	BUTIN		
AT.	BUILT UP ROOFING		
AV.	BOTH WAYS		
AW.			
AX.	CONTROL JT.		
AY.	CEILING		
AZ.	CEILING		
BA.	CEILING		
BB.	CLEAR		
BC.	CONCRETE MASONRY UNIT		
BD.	COLUMN		
BE.	CONCRETE		
BF.	CONCRETE		
BG.	CONNECTION		
BH.	CONSTRUCTION		
BI.	CONCRETE		
BJ.	CONCRETE		
BK.	CONCRETE		
BL.	CONCRETE		
BM.	CONCRETE		
BN.	CONCRETE		
BO.	CONCRETE		
BP.	CONCRETE		
BQ.	CONCRETE		
BR.	CONCRETE		
BS.	CONCRETE		
BT.	CONCRETE		
BU.	CONCRETE		
BV.	CONCRETE		
BW.	CONCRETE		
BX.	CONCRETE		
BY.	CONCRETE		
BZ.	CONCRETE		
CA.	CONCRETE		
CB.	CONCRETE		
CC.	CONCRETE		
CD.	CONCRETE		
CE.	CONCRETE		
CF.	CONCRETE		
CG.	CONCRETE		
CH.	CONCRETE		
CI.	CONCRETE		
CJ.	CONCRETE		
CK.	CONCRETE		
CL.	CONCRETE		
CM.	CONCRETE		
CN.	CONCRETE		
CO.	CONCRETE		
CP.	CONCRETE		
CQ.	CONCRETE		
CR.	CONCRETE		
CS.	CONCRETE		
CT.	CONCRETE		
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CV.	CONCRETE		
CW.	CONCRETE		
CX.	CONCRETE		
CY.	CONCRETE		
CZ.	CONCRETE		
DA.	CONCRETE		
DB.	CONCRETE		
DC.	CONCRETE		
DD.	CONCRETE		
DE.	CONCRETE		
DF.	CONCRETE		
DG.	CONCRETE		
DH.	CONCRETE		
DI.	CONCRETE		
DJ.	CONCRETE		
DK.	CONCRETE		
DL.	CONCRETE		
DM.	CONCRETE		
DN.	CONCRETE		
DO.	CONCRETE		
DP.	CONCRETE		
DQ.	CONCRETE		
DR.	CONCRETE		
DS.	CONCRETE		
DT.	CONCRETE		
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DV.	CONCRETE		
DW.	CONCRETE		
DX.	CONCRETE		
DY.	CONCRETE		
DZ.	CONCRETE		
EA.	CONCRETE		
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EI.	CONCRETE		
EJ.	CONCRETE		
EK.	CONCRETE		
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EV.	CONCRETE		
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FO.	CONCRETE		
FP.	CONCRETE		
FQ.	CONCRETE		
FR.	CONCRETE		
FS.	CONCRETE		
FT.	CONCRETE		
FU.	CONCRETE		
FV.	CONCRETE		
FW.	CONCRETE		
FX.	CONCRETE		
FY.	CONCRETE		
FZ.	CONCRETE		
GA.	CONCRETE		
GB.	CONCRETE		
GC.	CONCRETE		
GD.	CONCRETE		

SYMBOLS LEGEND	
 NUMBERED SHEET SECTION APPEARS	 CONCRETE
 NUMBERED SHEET DETAIL APPEARS	 EARTH FILL
 ELEV. NUMBER SHEET NUMBER	 ELEVATION MARKER
 CENTER LINE	

PROJECT  
PROPOSED ACCESSORY DWELLING UNIT AT  
204 ARIANA ST,  
LAKE LAND, FL. 33803



DRAINING INDEX	
SHEET	DESCRIPTION
C1	COVER SHEET, SITE PLAN
A1	FOUNDATION PLAN, DETAILS
A2	FLOOR PLAN
A3	ROOF PLAN
A4	ELEVATIONS
A5	SECTION & SHEATHING PATTERN
A6	DETAILS
E1	ELECTRICAL PLAN

## STRUCTURAL NOTES

GENERAL:

1. All work to be of stick construction with the Florida Building Code Residential, 2023, 8th edition.
2. Any unit area changes approved by the Engineer shall be permitted.
3. General Contractor shall coordinate structural drawings with all others disciplines, there are conflicts in information presented in the drawings or if the drawings are unclear or insufficient, in any manner that may inhibit the contractor's understanding of the project, such conflicts shall be brought to the Engineer's attention prior to bidding and the necessary adjustments shall be made per his instructions.
4. Provide hurricane clips or anchors at all connections.
5. All wood framing shall be designed detailed and fabricated in accordance with design specification for wood construction.
6. For structural lumber provide the following grade and species: (or equivalent):
  - a. Southern Pine grade #1, dense with no #50000 in.
7. All bolts used for construction shall be a min. of 1/2" diam. (ASTM A-307).
8. Provide framing members of sizes and of spacing shown, if not shown, comply with the Manual for House Framing of the National Forest Products Association. Do not splice between supports.

CONCRETE:

- All work to be in strict accordance with the ACI 318  
: MIX DESIGN CRITERIA. Refer to the specifications.  
All concrete Type I Portland Cement, (ASTM C 150), 3000 psi compressive  
strength @ 28 days. (NON) W/C ratio less or equal to 0.58  
Slump - 5" slab on grade: 5"  
per. 3"

- Provide normal weight aggregates in compliance with the requirements of ASTM C 33.

5. All concrete reinforcement shall be detailed, fabricated, labeled, supported and spaced in forms and secured in place in accordance with the procedures outlined in the latest edition of the "Building Code Requirements for Reinforced Concrete" ACI 318-95 and the "Manual of Standard Practice for Detailing Reinforced Concrete Structures" ACI 315 latest edition.
6. All bar splices and dowels shall lap as per requirements of ACI 318-95.

MASONRY

- Design, material and workmanship shall be in accordance with the ACI Standard Building Code requirements for concrete masonry structures. ACI 308.0R-90 (308).
1. All masonry shall be made of concrete blocks shall be grouted with 100% grout (100% grout).
2. All masonry shall be made of concrete blocks shall be grouted with 100% grout (100% grout).
3. Provide HORIZONTAL JOINT REINFORCING AT 3/4" @ 8" vertical in all CMU walls.
4. Concrete blocks shall be grouted to ASTM C-582 (75 days strength (2800 psi) (f'm=6000 psi) and in running bond.
5. Mortar shall be type S or M.
6. Provide vertical reinforcing in CMU walls of 1/4" at 4'-0" max. O.C. (typical ION).

## FOUNDATIONS:

1. Footing design based on minimum allowable soil bearing pressure of 2000 psi.
2. If footing elevation occurs in disturbed, unstable or unsuitable soil, the Engineer shall be notified and necessary adjustments shall be made per the instructions.
3. Caution shall be used when operating vibratory compaction equipment near existing structures to avoid the risk of damaging the existing structure.

### VERIFICATION OF FIELD CONDITIONS:

1. Contractor shall verify all field conditions and dimensions relative to same, where there are conflicts between actual field conditions and data presented in the drawings, such conditions shall be called to the Engineer's attention and necessary adjustments made per their instructions.
2. If there are any discrepancies between these Structural Notes and the Specifications, the stricter of the two shall govern.

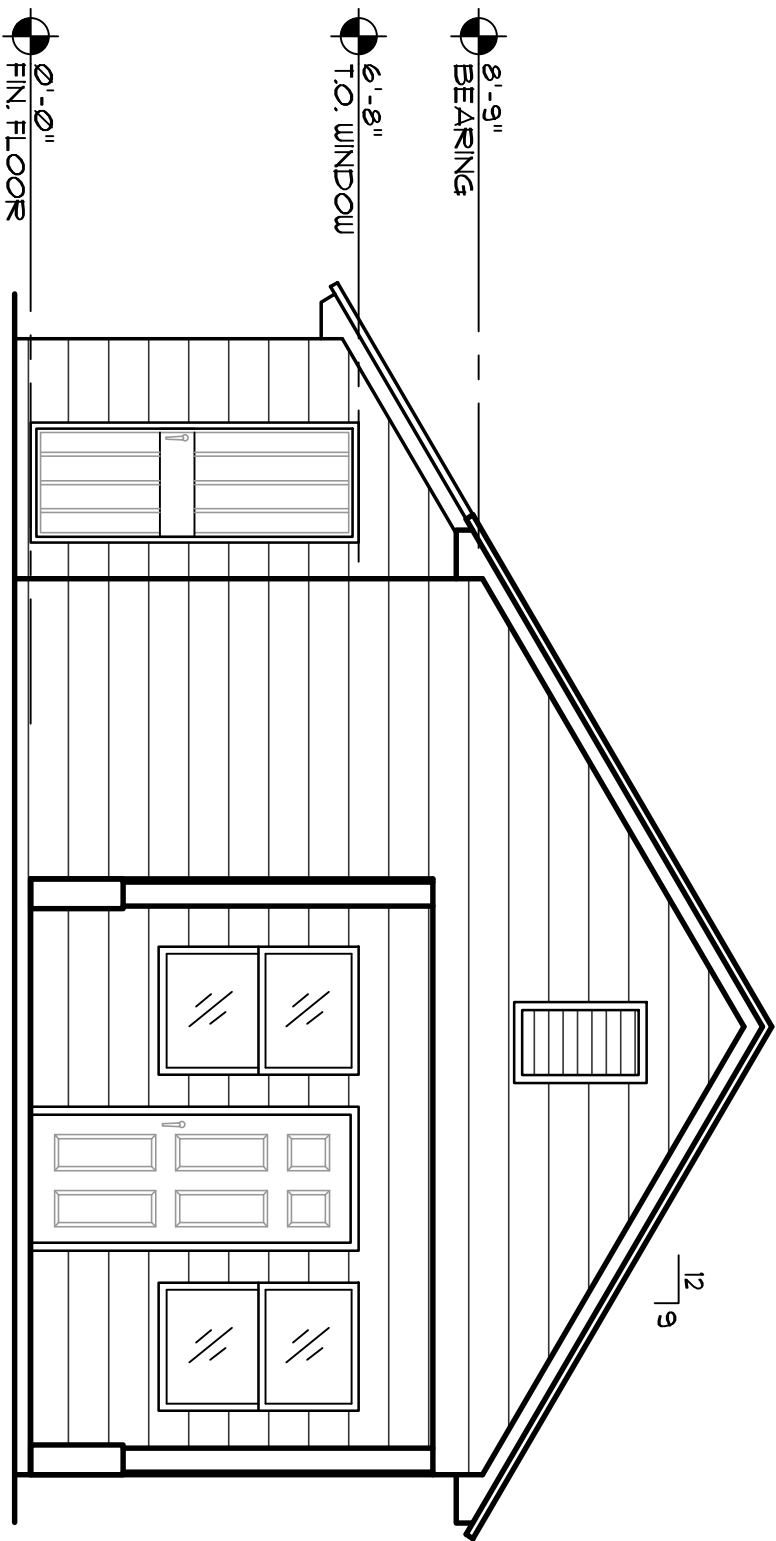
**WIND DESIGN DATA:**

1. ULTIMATE DESIGN WIND SPEED: 140 MPH
2. NOMINAL DESIGN WIND SPEED: 100 MPH
3. RISK CATEGORY: II
4. EXPOSURE CATEGORY: C
5. DESIGN PRESSURE COEFFICIENT (INTERNAL COMPONENTS):  $\pm 0.16$
6. DESIGN PRESSURE COEFFICIENT (CLADDING):  
- ROOF:  $\pm 0.16$  /  $\pm 0.23$  / Pgf  
- WALLS:  $\pm 0.37$  /  $\pm 0.67$  / Pgf



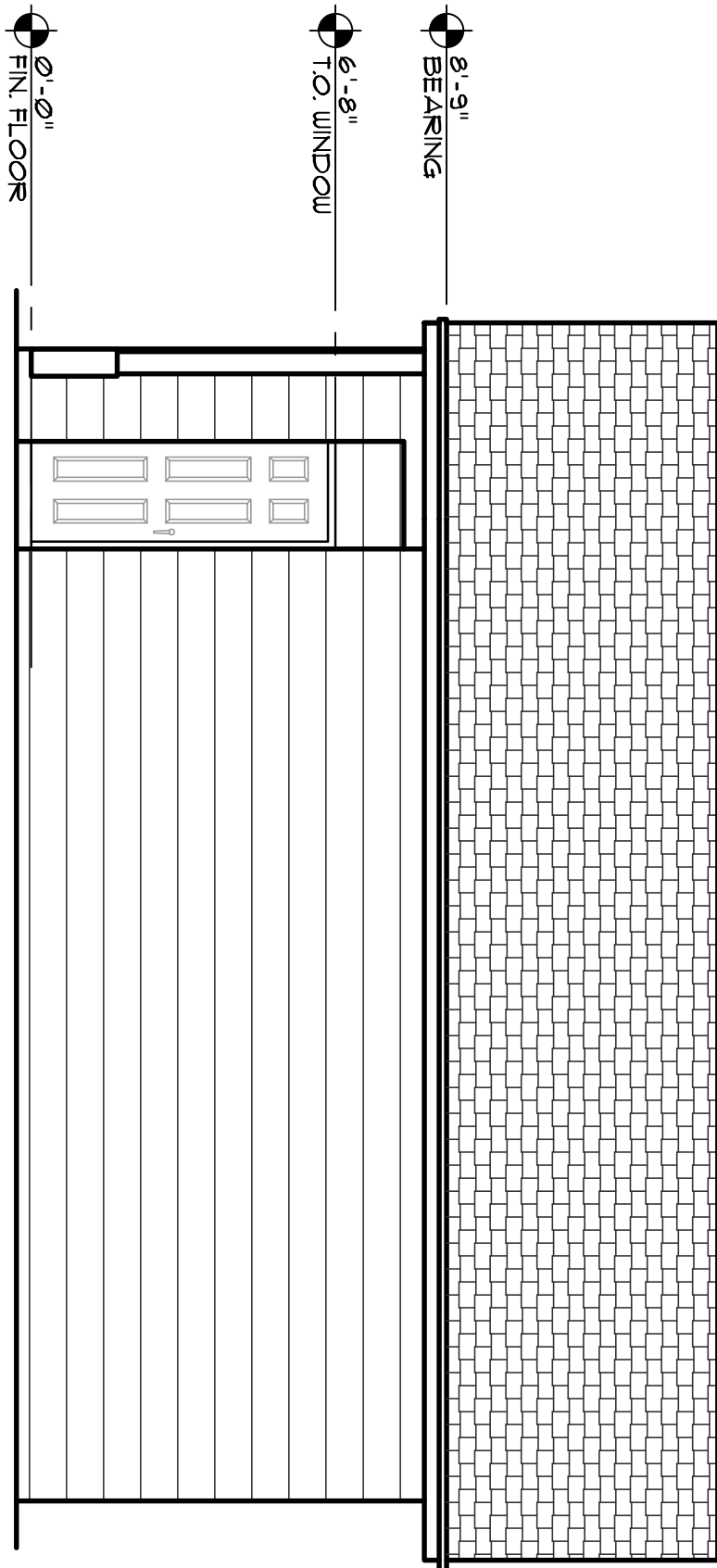
202 DORIS DRIVE SUITE 103  
LAKELAND, FL 33813  
PH. (863) 667-0500  
FAX. (863) 667-0501  
www.orbengineering.com

This item has been electronically signed and sealed by Julio Ortegaoso P.E. on the Date and/or Time Stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signatures must be verify on any electronic copies.



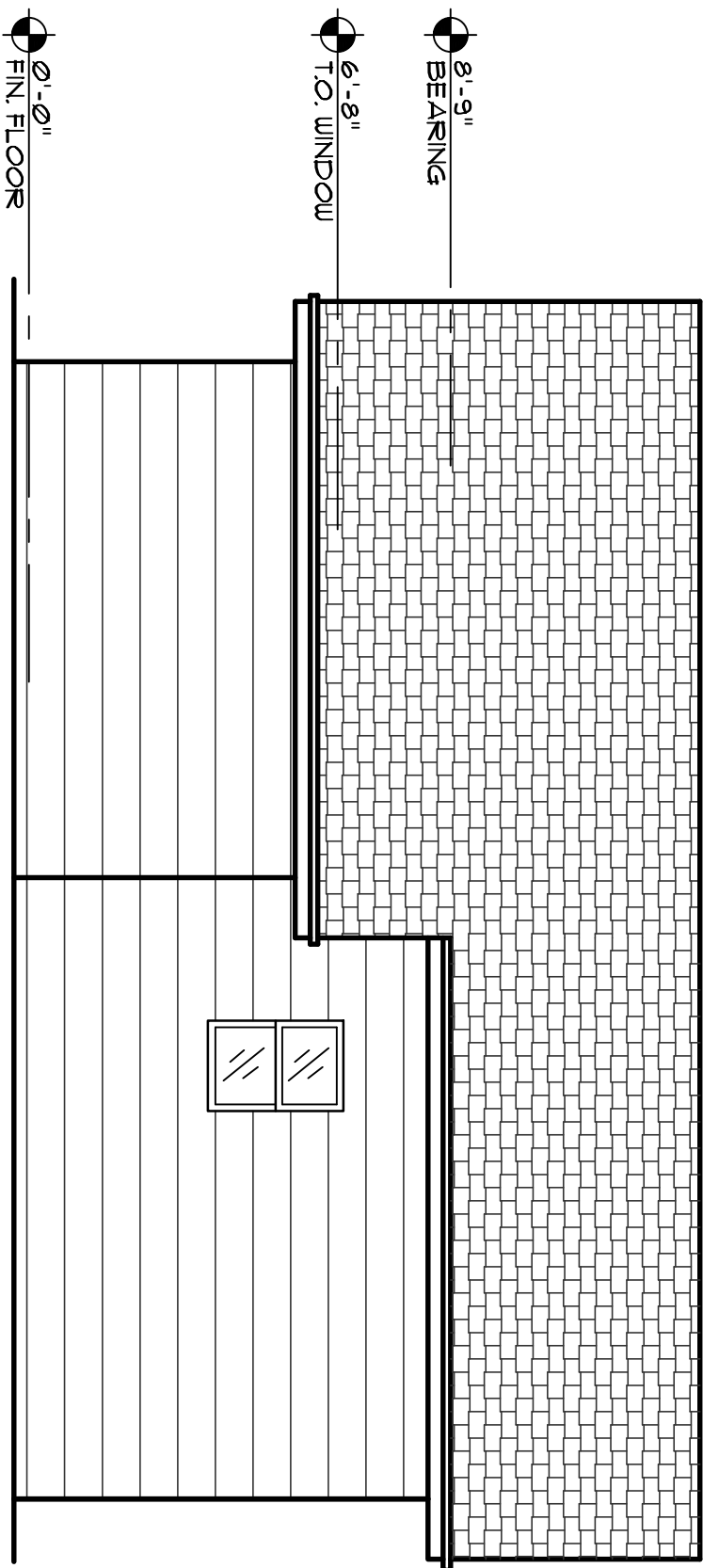
FRONT ELEVATION

SCALE: 1/4"=1'-0"



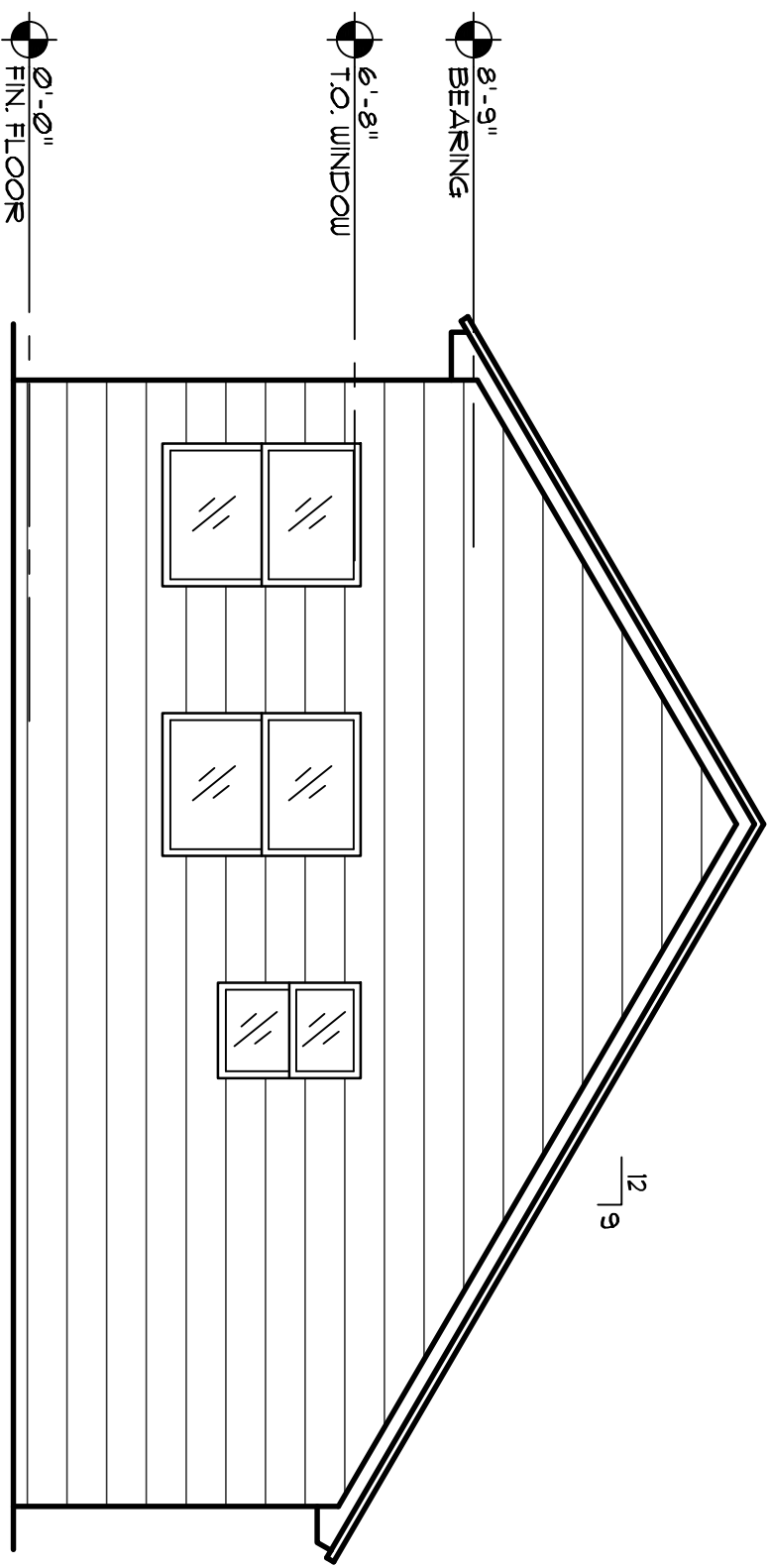
RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



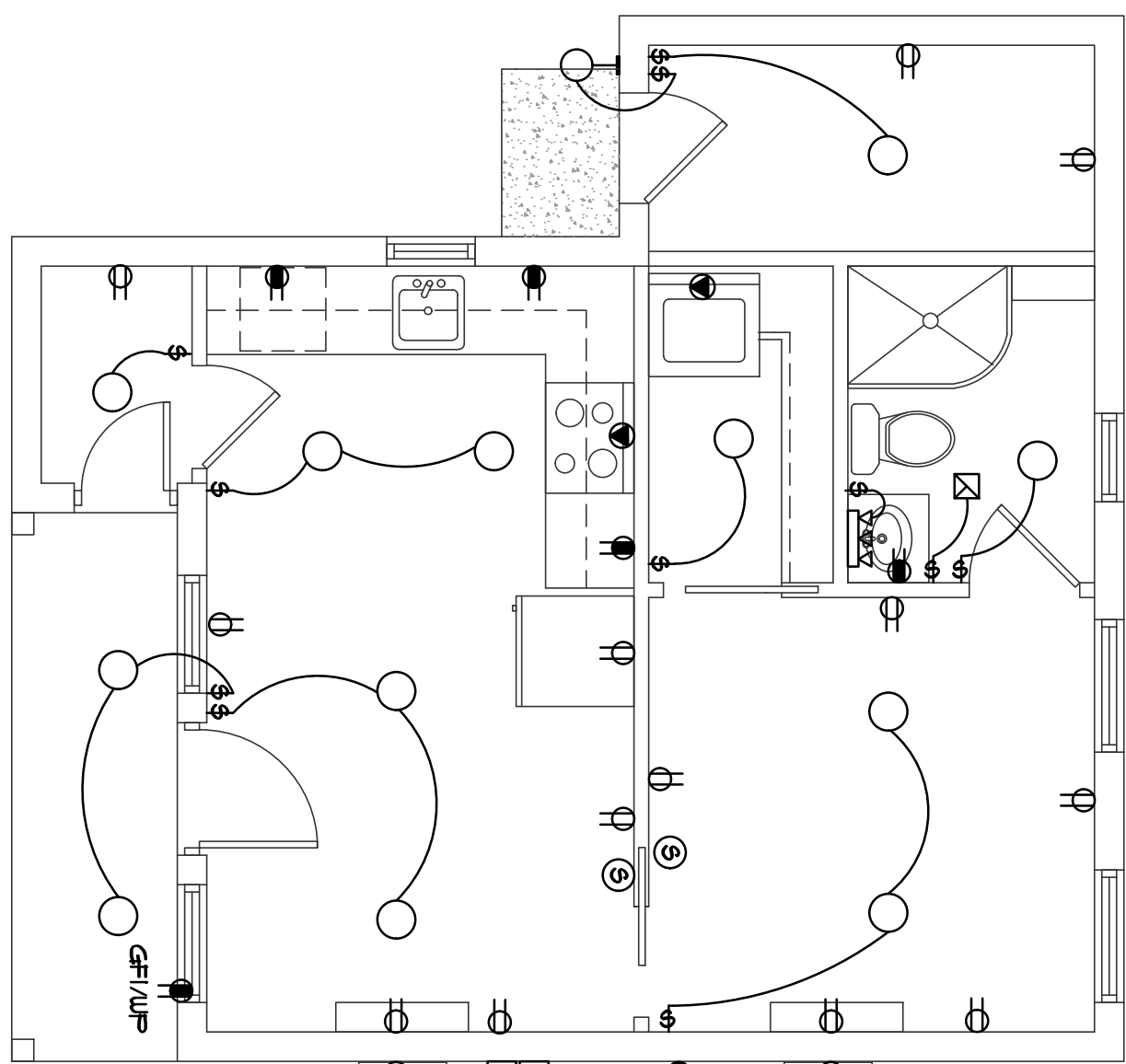
LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



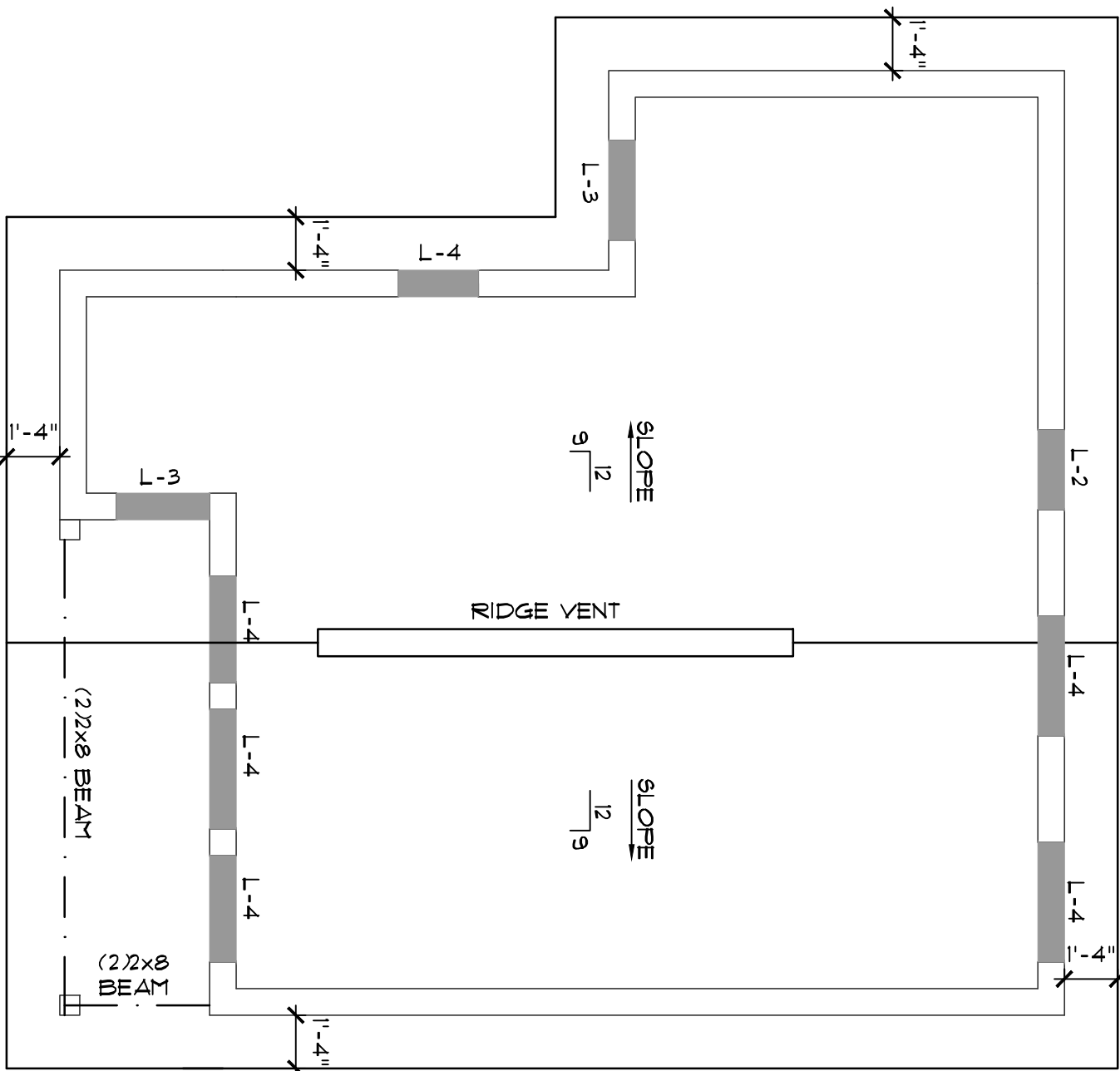
REAR ELEVATION

SCALE: 1/4"=1'-0"



ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/4"=1'-0"

SYMBOL	ELECTRICAL LEGEND
	FAN LIGHT
	LIGHTING FIXTURE
	PENDANT LIGHT
	VANITY LIGHT
	SWITCH 600V AFF
	120V RECEPTACLE 60V AFF
	EXHAUST FAN
	220V DISCONNECT
	ELECTRICAL PANEL
	SMOKE DETECTOR

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC 2020.
- ALL 120V SINGLE PHASE 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY ROOM, DINING ROOM, LIVING ROOM, BEDROOMS AND HALLWAYS SHALL BE PROTECTED BY A LISTED AFCI-FULL CIRCUIT INTERRUPTER COMBINATION TYPE (NFI) CIRCUIT BREAKER.
- SMOKE DETECTORS SHALL BE EQUIPPED WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED.

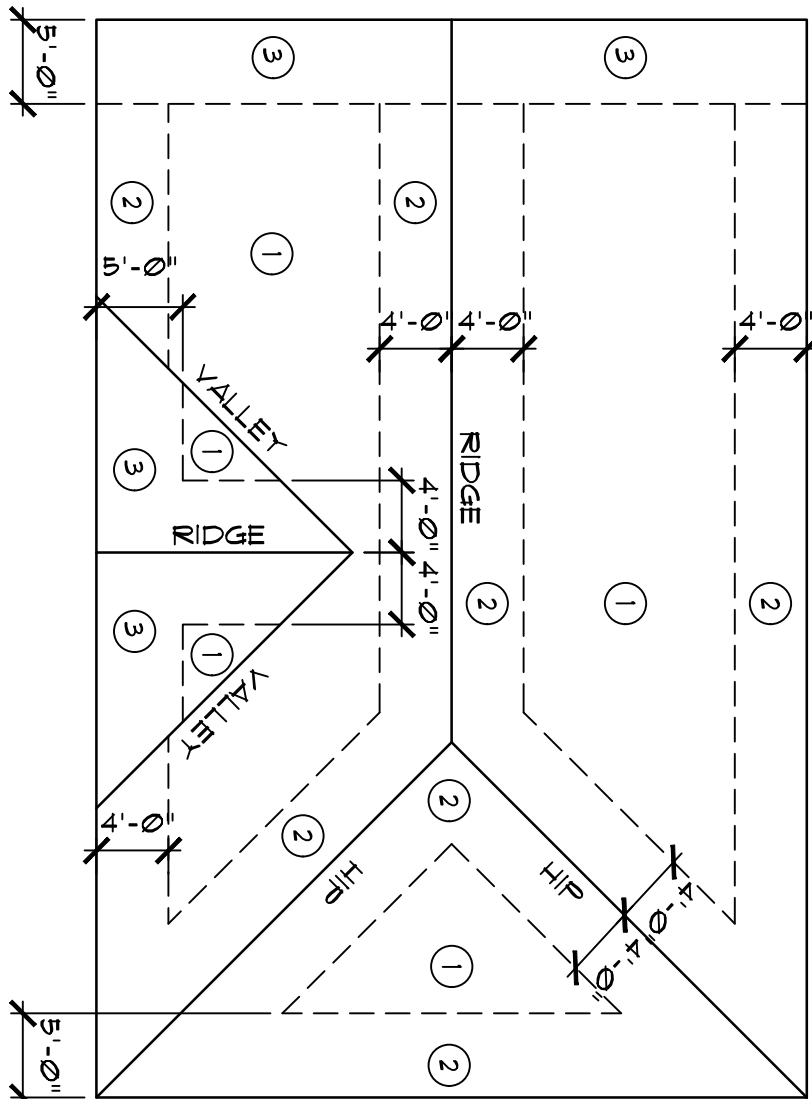
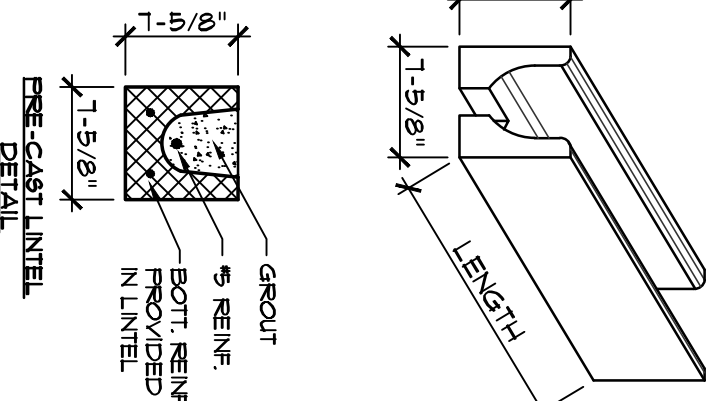
ROOF CONNECTOR SCHEDULE	
TRUSS TO UP/LIFT	HEAT20
MASONRY FASTENERS	180 LB.
PROD NO	16-1024-1/2" TO TRUSS
UP/LIFT	MT316
TRUSS TO MASONRY FASTENERS	860 LB.
PROD NO	171004 TO TRUSS (1/4"x2-1/4") TIE TO CHU
UP/LIFT	LG1-2
GIRDER TO MASONRY FASTENERS	2180 LB.
PROD NO	161604 SINKER TO GIRDER (1/4"x2-1/4") TIE TO CHU
UP/LIFT	LG1-2
GIRDER TO FRAME	2080 LB.
FASTENERS	141/4" SINKER TO STUD
PROD NO	161604 SINKER TO GIRDER
UP/LIFT	1140 LB.
TRUSS TO FRAME	1000 LB.
PROD NO	141004 TO TRUSS (1/4"x2-1/4") TIE TO FRAME
UP/LIFT	107136
TRUSS TO FRAME	1810 LB.
PROD NO	131004 TO TRUSS (1/4"x2-1/4") TIE TO CHU
UP/LIFT	157136
FRAME TO MASONRY STRAP FASTENERS	16140 LB.
PROD NO	16140 NAIL S
UP/LIFT	16140 LB.
FRAME TO STRAP FASTENERS	16140 NAIL S

LINTEL SCHEDULE

TYPE	CLEAR SPAN	LENGTH
L-1	1'-6"	3'-10"
L-2	2'-2"	3'-6"
L-3	2'-0"	4'-0"
L-4	3'-2"	4'-6"
L-5	4'-0"	5'-4"
L-6	4'-6"	5'-10"
L-7	5'-2"	6'-6"
L-8	6'-2"	7'-6"
L-9	7'-0"	8'-4"
L-10	8'-0"	9'-4"
L-11	9'-2"	10'-6"
L-12	10'-0"	11'-4"
L-13	11'-2"	12'-6"
L-14	12'-0"	13'-4"
L-15	12'-4"	14'-0"
L-16	13'-4"	14'-8"
L-17	14'-0"	15'-4"
L-18	16'-0"	17'-4"

ROOF NOTE:

REFER TO TRUSS ENGINEERING PACKAGE FOR TRUSS IDENTIFICATION & ADDITIONAL INFORMATION



ROOF SHEATHING NAILING PATTERN

SCALE: NTS.

GENERAL ROOF NOTES:

- NAILING ZONE SHEATHING SHALL BE FASTENED TO ROOF W/8 COMMON OR 8d HOT DIPPED GALVANIZED BOX NAILS.
- ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D225 OR ASTM D3462.
- FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, 1/2 GA MIN. SHANK W/3/8" MIN HEAD OR A LENGTH TO PENETRATE THROUGH THE ROOFING SHEATHING 6 LBS 7/16" THICK. THE NAILS SHALL PENETRATE THROUGH THE SHEATHING.
- ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER SHINGLE SHALL COMPLY WITH ASTM D225.

THESE DRAWINGS ARE THE PROPERTY OF ORB ENGINEERING INC. AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ORB ENGINEERING INC. IS PROHIBITED AND MAY BE SUBJECT TO LITIGATION FOR DAMAGES FROM ORB ENGINEERING INC.

REVISIONS

DATE / ISSUE

NEW HOME PROJECT FOR AT  
204 ARIANA ST,  
LAKELAND, FL 33803

PROJECT

DRAWING A2

DRAWN JIMMY

CHECK JULIO

PROJECT NO. 2124.1

DATE 12-18-25



202 DORIS DRIVE SUITE 103  
LAKELAND, FL 33813  
PH. (863) 667-0500  
FAX. (863) 667-0501  
www.orbengineering.com

This item has been electronically signed and sealed by Julio Ortega P.E. on the Date 12/18/25. The digital signature is located at the bottom of the page. The digital signature must be verified on any electronic copies.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF ORB ENGINEERING INC., DEVELOPED FOR THE EXCLUSIVE USE OF ORB ENGINEERING INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF ORB ENGINEERING INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM ORB ENGINEERING INC.

XX-XX-XX

## REVISIONS —

DATE | ISSUE

NEW HOME PROJECT FOR AT  
204 ARIANA ST,  
LAKELAND, FL 33803

PROJECT \_\_\_\_\_

**A1**

**DRAWING**

                    JIMMY                      
DRAWN

JULIO         
CHECK

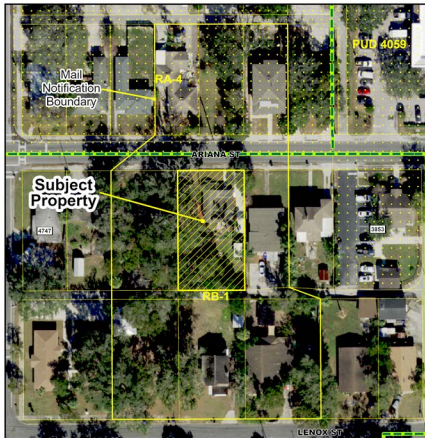
2124.1  
PROJECT NO. \_\_\_\_\_

DATE 12-18-25



202 DORIS DRIVE SUITE 103  
LAKELAND, FL 33813  
PH. (863) 667-0500  
FAX. (863) 667-0501  
[www.orbengineering.com](http://www.orbengineering.com)

This item has been electronically signed and sealed by Julio Orbogoso P.E. on the Date \_\_\_\_\_ and/or Time Stamp shown using a digital signature.  
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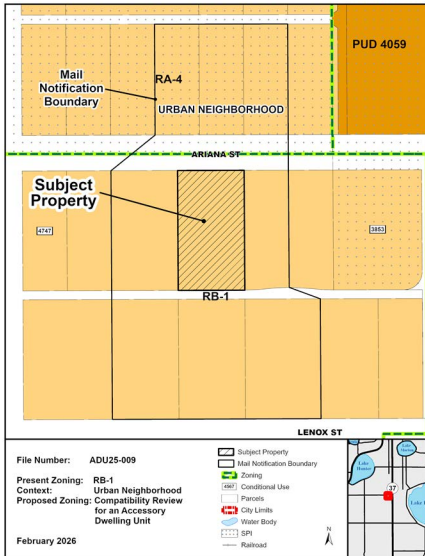
**File Number:** ADU25-009

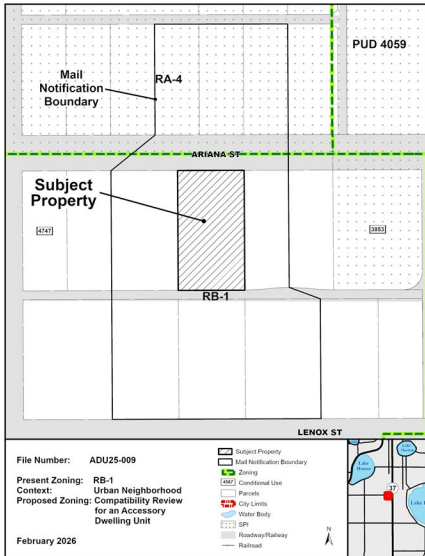
**Present Zoning:** RB-1  
**Context:** Urban Neighborhood  
**Proposed Zoning:** Compatibility Review  
 for an Accessory  
 Dwelling Unit

February 2026

- Subject Property
- Mail Notification Boundary
- Zoning
- Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Railroad









228 S Massachusetts Avenue  
Lakeland FL 33801  
planning@lakelandgov.net

January 30, 2026

RE: 204 Ariana Street - Project No. ADU25-009

Dear Property Owner:

This letter is to advise you that DBR Construction LLC., on behalf of Janice Horzempa, requests a compatibility review to allow for the construction of an accessory dwelling unit on property located at 204 Ariana Street. The subject property is legally described as follows:

DIXIELAND PB 1 PG 67 BLK T LOT 8 & E1/2 OF LOT 9

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, February 17, 2026**, in the Lakeland Electric Building rooms 1A/B, 501 E. Lemon Street. As an owner of property adjacent to this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing or you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the February 17<sup>th</sup> meeting.

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THIS IS A COURTESY LETTER NOT REQUIRED BY LAW

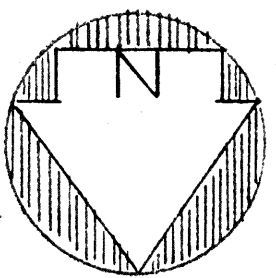




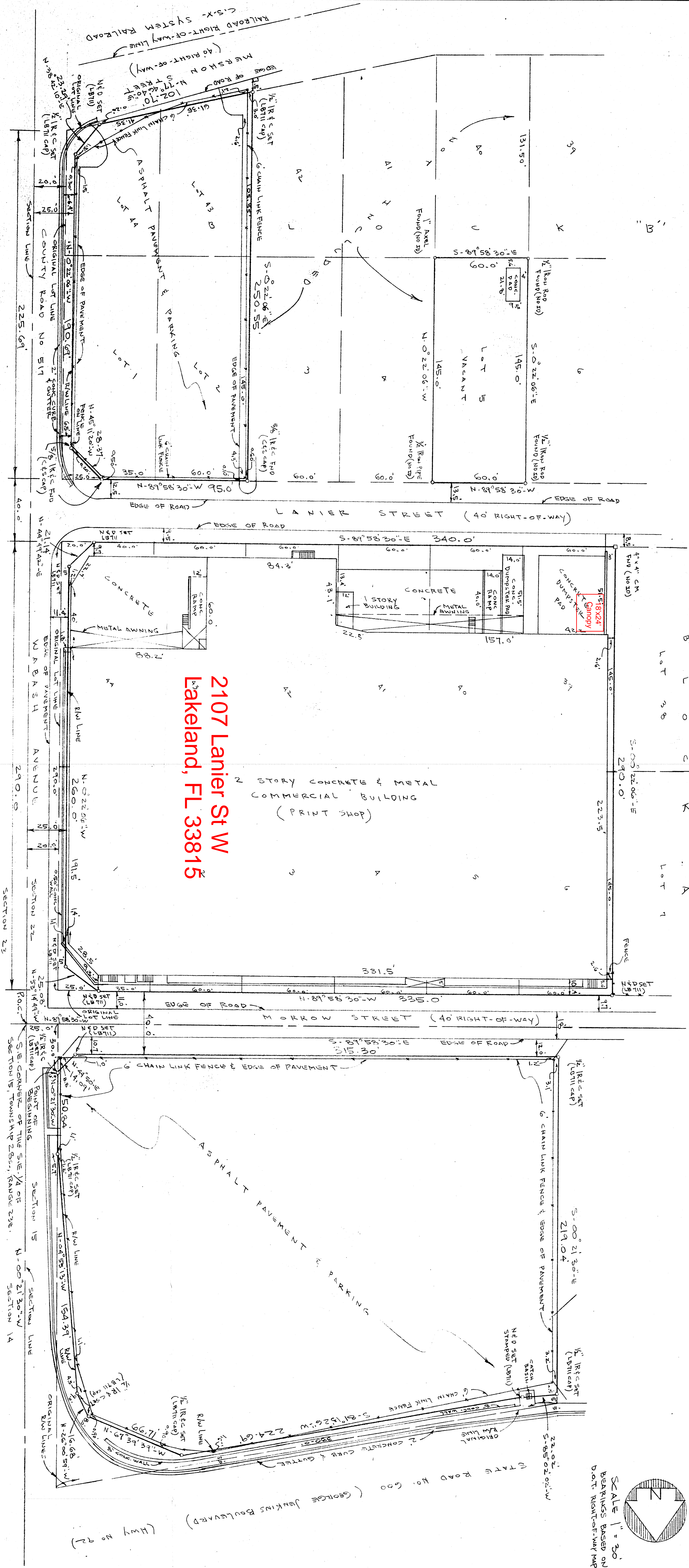
## Planning & Zoning Board General Application

General Information:											
Project No:		<a href="#">PUD25-020</a>			Application Date:		12/12/2025				
Associated Projects:											
Project Name:		PSM PRINT SHOP CHILLER SHADE STRUCTURE									
Subject Property Address:		2107 LANIER ST W									
Parcel ID:		232822094000001010			Total Acreage:		2.2				
Applicant Name:		PEACHEE CONSTRUCTION									
Applicant Address:		6205 NEW TAMPA HWY			LAKELAND		FL		33815		
Owner Name:		PUBLIX SUPER MARKETS INC									
Owner Address:		PO BOX 32018			LAKELAND		FL		33802		
Request:											
Application Type:		Planned Unit Development				Minor Modification					
Land Use											
Current		Business Park				(BP)					
Proposed		Not Applicable									
Zoning											
Current		Planned Unit Development				(PUD) 4354					
Proposed		Not Applicable									
Sub Context District											
Current		(SSP)				Suburban Special Purpose					
Proposed											
Explanation of Request:		Furnish and install free standing 24'x18' shade structure to cover new chillers for printers									
Justification:		The OEM (Original Equipment Manufacturer) for the new chiller units recommends that the units be protected from the weather. The canopy will not be attached to the existing building and will be installed over the existing concrete slab.									
Concurrency:											
Proposed Dwelling Units:		0		Project Floor Area:				Square feet			
Type of Use:					Phase		Year				
Estimate of Public Service Demand											
Roadways		Daily Trips:		#Error		PM Peak Hour Trips:		120			
Potable Water		3000		GPD		Wastewater		2550		GPD	
						Solid Waste		2000		PPD	





SCALE 1" = 30'  
BEARINGS BASED ON  
D.A.T. RIGHT-OF-WAY MAP



2107 Lanier St W  
Lakeland, FL 33815

DESCRIPTION

LOTS 1 THROUGH 6 AND LOTS 39 THROUGH 44 OF BLOCK "A" AND LOTS 1, 2, 3, 5, 43 AND 44 OF BLOCK "B" ALL BEING IN OKAS ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 6 OF THE PUBLIC RECORDS OF POLK COUNTY, FLORIDA, LESS AND EXCEPT RIGHTS-OF-WAY AND

SECTION 15, TOWNSHIP 28S., RANGE 23E., RUN NORTH TO SOUTH BOUNDARY LINE OF STATE HWY. 17, RUN SOUTHWESTERLY ALONG SOUTH BOUNDARY LINE 330.0 FEET, RUN SOUTH TO SOUTH LINE OF SECTION, MORE FULLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 28S., RANGE 23E., POLK COUNTY, FLORIDA, RUN THENCE N-89°58'30"-W, ALONG THE SOUTH LINE THEREOF A DISTANCE OF 25.0 FEET, RUN THENCE N-00°21'30"-W, AND PARALLEL WITH THE EAST LINE OF SAID SECTION 15 A DISTANCE OF 30.0 FEET TO A POINT ON THE RIGHT-OF-WAY LINE FOR WABASH AVENUE ALSO BEING THE POINT OF BEGINNING FOR THIS DESCRIPTION, CONTINUE THENCE ALONG THE RIGHT-OF-WAY LINES OF WABASH AVENUE AND STATE ROAD NO. 600 (BEING JENKINS BLVD.) TO THE SOUTHWEST CORNER OF SAID SECTION 15, BEING THE INTERSECTION OF SAID LINES, BEING THE POINT OF BEGINNING FOR THIS DESCRIPTION, CONTINUE THENCE S-89°58'30"-W, 22.02 FEET, RUN THENCE S-00°21'30"-E, AND PARALLEL WITH THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 15 A DISTANCE OF 219.04 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF MORROW STREET, RUN THENCE S-89°58'30"-E, ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 315.30 FEET, TO A POINT THAT LIES S-44°30'-W, AND A DISTANCE OF 14.09 FEET FROM THE POINT OF BEGINNING, CONTINUE THENCE ALONG THE RIGHT-OF-WAY LINE FOR MORROW STREET N-44°30'-E, A DISTANCE OF 14.09 FEET TO THE POINT OF BEGINNING.

TYPE OF SURVEY: Boundary & Improvement Location  
BEARINGS BASED ON D.O.T. RIGHT-OF-WAY MAPS  
SECTION NO. 16010-2311

SURVEYOR'S NOTE:  
THIS OFFICE OF SURVEYOR HAS NOT ABSTRACTED THIS PARCEL FOR ANY RECORDED CLAIMS OF EJECTA, EASEMENTS, RIGHTS-OF-WAY OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON UNLESS OTHERWISE INDICATED BY RECORDED PLAT OR DOCUMENT AS SHOWN AND FURNISHED BY CLIENT. NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.

CERTIFICATE

THIS CERTIFIES that a survey of the herein described property was made under my direction and that the sketch shown and report thereon were prepared by me or under my direct supervision and that it meets the minimum technical standards set forth by the Florida Board of Professional Land Surveyors in Chapter 61C17-6, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

EDWARDS-PANTER SURVEYING, INC. (LB 7111)

BY *Charles S. Edwards*  
Charles S. Edwards, P.S.N. 2156  
Gerald C. Edwards, P.S.N. 2703

NOT VALID WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

According to the Flood Insurance Rate Map (FIRM) this property is shown to be in Zone C.

LEGEND:

CON - Concrete Monument  
IP - Iron Pipe  
IRK - Iron Rod and Cap  
RKS - Railroad Spike  
NSF - Nail and Flasher  
SSD - Nail and Disk  
BN - Drill Hole  
P.O.B. - Point of Beginning  
P.O.C. - Point of Commencement  
TYP - Typical

R/W - Right-of-way  
Conc. - Concrete  
DA - Delta (Central Angle)  
R - Radius  
L - Length of Arc  
CL - Centerline  
BN - Benchmark  
P.O.B. - Point of Beginning  
P.O.C. - Point of Commencement  
TYP - Typical

EDWARDS - PANTER SURVEYING INC.			
1520 COMMERCIAL PARK DRIVE		LAKELAND, FLORIDA	
APPROVED BY:		DRAWN BY:	
		A.T.H.	
DATE: FIELD SURVEY		DATE: FEBRUARY 17, 1995	
REVISED:		JOB NO. 31107	



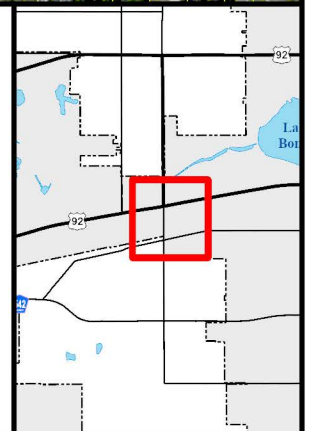


File Number: PUD25-020

Present Zoning: PUD 4354  
 Present Context: Suburban Special Purpose  
 Proposed Zoning: Minor Modification of PUD Zoning  
 for Publix Supermarkets to Allow a  
 Free-Standing Shade Structure for  
 a Printing Cooling System

February 2026

- Subject Property
- Area of Change
- 500 Foot Mail Notification Boundary
- Zoning
- 4567 Conditional Use
- Parcels
- City Limits
- Water Body
- Railroad
- SPI











228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

January 30, 2026

RE: 2107 W. Lanier Street - Project No. PUD25-020

Dear Property Owner:

This letter is to advise you that Peachee Construction, on behalf of Publix Super Markets Inc., requests a minor modification of PUD (Planned Unit Development) zoning to amend conditions of approval pertaining to lot coverage to allow for the construction of a 24' x 18' canopy structure for a printing cooling system on property located at 2107 W. Lanier Street. The subject property is legally described as follows:

OAKS ADD PB 6 PG 6 BLK A LOTS 1 THRU 6 & 39 THRU 44

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, February 17, 2026**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 500 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the February 17<sup>th</sup> meeting.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

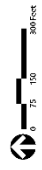
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## Planning & Zoning Board General Application

General Information:										
Project No:		<a href="#">PUD26-006</a>			Application Date:		2/3/2026			
Associated Projects:										
Project Name:		ORLANDO HEALTH LAKELAND HIGHLANDS HOSPITAL - SIGNAGE UPDATE								
Subject Property Address:		4000 LAKELAND HIGHLANDS RD								
Parcel ID:		242904273502000010			Total Acreage:		76.98			
Applicant Name:		NATHAN MILCH								
Applicant Address:		1414 KUHL AVE.			ORLANDO		FL		32806	
Owner Name:		ORLANDO HEALTH INC								
Owner Address:		1414 KUHL AVE			ORLANDO		FL		32806	
Request:										
Application Type:		Planned Unit Development				Minor Modification				
Land Use										
Current		Office Center				(OC)				
Proposed		Not Applicable								
Zoning										
Current		Planned Unit Development				(PUD) 5839				
Proposed		Not Applicable								
Sub Context District										
Current										
Proposed										
Explanation of Request:		Minor modification of PUD (Planned Unit Development) zoning for Orlando Health to amend the comprehensive sign plan on property located at 4000 Lakeland Highlands Road								
Justification:										
Concurrency:										
Proposed Dwelling Units:		0		Project Floor Area:				Square feet		
Type of Use:					Phase				Year	
Estimate of Public Service Demand										
Roadways		Daily Trips:		#Error		PM Peak Hour Trips:		0		
Potable Water		0		GPD		Wastewater		0		
						Solid Waste		0		
								PPD		

# ATTACHMENT "C"



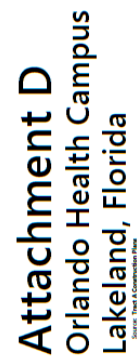
- Legend**
- PROPERTY BOUNDARY
  - TRACT BOUNDARY
  - PROPERTY BOUNDARY
  - PROPERTY BOUNDARY
  - PROPERTY BOUNDARY



**Attachment C**  
**Orlando Health Campus**  
**Lakeland, Florida**

Prepared by: VHB  
 Date: 08/04/2024

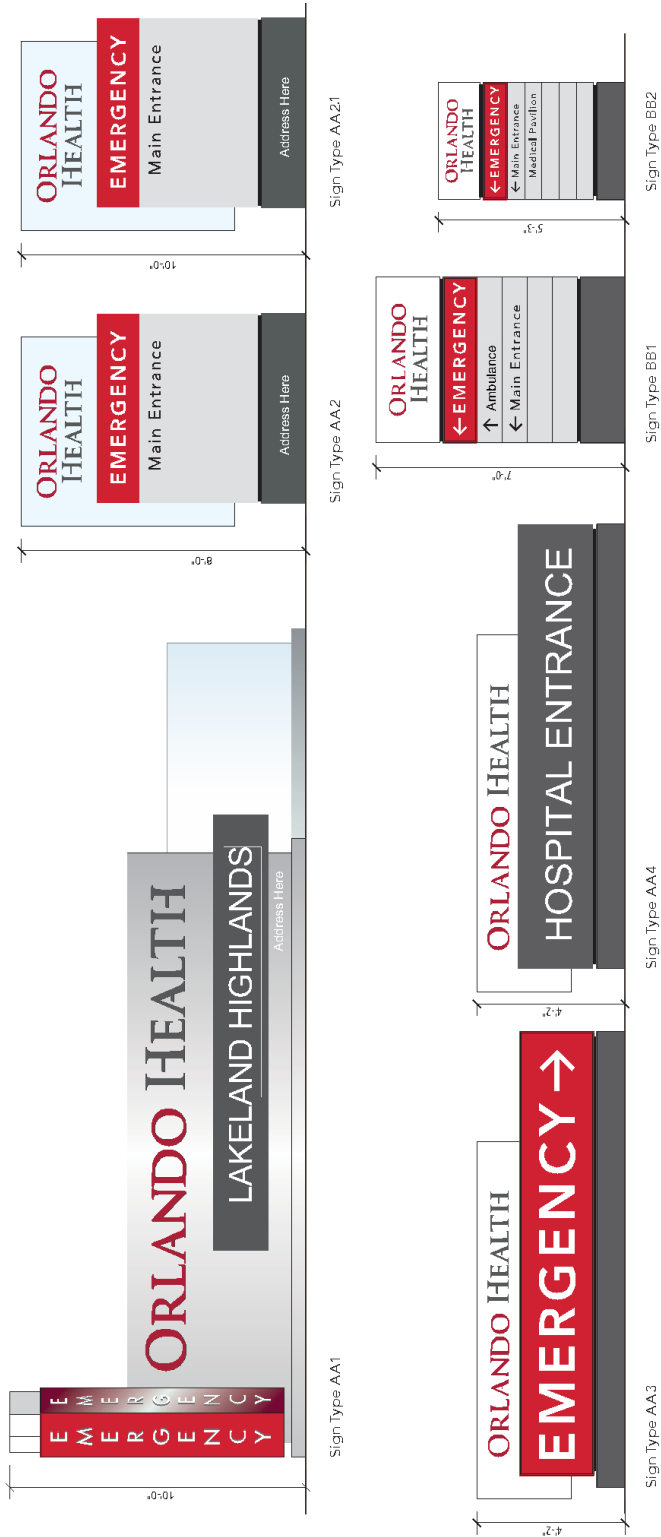




Sign Table		Sign Type	Function	Sign Height	Sign Top	Quantity	Total Area (ft <sup>2</sup> )
AA1		Primary Tripod Camera Identification Movement	10'-0"	200x200	2	41000	
AA2		Identification/Directional Movement	10'-0"	600x30	3	18000	
AA3		Identification/Directional Movement	10'-0"	600x30	3	18000	
AA4		Warning Movement	6'-0"	600x30	3	18000	
BB1		Directional Movement (Large)	7'-0"	200x50	3	7100	
BB2		Directional Movement (Small)	5'-0"	120x50	3	2100	
BB3		Directional Movement (Small)	5'-0"	120x50	3	2100	
CC1		Building Identification Sign	6'-0"	500x100	1	66000	
CC2		Building Identification Sign	6'-0"	240x50	1	24050	
CC3		Building Identification Sign	2'-0"	180x20	2	3600	
DD1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
DD2		Emergency Capacity Sign	2'-0"	30x50	1	3000	
DD3		Emergency Capacity Sign	2'-0"	30x50	1	3000	
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DD5		Emergency Capacity Sign	2'-0"	30x50	1	3000	
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HH1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
II1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
JJ1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
KK1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
LL1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
MM1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
NN1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
OO1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
PP1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
QQ1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
RR1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
SS1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
TT1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
UU1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
VV1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
WW1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
XX1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
YY1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
ZZ1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
AA1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
BB1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
CC1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
DD1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
EE1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
FF1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
GG1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
HH1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
II1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
JJ1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
KK1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
LL1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
MM1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
NN1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
OO1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
PP1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
QQ1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
RR1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
SS1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
TT1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
UU1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
VV1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
WW1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
XX1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
YY1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
ZZ1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
AA1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
BB1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
CC1		Emergency Capacity Sign	2'-0"	30x50	1	3000	
DD1		Emergency Capacity Sign					



EXTERIOR FAMILY OF SIGNS





"O" is 6' TALL ,  
ENTIRE LOGO  
IS 64' LONG

Sign Type CC1



2'-0" Tall and 18'-0" wide

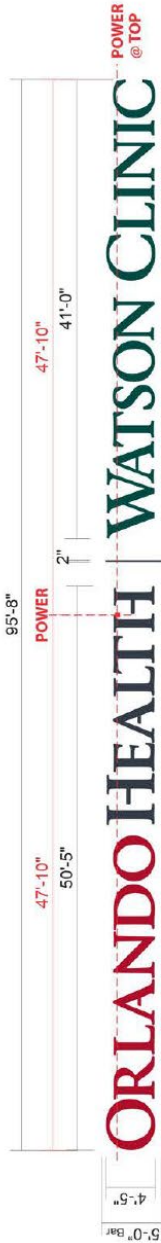
Sign Type CC2

# CC1.1

# PRIMARY BLDG ID

## ORLANDO HEALTH | WATSON CLINIC

SIMULATED NIGHTVIEW: NTS



### (1) PRIMARY ID CHANNEL LETTERSETS

422.53 Sq. Ft (4'5" x 95'8")

Scale: 3/32"=1'

#### "ORLANDO":

Const: Alum cans  
Face: Milk white acrylic w/  
3M dual-color film digitally  
printed Cherry Red PMS 187  
Retainers: Alum  
Paint: Black, satin  
Illum: w/ intern. white LEDs  
Mtd: flush to wall.

#### "HEALTH" & DIVIDER BAR:

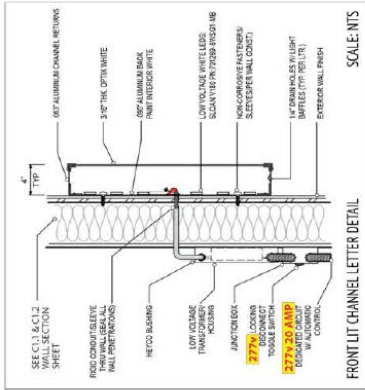
Const: Alum cans  
Face: Milk white acrylic w/  
3M dual-color film digitally  
printed Swedish Gray PMS 432  
Retainers: Alum  
Paint: Black, satin  
Illum: w/ intern. white LEDs  
Mtd: flush to wall.

#### "WATSON CLINIC":

Const: Alum cans  
Face: Milk white acrylic w/  
3M dual-color film digitally  
printed Jade PMS 3302  
Retainers: Alum  
Paint: Black, satin  
Illum: w/ intern. white LEDs  
Mtd: flush to wall.

#### POWER / LED SPECS:

Principal Owik Mod 2 LED's  
1034 LED modules = 3.9 A  
18 qtv - 60 watt power supplies  
1 qty 20 Amp Circuit @ 277v



FRONT LIT CHANNEL LETTER DETAIL

SCALE: NTS

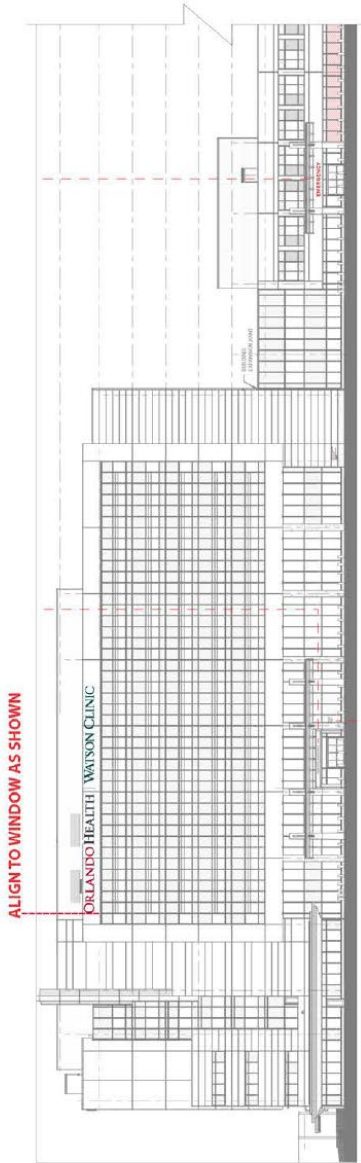
#### COLOR SCHEDULE:

	CHEERRY RED - PMS 187
	3M Dual Color Film printed
	DR GRAY - PMS 432
	3M Dual Color Film printed
	JADE - PMS 3302
	3M Dual Color Film printed
	BLACK

All signage to be installed in compliance with National Electrical Code - NEC 2020  
All signage to be constructed and installed according to ETL standards.

Electrical Requirements (1) 20 AMP Circuit @ 277v

PRIMARY ELECTRIC BY OTHERS

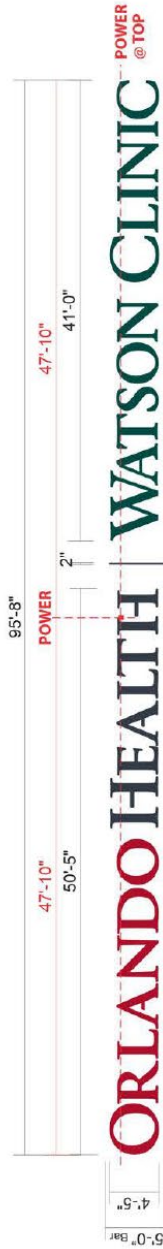


SOUTH ELEVATION: NTS

CC1.1

## ORLANDO HEALTH | WATSON CLINIC

SIMULATED NIGHTVIEW: NTS



## (1) PRIMARY ID CHANNEL LETTERSETS

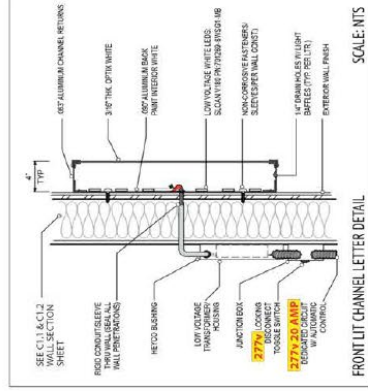
422.53 Sq. Ft (4'5" x 95'8")

Scale: 3/8"=1'

**"ORLANDO":**  
Const: Alum cans  
Face: Milk white acrylic w/  
3M dual-color film digitally  
printed Cherry Red PMS 187  
Retainers: Alum  
Paint: Black satin  
Illum: w/ intern. white LEDs  
Mtd. flush to wall.

**"HEALTH" & DIVIDER BAR:**  
Const: Alum cans  
Face: Milk white acrylic w/  
3M dual-color film digitally  
printed Swedish Gray PMS 432  
Retainers: Alum  
Paint: Black satin  
Illum: w/ intern. white LEDs  
Mtd. flush to wall.

**"WATSON CLINIC":**  
Const: Alum cans  
Face: Milk white acrylic w/  
3M dual-color film digitally  
printed Jade PMS 3302  
Retainers: Alum  
Paint: Black satin  
Illum: w/ intern. white LEDs  
Mtd. flush to wall.



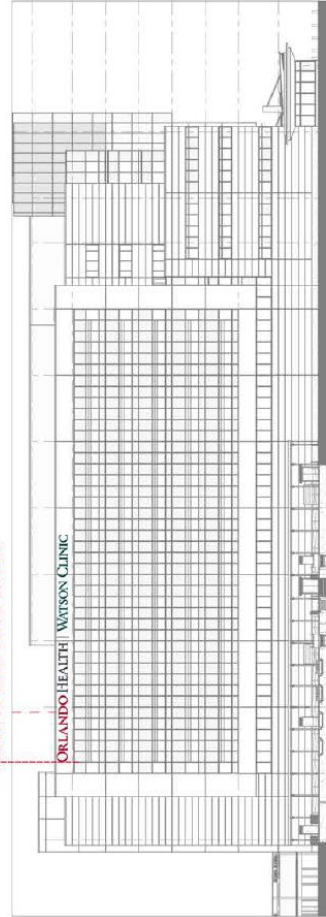
## COLOR SCHEDULE:

CHERRY RED- PMS 187 3M Dual Color Film printed	BLACK
DS GRAY- PMS 432 3M Dual Color Film printed	
JADE- PMS 3302 3M Dual Color Film printed	

All signage to be installed in compliance with National Electrical Code - NEC 2020  
All signage to be constructed and installed according to ETL standards.

Electrical Requirements (1) 20 AMP Circuit @ 277v  
**PRIMARY ELECTRIC BY OTHERS**

ALIGN TO WINDOW AS SHOWN

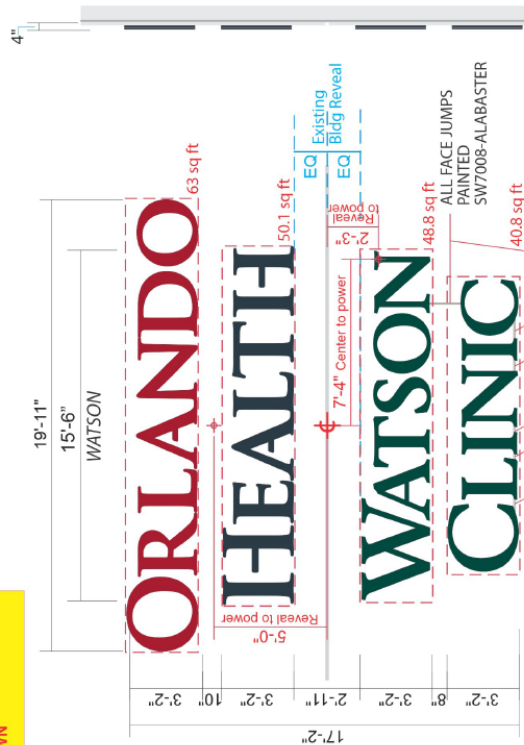


WEST ELEVATION: NTS

CC1.2



NOTE: ELEVATION WILL REQUIRE JUMPS @ FACE ON WATSON CLINIC AS SHOWN

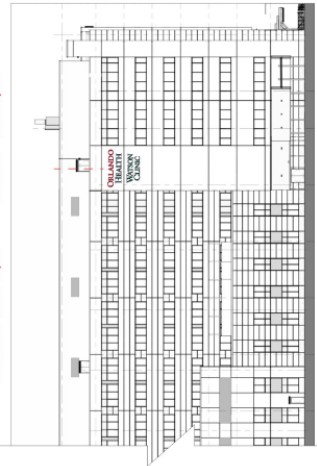


(1) PRIMARY ID CHANNEL LETTERSET

202.7 TOTAL SQ. FT  
"ORLANDO" 63 sq ft  
"HEALTH" 50.1 sq ft  
"WATSON" 48.8 sq ft  
"CLINIC" 40.8 sq ft

END

Scale: 3/8"=1'

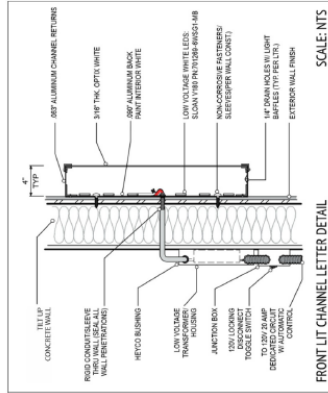


NORTH ELEVATION: NTS

CC1.3



SIMULATED NIGHTVIEW: NTS



COLOR SCHEDULE:

CHERRY RED - PMS 187	3M Dual Color Film printed
DR GRAY - PMS 432	3M Dual Color Film printed
JADE - PMS 3302	3M Dual Color Film printed
BLACK	
SW7008-ALABASTER	

All signage to be installed in compliance with National Electrical Code - NEC 2020

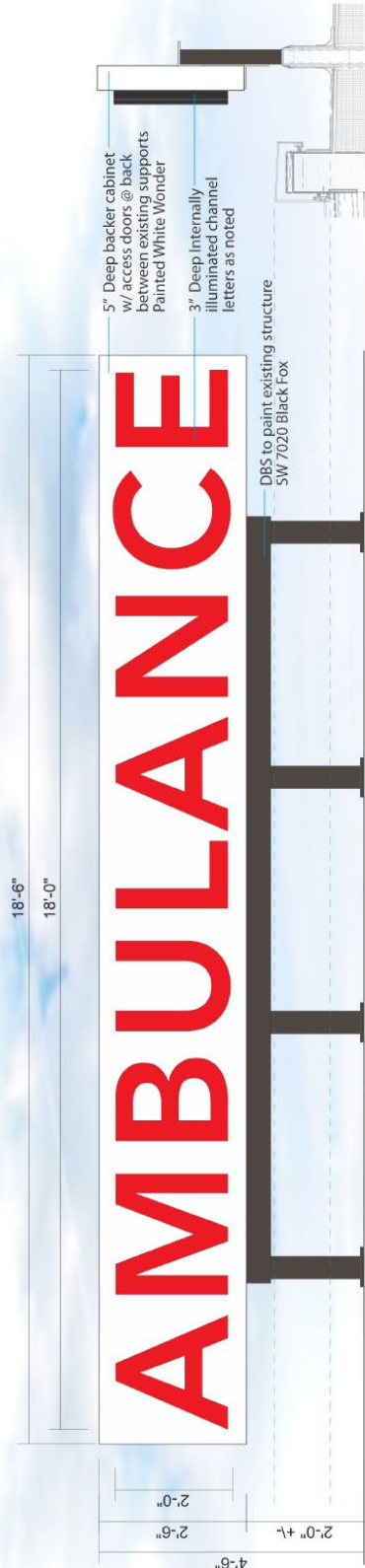
All signage to be constructed and installed according to ETL standards.

Electrical Requirements (1) 20 AMP Circuit @ 277v

PRIMARY ELECTRIC BY OTHERS

CC2

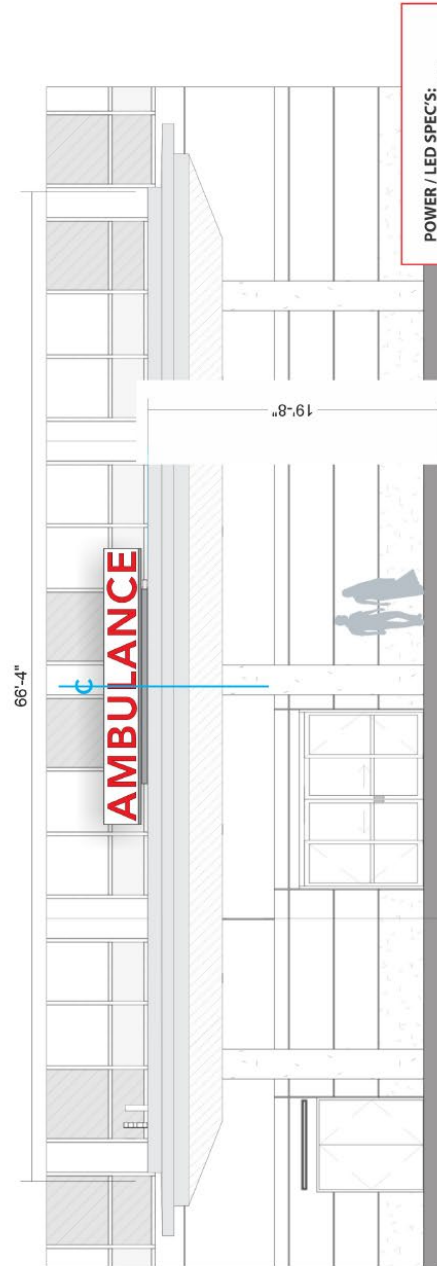
AMBULANCE / CANOPY



(2) AMBULANCE ID CANOPY SIGNS W/ LED UPLIGHTING (as noted)

36 Sq. Ft

Scale: 1/2" = 1'



NORTH (PARTIAL) ELEVATION: Scale = 1/8" = 1'

CC2

**"AMBULANCE" Channel Letters:**  
Const: 3" Alum cans  
Face: Milk white acrylic  
w/ red vinyl overlay  
Trimcap: Black  
Paint: Black, satin  
Illum: w/ intern. white LEDs

COLOR SCHEDULE:

	EMERGENCY RED PMS 1797 Oracal 8800-017
	WHITE WONDER MP 33071
	BLACK
	SW 7020 BLACK FOX

All signage to be installed in compliance with National Electrical Code - NEC 2020 according to ETL standards.

Electrical Requirements (1) 20 AMP Circuit @ 277v

**PRIMARY ELECTRIC BY OTHERS**



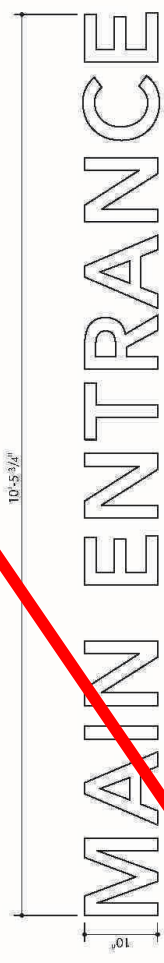
● NON-ILLUMINATED LETTERS - 3.96 S.F. TOTAL SIGN AREA  
SCALE: None

OH-14



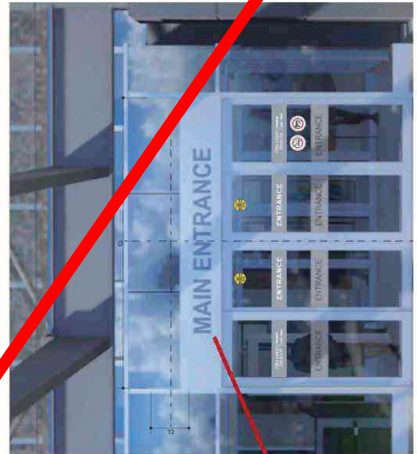
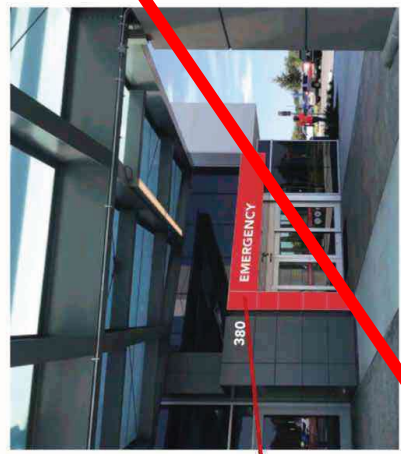
● NON-ILLUMINATED LETTERS - 8.33 S.F. TOTAL SIGN AREA  
SCALE: None

OH-15



● NON-ILLUMINATED LETTERS - 8.96 S.F. TOTAL SIGN AREA  
SCALE: None

OH-16



Project  
**Orlando Health**

Scale:  
Original Page Size: 11"x17"  
Notes:

Revisions  
REV DESCRIPTION BY DATE

Revised By Date  
Drawing By Date  
Sign Type  
**OH-14**  
**OH-15**  
**OH-16**

17'-9"

2'-0"

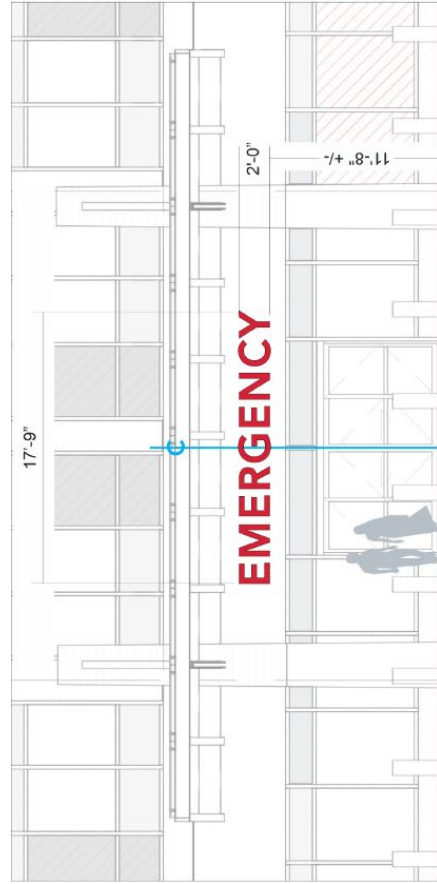
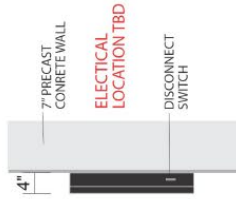
# EMERGENCY

## (1) EMERGENCY ID CHANNEL LETTERSET

35.5 Sq. Ft

Scale: 1/2" = 1'

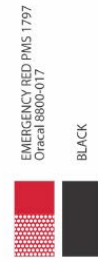
END LOOK



SOUTH (PARTIAL) ELEVATION: Scale = 1/8" = 1'

OH.14

### COLOR SCHEDULE:



**"EMERGENCY":**  
 Const: Alum cans  
 Face: Milk white acrylic w/  
 3M dual-color film digitally  
 printed Emergency Red PMS 1797  
 Trimcap: Black  
 Paint: Black satin  
 Illum: w/ intern. white LEDs  
 Mtd. flush to wall.

**POWER / LED SPEC'S:**  
 Principal Owik Mod 2 LED's  
 225 LED modules = 0.7 A  
 3 qty - 60 watt power supplies  
 1 qty 20 Amp Circuit @ 277v

All signage to be installed in compliance  
 with National Electrical Code - NEC 2020

All signage to be constructed and installed  
 according to ETL standards.

Electrical Requirements (1) 20 AMP Circuit @ 277v

**PRIMARY ELECTRIC BY OTHERS**



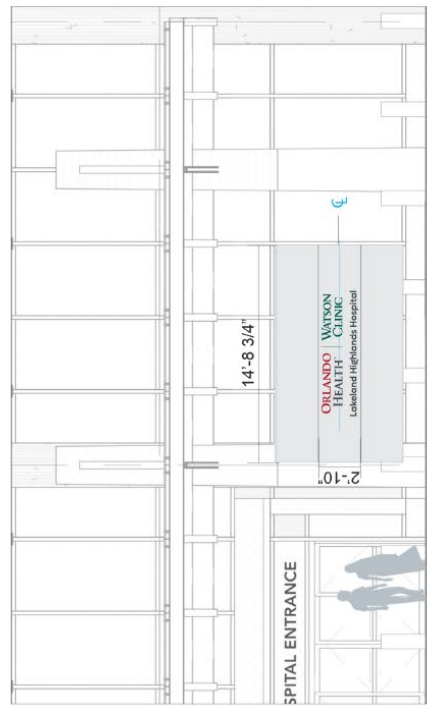


(1) ID FCO LETTERSET

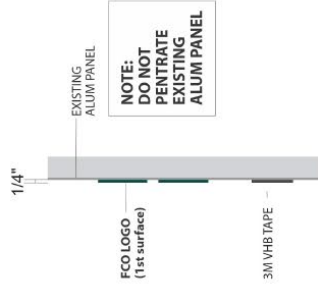
13.49 Sq. Ft

\*"ORLANDO" 2.7 sq ft  
\*"HEALTH" 3.19 sq ft  
\*"Lakeland Highlands Hospital" 4.92 sq ft

Scale: 3/4" = 1'



SOUTH (PARTIAL) ELEVATION: Scale = 1/8" = 1'



END LOOK

"ORLANDO":  
Const: 1/4" FCO alum.  
Paint: Red (PMS187)  
Mount: 3M VHB tape

"HEALTH" BAR &  
LAKELAND HIGHLANDS HOSPITAL:  
Const: 1/4" FCO alum.  
Paint: Gray (PMS 432)  
Mount: 3M VHB tape

"WATSON CLINIC":  
Const: 1/4" FCO alum.  
Paint: Jade Green (PMS 3302)  
Mount: 3M VHB tape

COLOR SCHEDULE:

	CHERRY RED - PMS 187 Oracal 8500-017
	DR GRAY - PMS 432 Oracal 8500-740
	JADE - PMS 3302 3M 3630-316

NOTE: VERIFY WALL CONSTRUCTION & AVAILABLE SIGN LOCATION SPACING



EXISTING CONDITION

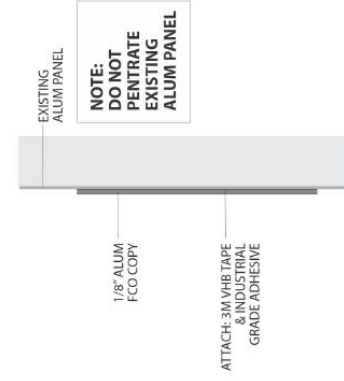
VERIFY MATERIALS & ATTACHMENT



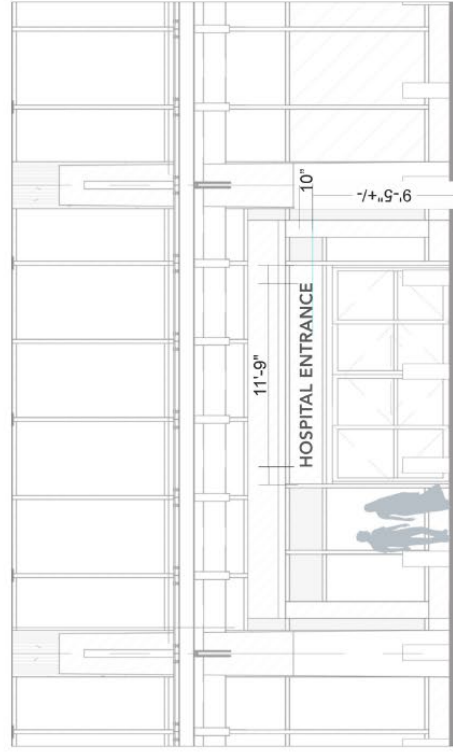
(1) ENTRANCE FCO LETTERSET

8.9 Sq. Ft

Scale:  $\frac{3}{4}'' = 1'$



END LOOK



SOUTH (PARTIAL) ELEVATION: Scale =  $\frac{1}{8}'' = 1'$

**HOSPITAL ENTRANCE:**  
Const: 1/8" FCO alum.  
Paint: Swedish Gray (PMS 432)  
Mount: 3M VHB tape & Industrial  
grade adhesive

COLOR SCHEDULE:



DR GRAY: PMS 432  
Oracal 8500-740

SIGN TYPE BB2

Exit Sign

## SIGN TYPE BB2

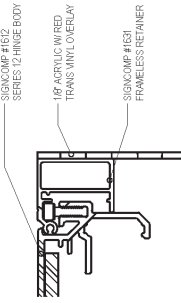
SCALE: 1" = 1'-0"

## DIRECTIONAL MONUMENT

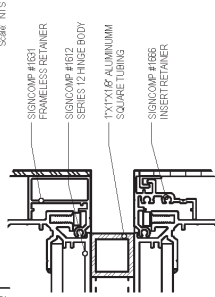
- [A] 1/2" ACRYLIC LETTERING WITH TRANSLUCENT VINYL OVERLAY TO MATCH APPROVED COLORS
- [B] 1/8" ALUMINUM FACE WITH PUSH THRU ACRYLIC LETTERING FOR COPY
- [C] 1/8" ACRYLIC FACE WITH RED TRANSLUCENT VINYL
- [D] 1/8" ALUMINUM FACE WITH PUSH THRU ACRYLIC LETTERING FOR COPY  
COPY TO BE 1/2" WHITE TRANSLUCENT ACRYLIC WITH 3/8" DAYNIGHT PE
- [E] 1/8" ALUMINUM CONSTRUCTION METAL FACE AND SIDES WITH  
1" SQUARE TUBING ALUMINUM FRAME (1 PP)

## PLACEMENT GUIDELINE

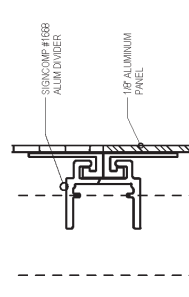
PLACEMENT WILL BE AT THE ENTRANCE AND THROUGHOUT THE CAMPUS.



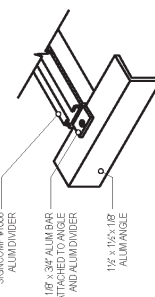
CORNER DETAIL	
1.1	
BB2	Scale: NTS



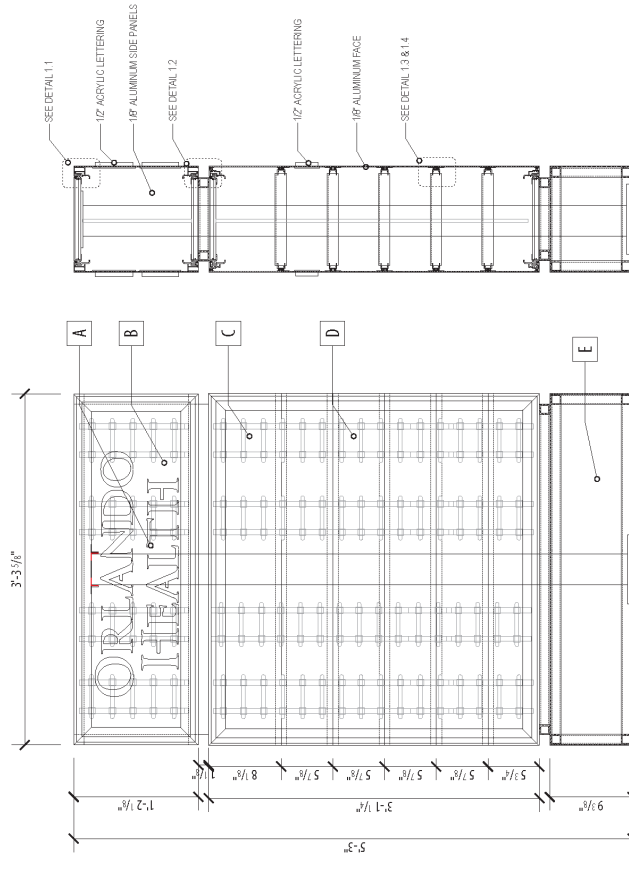
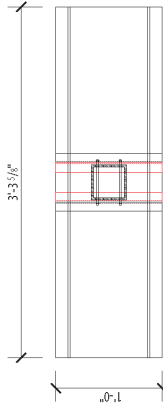
1.2	MID CABINET DETAIL
B82	Scale: NTS



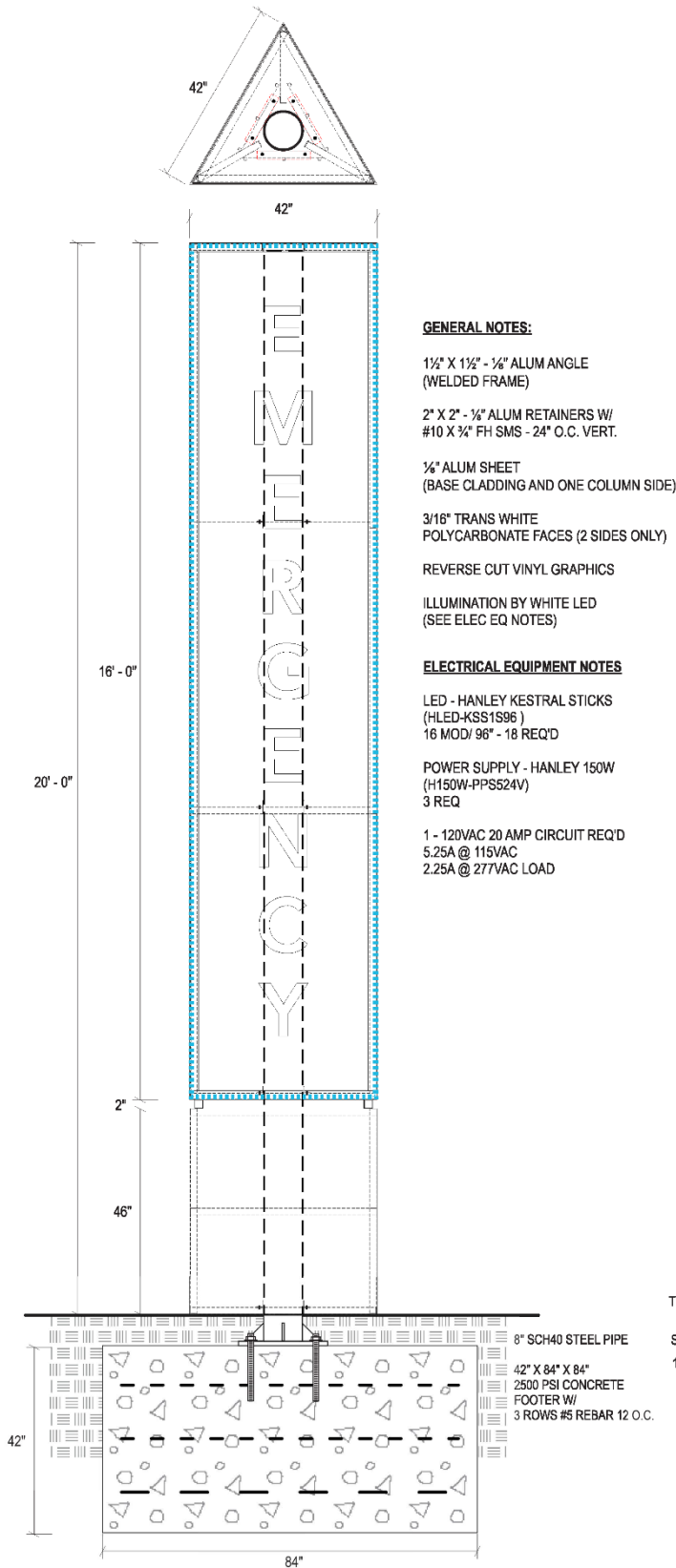
1.3	DIVIDER DETAIL
BSG	Scale NTS



1.4 | **DIVIDER ISOMETRIC DETAIL** | Scale: NTS



## SIGN TYPE BB4



### Color Schedule

C1



Mathews Paint  
MP74807  
Pantone® 1797C "Red"

C2



Oracal Vinyl (translucent)  
8800-016  
Pantone® 1797C "Red"

C2



Mathews Paint  
MP540  
Pantone® 425C "Grey"

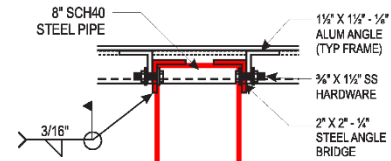
C7



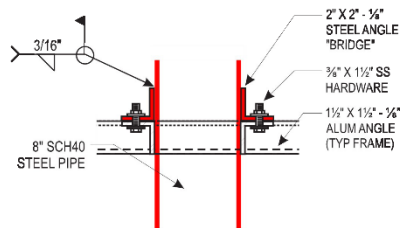
Translucent White  
Polycarbonate

### GRAPHIC APPEARANCE - NOT TO SCALE

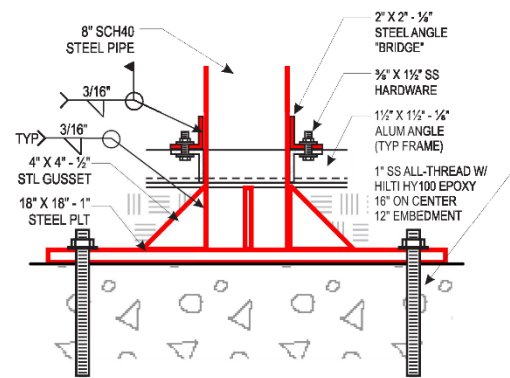
Note: COPY APPEARS ON ONLY THE  
(2) POLYCARBONATE FACES  
(3rd FACE IS BLANK ALUM PTD RED)



#### TOP PIPE / FRAME ATTACHMENT - NTS



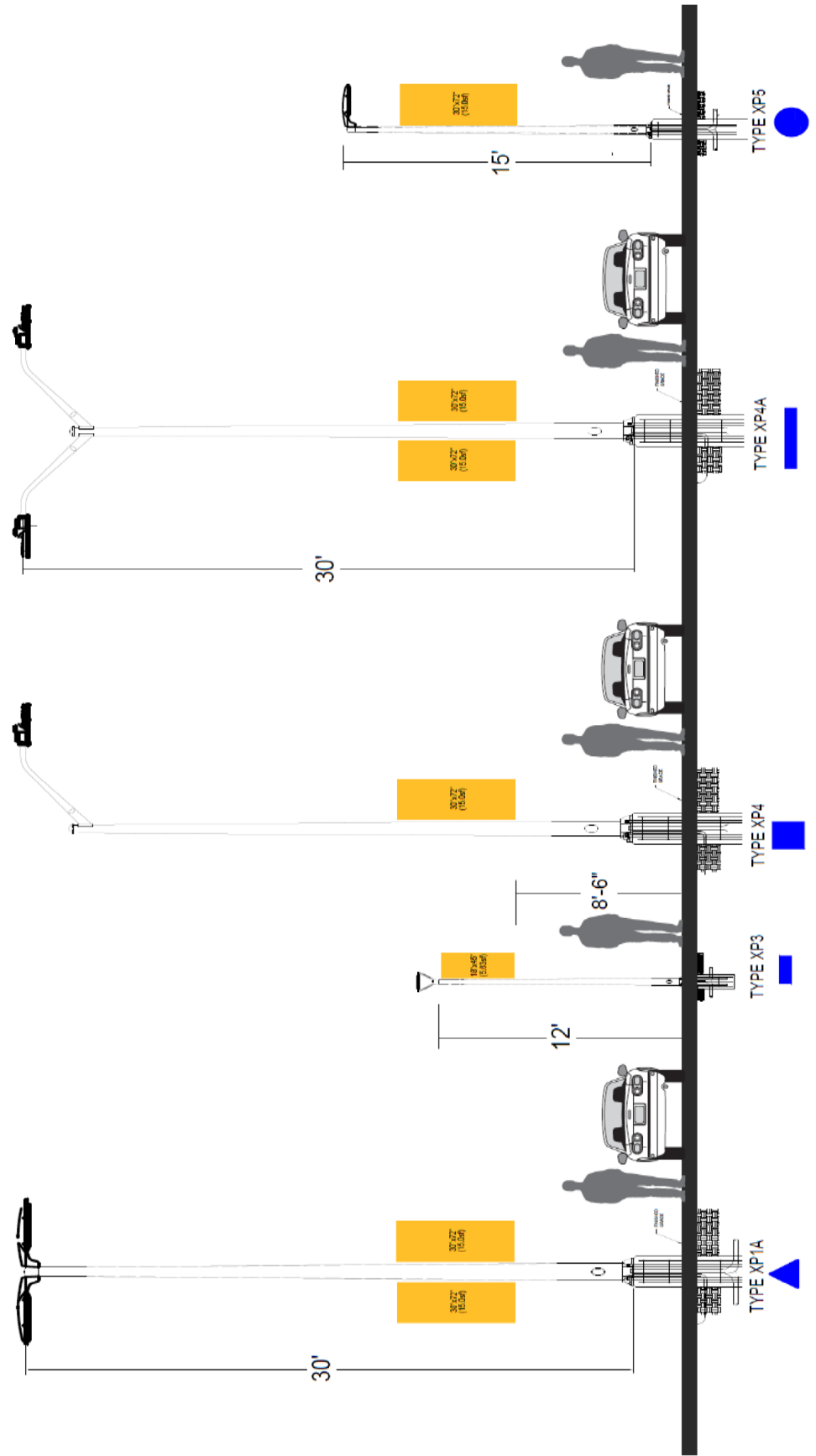
#### CTR PIPE / FRAME ATTACHMENT - NTS



#### BOT PIPE / FRAME ATTACHMENT - NTS

## Light Pole Banner Table

Pole Type	Symbol	Quantity
XP1A	▲	13 (30.0sf x 13 = 390.0sf)
XP3	■	11 (5.63sf x 11 = 61.93sf)
XP4	■	24 (15.0sf x 24 = 360.0sf)
XP4A	■	24 (30.0sf x 24 = 720.0sf)
XP5	●	6 (15.0sf x 6 = 90.0sf)
Total:		78 1,621.93sf



### LIGHT POLE BANNER TABLE

# ATTACHMENT D-2

Sign Type	Max Height	Size (SF)	Quantity	Total Area (SF)
AA1	10'	209	2	418.0
AA2	10'	60	3	180.0
AA3	4'-2"	40	1	40.0
AA4	4'-2"	40	1	40.0
BB1	7'	26	3	78.0
BB2	5'-3"	12.5	19	237.5
BB4 Emergency Pylon Sign	20'	56	1	56.0
CC1.1 Hospital Building Sign 1	6'	464	1	464.0
CC1.2 Hospital Building Sign 2	6'	464	1	464.0
CC.1.3 Hospital Building Sign 3	6'	240.5	1	240.5
CC2 Ambulance Canopy Sign	2'	18	2	36.0
OH-14 Emergency Canopy Sign	2'	35.5	1	35.5
OH-15 Hospital Entrance Wall Sign (Pedestrian)	2'-8"	8.5	1	8.5
OH-16 Hospital Entrance Wall Sign (Door)	0'-10"	8.9	1	8.9
<b>Sub-Total</b>				<b>2,306.90</b>
<b>APPROVED PUD</b>				<b>3,030.79</b>
<b>Difference</b>				<b>-723.89</b>
Light Pole Banners				
XP1A	6'	15	13	195.0
XP3	3'-9"	5.63	11	61.93
XP4	6'	15	24	360.0
XP4A	6'	15	24	360.0
XP5	6'	15	6	90.0
<b>Sub-Total</b>				<b>1,066.93</b>
<b>TOTAL</b>				<b>3,373.83</b>
<b>Difference</b>				<b>-343.04</b>

## Notes

- 1) Buildings signage and internal wayfinding for outparcels are not included in the above calculations and shall be additional signage permitted in accordance with signage standards for the C-1 zoning district.
- 2) Exact colors and sign designs can be adjusted without need to amend this Comprehensive Sign Plan as long as total area listed above does not change.
- 3) Locations are approximate and may be adjusted based on detailed site plans without the need to modify this Comprehensive Sign Plan.
- 4) Text can be modified during sign permit application and review as long as total copy area of signs is not greater than the maximum total area identified above for the identified signs.
- 5) Exact design of Sign AA1 to be determined during sign plan application and review process, but shall be no greater than 250 sf.
- 6) The Owner agrees to regular maintenance and replacement of signage in accordance with the approved Master Sign Plan provisions.

## ATTACHMENT D-2

Sign Type	Max Height	Size (SF)	Quantity	Total Area (SF)
AA1	10'	209	2	418.0
AA2	10'	60	3	180.0
AA3	4' 2"	40	1	40.0
AA4	4' 2"	40	1	40.0
BB1	7'	26	3	78.0
BB2	5' 3"	12.5	19	237.5
BB4 Emergency Pylon Sign	20'	56	1	56.0
CC1.1 Hospital Building Sign 1	6'	422.53	1	422.53
CC1.2 Hospital Building Sign 2	6'	422.53	1	422.53
CC1.3 Hospital Building Sign 3	17' 2"	284	1	284
CC2 Ambulance Canopy Sign	2' 6"	46.25	2	92.5
OH.14 Emergency Canopy Sign	2'	35.5	1	35.5
OH.15 Hospital Entrance Wall Sign (Pedestrian)	2' 6"	21.25	1	21.25
OH.16 Hospital Entrance Wall Sign (Door)	10"	10	1	10
Sub-total				2337.81
Approved PUD				3030.79
Difference				-692.98
Light Pole Banners				
XP1A	6'	15	13	195
XP3	3' 9"	5.63	11	61.93
XP4	6'	15	24	360
XP4A	6'	15	24	360
XP5	6'	15	6	60
Sub-total				1066.93
TOTAL				3404.75
Difference				+373.95

### Notes

- 1) Buildings signage and internal wayfinding for outparcels are not included in the above calculations and shall be additional signage permitted in accordance with signage standards for the C-1 zoning district.
- 2) Exact colors and sign designs can be adjusted without need to amend this Comprehensive Sign Plan as long as total area listed above does not change.
- 3) Locations are approximate and may be adjusted based on detailed site plans without the need to modify this Comprehensive Sign Plan.
- 4) Text can be modified during sign permit application and review as long as total copy area of signs is not greater than the maximum total area identified above for the identified signs.
- 5) Exact design of Sign AA1 to be determined during sign plan application and review process, but shall be no greater than 250 sf.
- 6) The Owner agrees to regular maintenance and replacement of signage in accordance with the approved Master Sign Plan provisions.



File Number: PUD26-006

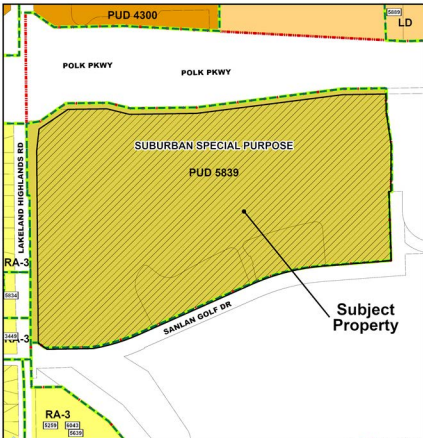
Present Zoning: PUD 5839  
 Present Context: Suburban Special Purpose  
 Proposed Zoning: Minor Modification of PUD Zoning  
 for Orlando Health to Amend the  
 Comprehensive Sign Plan

February 2026

- Subject Property
- Zoning
- Future Land Use
- Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Railroad







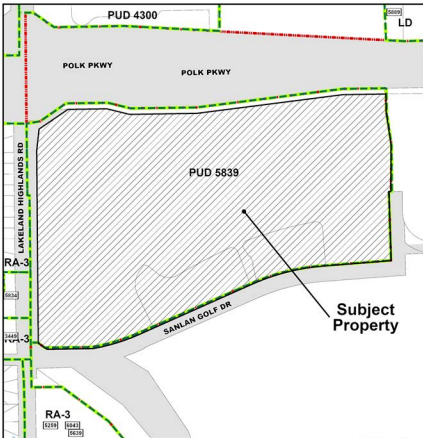
File Number: PUD26-006

Present Zoning: PUD 5839  
 Present Context: Suburban Special Purpose  
 Proposed Zoning: Minor Modification of PUD Zoning  
 for Orlando Health to Amend the  
 Comprehensive Sign Plan

February 2026

- Subject Property
- Zoning
- Future Land Use
- Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Railroad





File Number: PUD26-006

**Present Zoning:** PUD 5839  
**Present Context:** Suburban Special Purpose  
**Proposed Zoning:** Minor Modification of PUD Zoning  
 for Orlando Health to Amend the  
 Comprehensive Sign Plan

February 2026

- Subject Property
- Zoning
- Future Land Use
- Conditional Use
- Parcels
- City Limits
- Water Body
- SPI
- Roadway/Railway
- Railroad

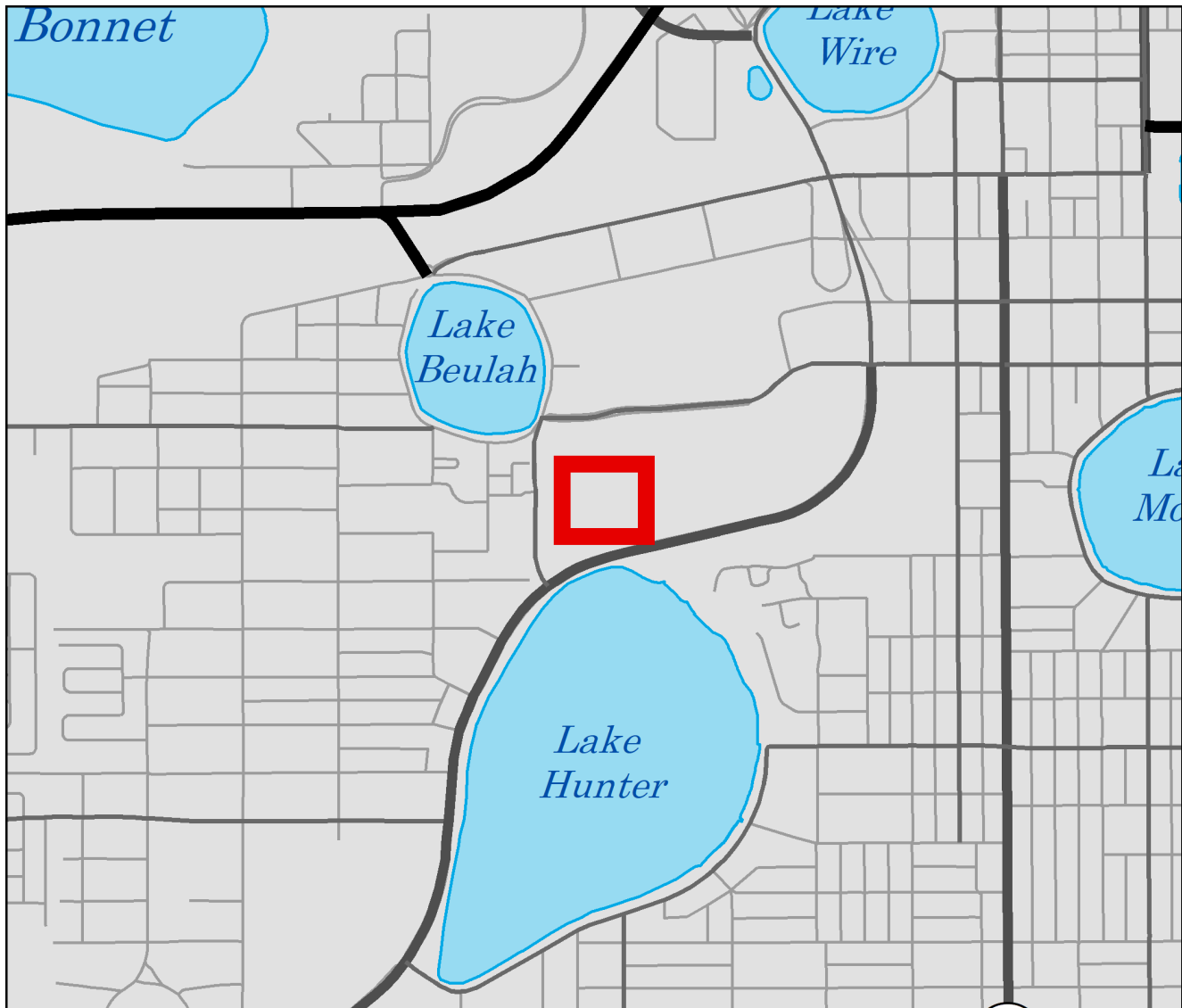




# Community & Economic Development Staff Recommendation

Date:	February 17, 2026	Reviewer:	Damaris Stull
Project No:	CUP25-006	Location:	510 Hartsell Avenue
Owner:	School Board of Polk County R.W. Blake Academy		
Applicant:	Sarah Case, Next Level Planning & Permitting		
Current Zoning:	RA-4 (Single-Family Residential)	Future Land Use:	Residential High (RH)
Context District:	Urban Neighborhood (UNH)		
P&Z Hearing:	August 19, 2025	P&Z Final Decision:	February 17, 2026
Request:	Major modification to an existing conditional use for Blake Academy to expand the boundaries of the school campus and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking on property located at 510 Hartsell Avenue.		

## 1.0 Location Maps







## 2.0 Background

### 2.1 Summary

Sarah Case, Next Level Planning & Permitting, on behalf of the Polk County School Board, requests a major modification to an existing conditional use for R.W. Blake Academy to expand the school boundaries and allow for the construction of a new 15,291 sq ft gymnasium with associated off-street parking on property located at 510 Hartsell Avenue. A map of the subject property is included as Attachment “B.”

### 2.2 Subject Property

The subject property, approximately 15.04 acres in area, is located east of Hartsell Avenue, south of W. Lime Street, and north of State Road 563/Sikes Boulevard. The subject property has a future land use designation of Residential High (RH) with a RA-4/UNH (Single-Family Residential/Urban Neighborhood context sub-district) zoning classification.

The subject property is currently improved with a primary school that was constructed in 1989 according to the Polk County Property Appraiser. According to the Property Appraiser, improvements on the school campus consist of eight buildings with a total floor area of 118,472 sq. ft. and six 864 sq. ft. portable classrooms buildings.

The school is allowed under the RA-4 zoning through a conditional use permit which was approved by the City Commission in 1990 (Ordinance 3199). From 1991 - 2001, the subject property operated as Rosabelle W. Blake Elementary, a public school which provided education for students in grades K - 5. In 2002, the elementary school transitioned to R.W. Blake Academy, a public magnet school, which provides education for students in grades K – 8.

### 2.3 Project Background

The purpose of this request is to amend the existing conditional use approval to expand the existing school boundaries and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking. A revised site development plan, which shows the overall campus, proposed gym and associated off-street parking, is included as Attachment “C.”

### 2.4 Existing Uses of Adjacent Properties

Boundary	Existing Land Use	FLUM	Zoning	Context
North	RP Funding Center / Veterans Park	RAC	C-6	PCR/USP
South	Lake Hunter	N/A	N/A	N/A
East	Vacant / RP Funding Center Parking Lot	RH	RA-4	UNH
West	Single-Family and Multi-Family Residential	RM/RH	RA-4/MF-22	UNH

## 2.5 Attachments

Attachment A: Legal Description

Attachment B: Base Map of Subject Property

Attachment C: Revised Site Development Plan

## 3.0 Discussion

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The requested major modification of the conditional use is necessary due to the acquisition of additional land by the Polk County School Board following the adoption of the original conditional use in 1990. The proposed expansion area, approximately 1.54 acres in area, is located south of the existing school campus, north of Sikes Boulevard and east of Hartsell Avenue

The school currently does not have a dedicated gymnasium. During inclement weather, indoor physical education activities are held in a small building which was not designed for athletic activities. The proposed 15,291 sq. ft. gym will provide students with a modern space which will be used for physical education classes, after school athletic programs, and as an assembly area for school events.

During the review of the conditional use application, staff determined that one of the existing portable classroom buildings, located to the south of the RP Funding Center parking lot, encroaches into unimproved right-of-way for W. Walnut Street. Historic aerial imagery and City's permitting records suggest that the encroaching portable classroom was installed between 2011 and 2014 without a building permit. As a condition for approval, the right-of-way encroachment will need to be addressed, through either the vacation of the right-of-way or relocation of the encroaching portable classroom building elsewhere on the school's campus.

The initial public hearing for this request was held on August 19, 2025. The applicant, however, requested multiple continuances until the School Board agreed to all listed conditions, specifically those related to the buffer and landscaping requirements. Due to the amount of time that had passed since the initial public hearing, the request was readvertised with a second hearing before the Board on February 17, 2026.

### 3.1 Transportation and Concurrency

The subject property lies to the north side of State Road 563 (Sikes Boulevard), a four-lane divided Urban Minor Arterial operated by the Florida Department of Transportation that is currently operating at an acceptable Level of Service (LOS) D and on the east of Hartsell Avenue, an Urban Local Road maintained by the City of Lakeland and operating at an acceptable LOS C. Per the Polk Transportation Planning Organization's 2025 Roadway Network Database, the Two-Hour Average Volume during the PM Peak Period for Sikes Boulevard is 1,054 Northbound and 1,012 Southbound vehicles (directional service volume/capacity of 1,630 vehicles) and the Two-Hour Average Volume for Hartsell Road is 115 Northbound and 120 Southbound vehicles (directional service volume/capacity of 790 vehicles).

The subject property is located within the Central City Transit Supportive Area as designated in the Comprehensive Plan within which multimodal level-of-service standards have been adopted to recognize available transit service and bicycle/pedestrian networks. The Lakeland Area Mass Transit District (Citrus Connection) operates one route along Sikes Boulevard adjacent to the subject property via its Red Line with 60-minute frequencies. This route provides connecting services to Lakeland-Linder International Airport, Lakeside Village, and the Downtown Terminal. The subject property is



also located approximately 300 feet from a transit shelter on the Citrus Connection's Westside Circulator, with 60-minute frequencies from the Downtown terminal through the Westgate-Central Neighborhoods and the Wabash Avenue corridor. A sidewalk exists along the site's Hartsell Avenue and Sikes Boulevard frontages, with construction scheduled to begin later this fiscal year on the Hartsell Avenue Trail that will replace the existing sidewalk. The Hartsell Avenue Trail will expand the City's Lake-to-Lake Bikeway network, providing an enhanced bicycle/pedestrian route between Lake Hunter and Lake Beulah as part of larger connection to western Lakeland and Bonnet Springs Park. Since the proposed gymnasium will not increase student enrollment, it is expected to have a de minimis impact on the surrounding transportation network.

### **3.1 Comprehensive Plan Compliance**

The Community and Economic Development Department reviewed this request for compliance with Lakeland Comprehensive Plan: Our Community 2030 and it is our opinion that the request is consistent with the Comprehensive Plan.

## **4.0 Recommendation**

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### **4.1 Community and Economic Development Staff**

The Community and Economic Development Department reviewed this request and recommended approval of the modification of the conditional use. Letters of notification were mailed to ten (10) property owners within 250 feet of the subject property and no objections were received.

### **4.2 The Planning & Zoning Board**

It is recommended that the request for a major modification of a conditional use, as described above and in Attachments "A", "B," and "C" be approved, subject to the following conditions.

*Ordinance 3199, as amended.*

1. Permitted Uses: A public school for grades Pre-K – 8 and those accessory uses typically associated with a school of this grade level, such as outdoor education programs, athletic fields and basketball courts.
2. Site Development Plan: The project shall be developed in substantial accordance with the proposed site development plan, Attachment "C." With the approval of the Director of Community & Economic Development, minor changes may be made at the time of site plan review without requiring a modification of the conditional use.
3. Development Standards: In accordance with the RA-4/Urban Neighborhood context sub-district except that setbacks shall be in accordance with the site development plan, Attachment "C."
4. Buffering and Landscaping: Required buffering and landscaping design shall defer to the Office of Safe Schools in accordance with the Marjory Stoneman Douglas High School Public Safety Commission, to ensure no conflicts with required school safety and security standards.
5. Outdoor Lighting
  - a. Non-Athletic Lighting: Outdoor lighting fixtures used shall be shielded in accordance with Section 4.6 of the Land Development Code.
  - b. Athletic Lighting and Outdoor Recreation Facilities: Any outdoor lighting fixtures used for athletic fields and outdoor recreation facilities shall use full cut-off or directionally

shielded luminaires such that all light emitted is directed to the playing field/court and shielded to minimize light glare and trespass onto adjacent properties. The use of outdoor athletic lighting shall not be permitted between the hours of 10:00 PM and 7:00 AM.

6. Portable Classrooms Buildings: The six existing portable classroom buildings located on the site may continue to be used provided that the right-of-way encroachment is addressed. The encroachment may be resolved through either the vacation of the right-of-way or the relocation of the encroaching structure elsewhere on the school campus. To initiate the right-of-way vacation process, Polk County Public Schools shall submit a request to the City of Lakeland Office of Real Estate & Property Information. If the request to vacate the right-of-way is approved, the former right-of-way may be combined with the real property which comprises the school's campus without requiring a modification to the conditional use permit.

7. Transportation

- a. A six-foot-wide ADA-compliant sidewalk connection shall be provided between Building No. 11 (new gymnasium) and the existing internal sidewalk network, which provides access to the programmed Hartsell Avenue Trail at the existing designated school crosswalk.
- b. Bicycle parking shall be provided in compliance with Section 4.11.6 of the City Land Development Code. Alternate bike rack/enclosures from City standards shall be allowed to maximize number of bicycle positions and limit space when not within 100-feet of right of way.

ATTACHMENT "A"

**Legal Description**

All that part of Blks 15, 18, 19, 20 & 21 of Riggins and Stephenson Addition to Lakeland as recorded in Deed Book P, PG 92,

AND part of Blk A of Brown's Addition as recorded in PB 1, PG 47-A,

AND that part of Blks C & D, Scally and Bassett Subdivision of Railroad right-of-way as recorded in PB 4-B, PG 58,

AND part of Lakeland Civic Center as recorded in PB 71, PG 41, public records of Polk County, Florida,

AND that part of platted alleys within above-described blocks,

AND that part of Willow, Brown, Hickory, Walnut and Olive Streets and part of Lincoln Avenue rights-of-way, containing 13 5± acres

And Brown's addition, plat book 1, page 47a, block "b", lots 1 thru 6, lying north of Sikes boulevard and east of Hartsell avenue.

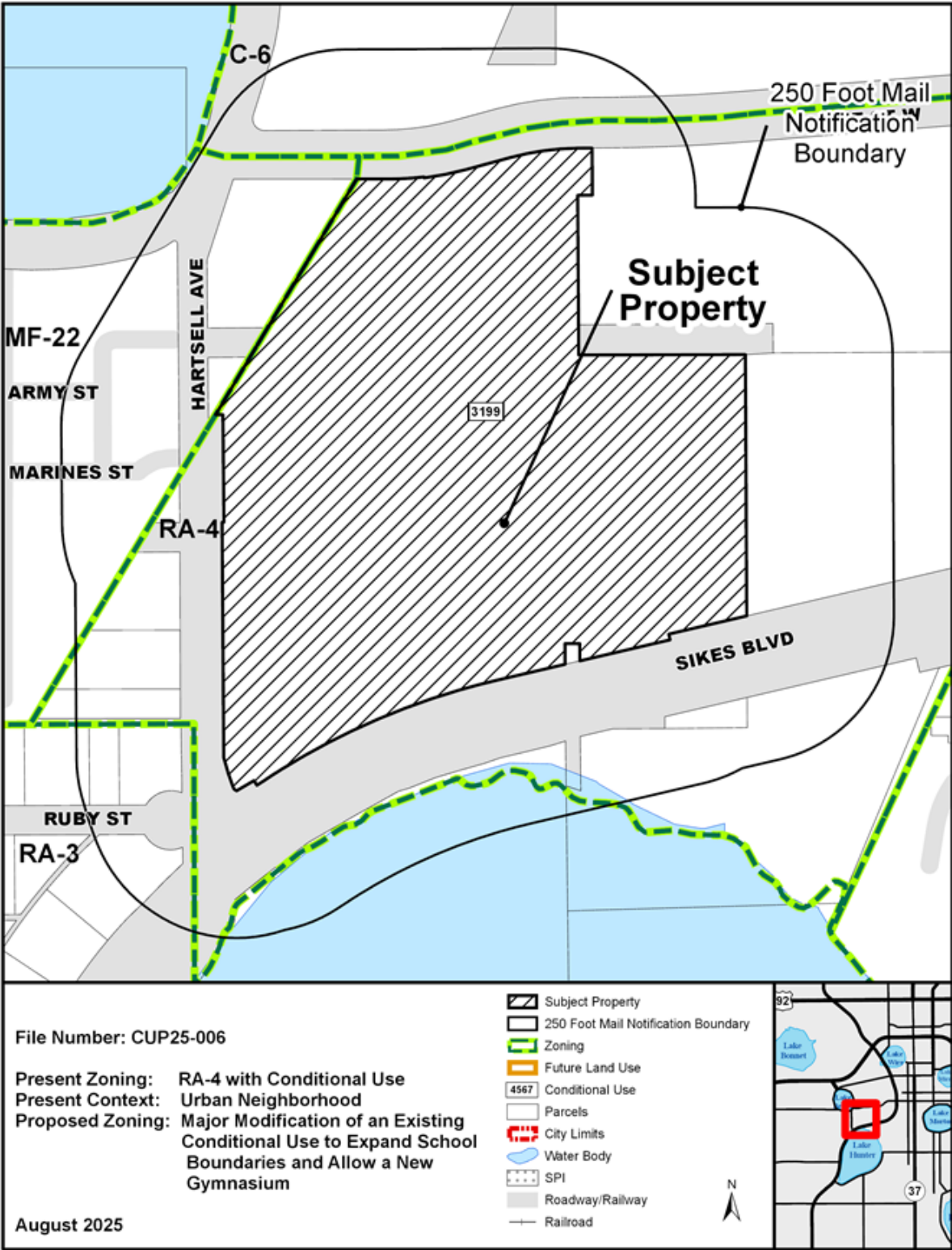
And Riggins & Stephensons addition to Lakeland, deed book "p", page 92, block 22, all lots lying north of Sikes Boulevard

Less the west 25 feet of the south 145 feet of lot 2, block 21 of Riggins & Stephenson's addition to Lakeland as recorded in deed book p, page 92, of the public records of Polk County, Florida.

AND LESS

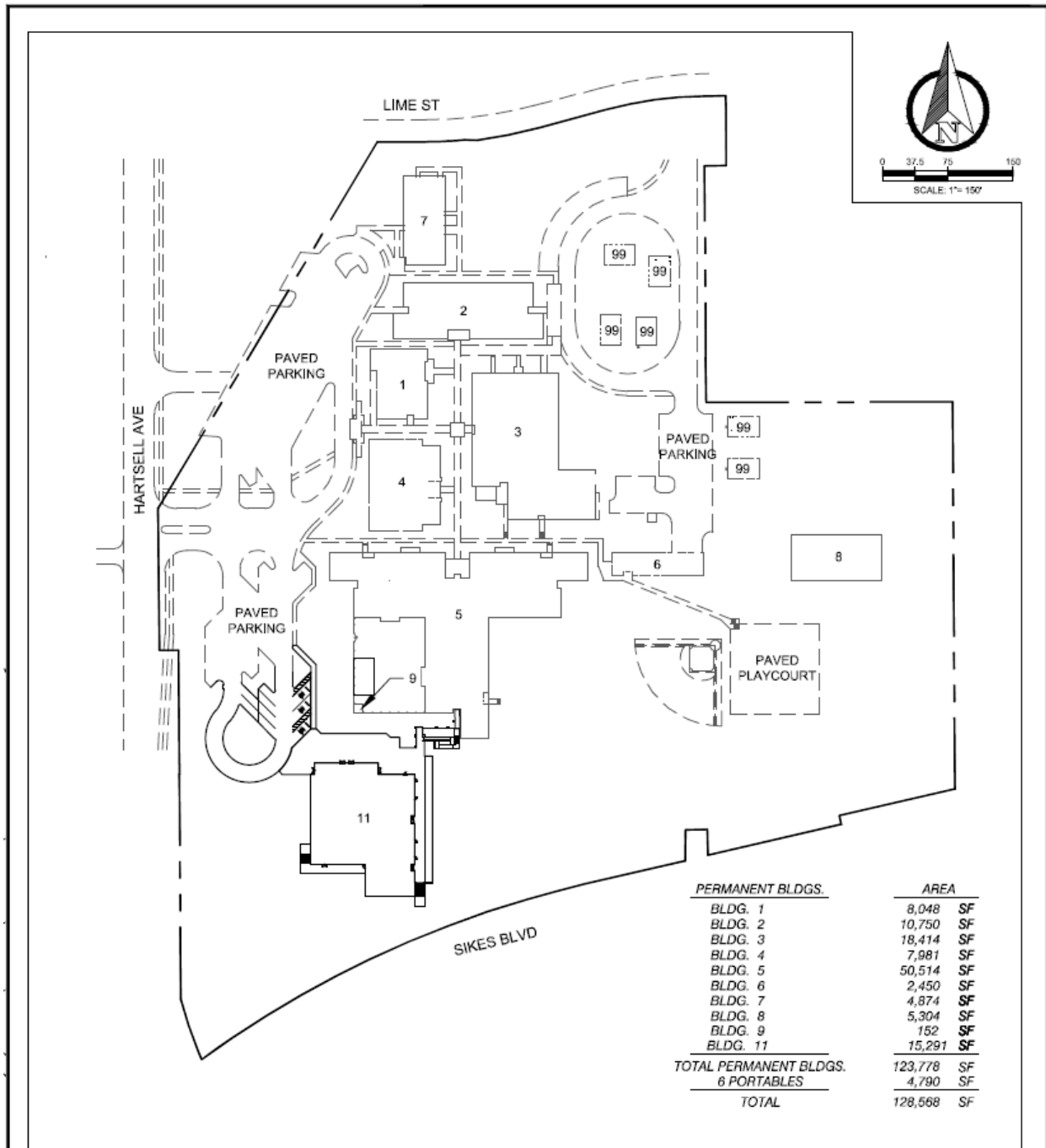
That portion of lot 5, block a, Brown's addition, as recorded in plat book 1, page 47a, of the public records of Polk County, Florida, lying within the right of way of Hartsell Avenue. (platted as Hunter Avenue.).

ATTACHMENT "B"



[illegible]

# ATTACHMENT "C"



PARCEL ID# 23-28-24-119000-015010



**GADD  
& ASSOCIATES**

CIVIL ENGINEERING & CONSULTING  
4685 E COUNTY ROAD 540A  
LAKELAND, FL 33813  
PHONE: (863) 940-9979  
Certificate of Authorization #30194  
www.GaddCivil.com

**R.W BLAKE ACADEMY  
GYMNASIUM**

510 HARTSELL AVE  
LAKELAND, FL 33815

Site Plan

3.8



## MINUTES

Planning & Zoning Board

City Commission Chambers

Wednesday, January 21, 2026

8:30 a.m.

The City of Lakeland Planning and Zoning Board met in Regular Session. Board Members, Terry Dennis, Jolián Rios, Veronica Rountree, Susan Seitz and Jeri Thom were present. Community & Economic Development staff Chuck Barmby, Urban Planning & Transportation Manager; Matthew Lyons, Executive Planner; Audrey McGuire, Executive Planner; Damaris Stull, Senior Planner and Christelle Burrola, Board Secretary, were present. Assistant City Attorney Alex Landback was also present.

## PUBLIC HEARING

NO NEW PUBLIC HEARING ITEMS

## GENERAL MEETING

**ITEM 5:** Review minutes of the November meeting.

Susan Seitz made a motion for approval of staff's recommendation. Veronica Rountree seconded the motion and it passed 5—0.

**ITEM 6:** Major modification to an existing conditional use for Blake Academy to expand the boundaries of the school campus and allow for the construction of a new 15,291 sq. ft. gymnasium with associated off-street parking on property located at 510 Hartsell Avenue. Owner: School Board of Polk County Rosabelle W Blake Academy. Applicant: Sarah Case, Next Level Planning & Permitting. (CUP25-006) **Note: Applicant requests an additional one-month continuance until February 17th**

Sarah Case, 3825 S. Florida Avenue, requested a one-month continuance until February 17<sup>th</sup>.

Susan Seitz made a motion to continue the item until February 17<sup>th</sup> and readvertise the item due to the amount of time that has lapsed since the initial public hearing. Jolián Rios seconded the motion and it passed 5—0.

**ITEM 8:** Report of City Commission action on Planning and Zoning Board recommendations along with Planning & Transportation Manager's Report.

Chuck Barmby reviewed the recent actions of the City Commission. Mr. Barmby also reviewed the new cases for the January hearing.

**ITEM 9:** Audience.

There were no comments from the audience.

**ITEM 10:** Adjourn.

There being no further discussion, the meeting was adjourned at 8:40 AM.

Respectfully Submitted,

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Jeri Thom, Chair

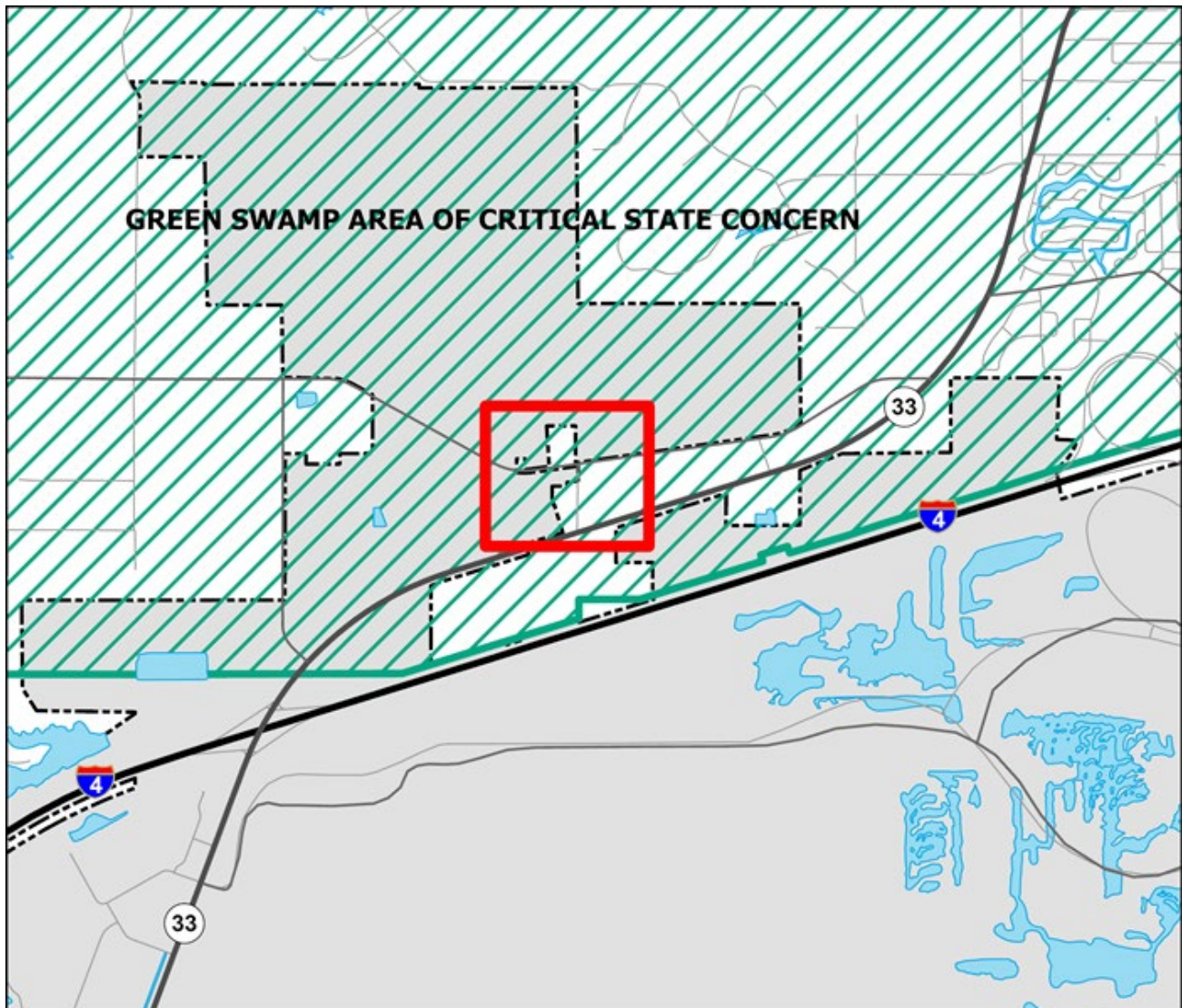
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Bessie Reina, Secretary

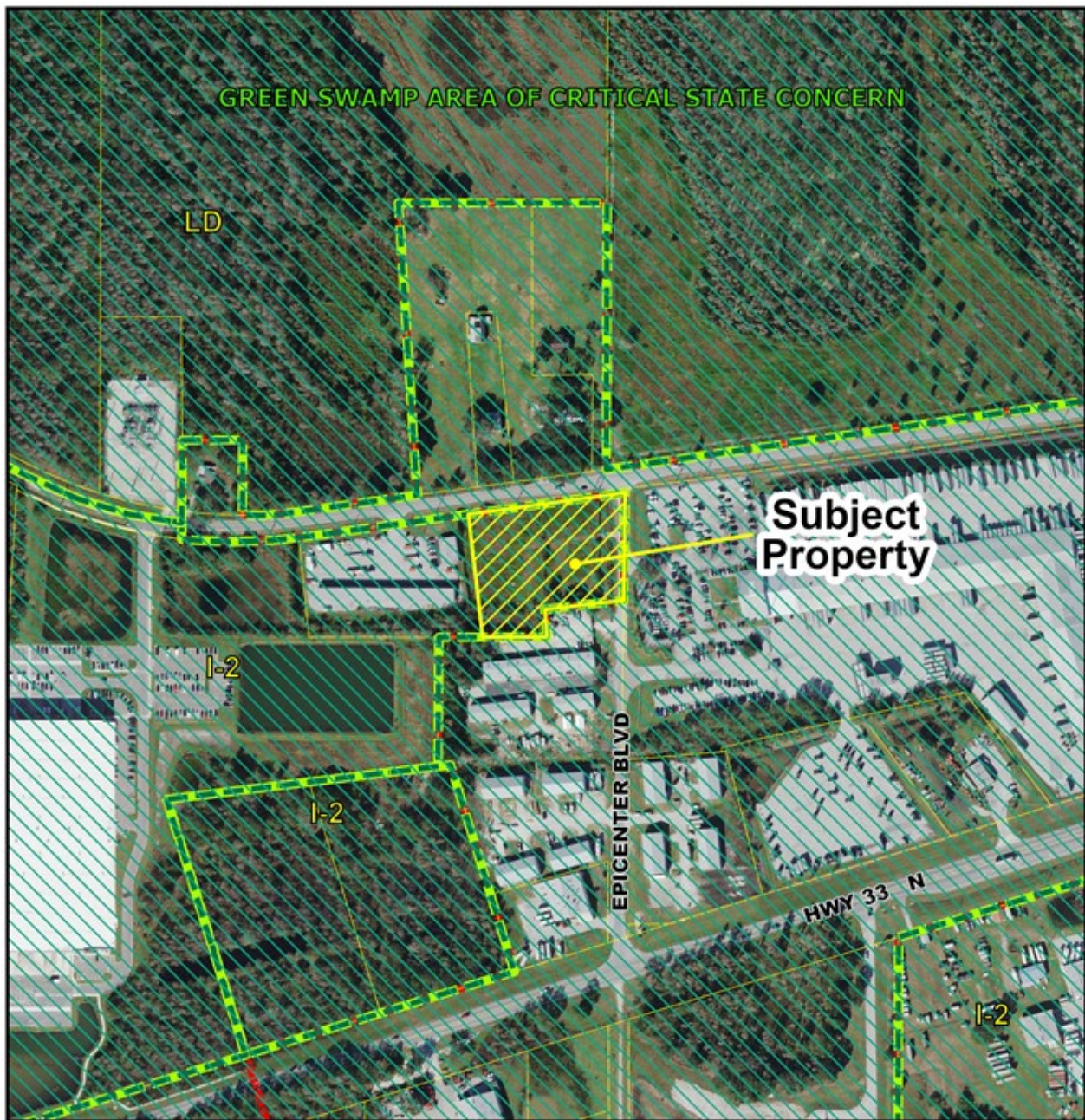
# Community & Economic Development Staff Recommendation

Date:	February 17, 2026	Reviewer:	Audrey McGuire
Project No:	SIT25-025	Location:	3745 Olk Polk City Road
Owner:	GBA Lakeland 61 Land LLC		
Applicant:	Kaitlyn Bater, Kimley-Horn and Associates, Inc.		
Current Zoning:	I-2 (Medium Industrial)	Future Land Use:	Business Park (BP)
Context District:	Suburban Special Purpose (SSP)		
P&Z Hearing:	February 17, 2026	P&Z Final Decision:	February 17, 2026
Request:	Green Swamp Area of Critical State Concern Site Plan Approval for County Road 582 Storage to construct a 60,426 sq. ft. gravel parking / storage lot on property located at 3745 Old Polk City Road.		

## 1.0 Location Maps







## 2.0 Background

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### 2.1 Summary

Kaitlyn Baker, Kimley-Horn and Associates, Inc., on behalf of GBA Lakeland 61 Land, LLC, requests site plan approval to construct a new 60,426 sq. ft. gravel parking / outdoor storage lot on property located at 3745 Old Polk City Road. A map of the subject property is included as Attachment “A.”

### 2.2 Subject Property

The project site consists of approximately 2.44 acres located south of Old Polk City Road, west of Epicenter Boulevard within the Green Swamp Area of Critical State Concern (ACSC). The Green Swamp is a 322,000-acre region of Central Florida designated in 1974 by the legislature for its statewide environmental resource significance. Rainwater drains across the surface of this vast area, creating the headwaters of four of the State’s major rivers (the Withlacoochee, Ocklawaha, Hillsborough and Peace) and percolating through the soil to replenish the Floridan aquifer system, the primary source of drinking water for most Floridians.

### 2.3 Project Background

Due to these unique environmental features, development in the Green Swamp must adhere to special guidelines which address key issues of state concern. These guidelines are found in Section 6.3 of the Land Development Code and include special limitations on density and intensity, prohibitions of certain uses, flood plain and wetland protection provisions, and the requirement to conduct a land survey of the property to identify endangered, threatened, and/or species of special concern for certain developments.

### 2.4 Attachments

Attachment “A”: Subject Property Map

Attachment “B”: Site Development Plan

## 3.0 Discussion

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Pursuant to Article 6, Section 6.3.11.1, Planning and Zoning Board review and approval is required for all site plans and subdivision plan approvals within the Green Swamp ACSC. The site plan (Attachment “B”) depicts development of a 60,426 sq. ft. gravel parking / outdoor storage area with an associated stormwater management system. The subject property is zoned I-2 (Medium Industrial) and has a Future Land Use classification of Business Park (BP). In accordance with Table 6.3-4 of the Land Development Code (Green Swamp Non-Residential Development), the maximum impervious surface ratio (ISR) is 70%. At 41%, the proposed site plan falls below the maximum ISR allowed by Table 6.3-4.

Project landscaping has been designed to be “Florida-Friendly” and utilizes native species to minimize irrigation needs. Subject to permit modification, the project utilizes an existing stormwater management system designed to comply with City of Lakeland, Southwest Florida

Water Management District, and Florida Department of Transportation requirements. The subject property is less than five acres in area and does not meet the threshold requiring a land survey to identify endangered, threatened, and/or species of special concern.

### **3.1 Transportation and Concurrency**

The project is not expected to further degrade levels-of-service on the surrounding roadway network. As required per Section 6.3.7, the owner submitted a voluntary petition for inclusion of the subject property into the Lakeland Area Mass Transit District (LAMTD), which was approved by its Board of Directors and subsequently ratified by the City Commission on January 5, 2026 via Ordinance No. 6131.

### **3.2 Green Swamp Area of Critical State Concern Compliance**

The Community & Economic Development Department reviewed the proposed site development plan for compliance with Section 6.3 and finds the development request to be consistent with the requirements for the Green Swamp ACSC.

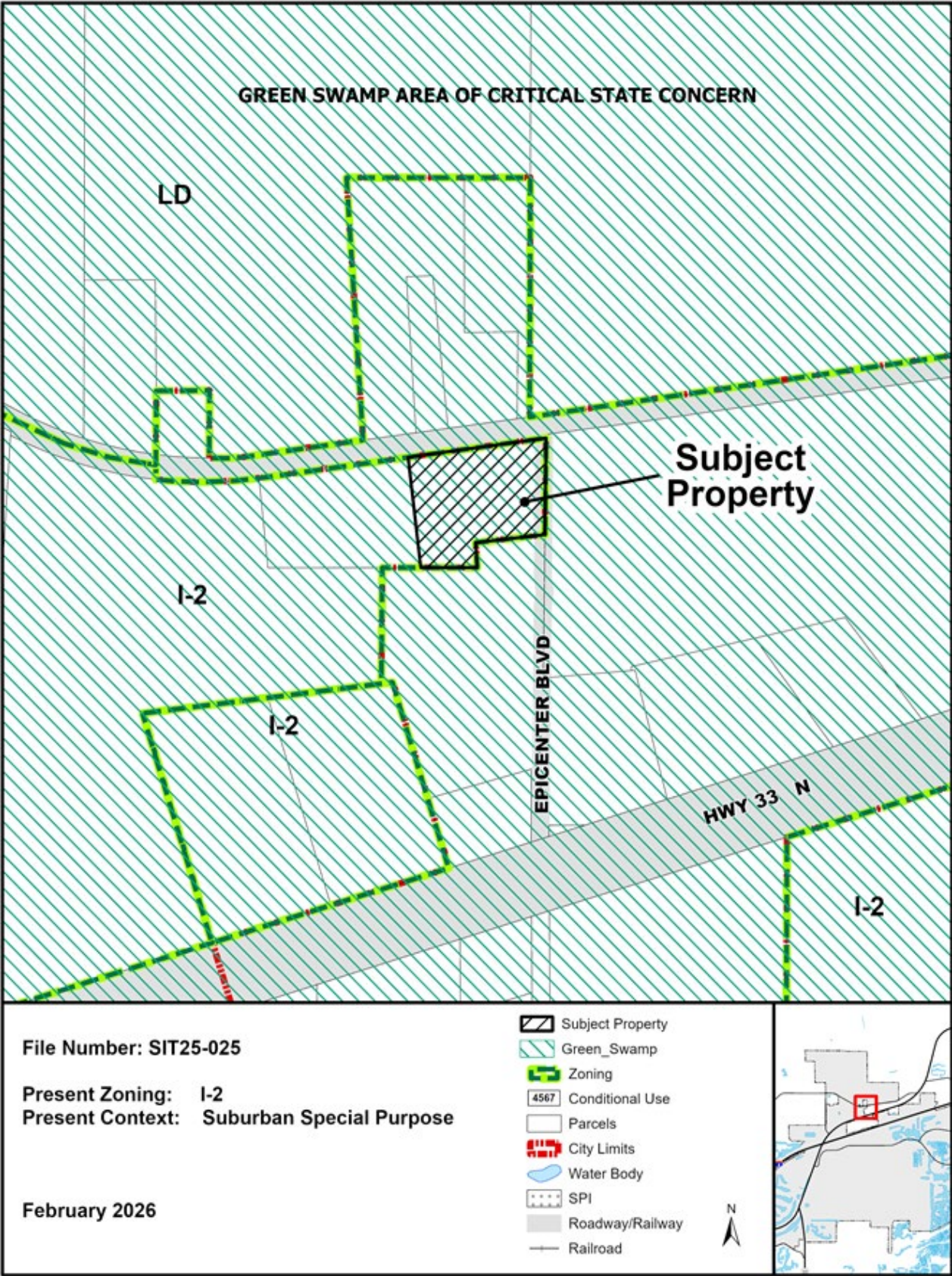
## **4.0 Recommendation**

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### **4.1 Community Development Staff**

It is recommended that the Planning and Zoning Board approve the site plan as proposed and render it to the State Land Planning Agency (Department of Commerce) in accordance with Section 6.3 of the Land Development Code.

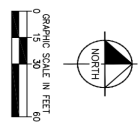






ATTACHMENT "B"

Plotted By: Wiseman, Draw: Sheet Set: KHA Layout: C-101 SITE IMPROVEMENTS PLAN January 07, 2026 05:13:06pm K:\LAK\_Civil\046638001 - County Road 582\CAD\PlanSheets\C-101 SITE IMPROVEMENTS PLAN.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SITE DATA**

PROJECT NO.	046638001
PROJECT NAME	CR 582 AND EPICENTER BLVD. IMPROVEMENTS
CLIENT	QBA LAKELAND 61 LAND LLC
CONTRACT DISTRICT	SUBURBAN SPECIAL APPLICABLE
MAP SCALE	1"=40'
PROJECT DATE	01-01-2025
PROJECT LOCATION	CR 582 AND EPICENTER BLVD., LAKELAND, FL
PROJECT DESCRIPTION	CR 582 AND EPICENTER BLVD. IMPROVEMENTS

- NOTES:
1. EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
  3. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL.
  4. ALL UTILITIES SHALL BE MARKED WITH PINK SPRAY PAINT.
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  20. ALL UTILITIES SHALL BE MARKED WITH PINK SPRAY PAINT.

SHEET NUMBER <b>C-101</b>	CR 582 AND EPICENTER BLVD. PREPARED FOR QBA LAKELAND 61 LAND LLC CITY OF LAKELAND FLORIDA	<b>SITE IMPROVEMENTS PLAN</b>	KHA PROJECT 046638001 DATE 04-01-2025 SCALE: AS SHOWN DESIGNED BY: SDS DRAWN BY: SDS CHECKED BY: KMB		<b>KimleyHorn</b> © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 109 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM REC NO.: 35106	REVISIONS		DATE	BY
						No.			



# Report of City Commission Action on Planning and Zoning Board Recommendations

Tuesday, February 17, 2026

## Meeting of February 2, 2026

NO NEW ITEMS

## Meeting of January 20, 2026

### Ordinances (Second Reading)

**Proposed 26-001**; Annual Update to the Capital Improvements Element of the Lakeland Comprehensive Plan: Our Community 2030, Including Updates to the Five-Year Schedule of Capital Improvements. (CPA25-001) **Approved 7—0, Ordinance 6132**